



**EDINBURG NOTICE AND AGENDA  
PLANNING AND ZONING COMMISSION  
CITY OF EDINBURG, HIDALGO COUNTY, TEXAS**

**Location:** City of Edinburg  
City Hall-Council Chambers  
415 West University Dr.  
Edinburg, Texas 78539

**JULY 9, 2026  
5:30 PM**

**1. CALL TO ORDER, ESTABLISH QUORUM**

- A. Prayer.
- B. Pledge of Allegiance.

**2. CERTIFICATION OF PUBLIC NOTICE**

**3. DISCLOSURE OF CONFLICT OF INTEREST**

**4. MEETING PROCEDURES**

**5. PUBLIC COMMENTS**

Public Comments are limited to three (3) minutes. If a resident desires to make a Public comment, please notify the Chairperson prior to the start of the meeting. A spokesperson for large groups is required. We ask for everyone's cooperation in following these procedures.

**6. ABSENCES**

- A. Consider excusing the absence of Vice-Chairman Elias Longoria, Jr., from the June 11, 2026, regular meeting.
- B. Consider excusing the absence of Board Member Rodolfo "Rudy" Ramirez from the June 11, 2026, regular meeting.
- C. Consider excusing the absence of Board Member Victor Daniec from the June 11, 2026, regular meeting.

**7. MINUTES**

- A. Consider the approval of the Minutes for the June 11, 2026, regular meeting.

**8. PUBLIC HEARINGS**

- A. Consider the Rezoning Request from Agriculture and Open Space (AO) District to Commercial, General (CG) District, Being Lot 1, Unrecorded Map of Promise Land Subdivision No. 2, Located at 2213 E. Trenton Road, as Requested by Javier Hernandez.
- B. Consider the Rezoning Request from Residential, Suburban (RS) District to Residential, Primary (RP) District, Being a 17.843 (17.646) Acres Out of Lot 3, Block 237 of the Texas-Mexican Railway Company Survey, Located at 3002 W. Mile 17 ½ Road, as Requested by Supreme Engineering.
- C. Consider the Comprehensive Plan Amendment from Auto-Urban Uses to Multi-Family Residential Uses and Rezoning Request from Residential, Primary (RP) District to Residential, Multifamily (RM) District, Being Lots 47, 48, and 49, Block 4, Town of Lull, Located at 3709 Tagle Street, as Requested by Blanca Garcia and Roberto Garcia.
- D. Consider the Sign Variance Request to the City of Edinburg Unified Development Code as Follows:
  - 1.) Article 4, Section 4.302(E) (4B), Size and Proportions, to Allow an Electronic Message Area Exceeding 50% of the Total Sign Area
  - 2.) Article 4, Section 4.303-3, Permanent Freestanding Sign, to Allow Maximum Permitted Sign Area and Height for a Pole Sign
  - 3.) Article 4, Section 4.305(B10), Prohibited Signage, to Allow a Sign That Advertises or Promotes a Business, Person, Organization, Activity, Event, Location, Service, or Product Not Primarily Manufactured, Sold, or Offered on the Property Where the Sign is Situated, Being Lot 20, Sheaval Subdivision, Located at 503 Conquest Boulevard, as Requested by AJ Ferrara.
- E. Consider the Sign Variance Request to the City of Edinburg Unified Development Code, Article 5, Section 5.207, Easements (F) Encroachments and Removal of Encroachments, Being the North 3.0 Acres of the West 5.0 Acres of the East 20.0 Acres of Lot 27, Kelly-Pharr Subdivision, Located at 602 W. Wisconsin Road, as Requested by Edinburg Seventh-Day Adventist Church.
- F. Consider the Special Use Permit For On-Premise Consumption of Alcoholic Beverages For Late Hours, Being Lot 2, Carmike Cinemas Subdivision, Located at 1204 E Canton Road, as Requested by Space Monkey Barrcade, LLC.
- G. Consider the Proposed Changes to the City of Edinburg Unified Development Code.

**9. SUBDIVISION VARIANCE**

- A. Consider Variance Request to the City's Unified Development Code, 1.) Article 4, Section 4.204 Bufferyards, Table 4.204-1 Bufferyard Classifications, for the Proposed Villages on Closner Subdivision, Being a 76.687 Acres Tract of Land Out of Lots 1 & 2, Section 241, Texas-Mexican Railway Company's Survey, Hidalgo County, Texas, Located at 500 E. Russell Road, as Requested by Tribute Engineering.
- B. Consider Variance Request to the City's Unified Development Code, Article 3, Table 3.102-3, Townhouse and Weak-Link Townhouse Lot and Building Standards, Townhouse Lot Area for the Proposed The Townhomes at Ebony Subdivision, being a 0.68 Acre Tract of Land, Out of Lot 1, Lot 2 and the East 39 Feet of Lot 3, Block 8, Enfield Estates Subdivision, Located at 198 W. Southland Avenue, as Requested by Eliseo Garza.

**10. SUBDIVISION CONSENT**

- A. Consider the Preliminary Plat Approval of Alberta Park Subdivision, being the East One Half (E ½) of the West One Half (W ½) of Lots Two (2), Four (4), Six (6), and Eight (8) Fife's Resubdivision of Lots in Block 51, Alamo Land and Sugar Company's of Land Porcion 72, Los Torritos, Santa Ana and El Gato Grant's, Hidalgo County, Texas, Located at 3399 E. Alberta Road, As Requested By

Barrera Infrastructure Group, LLC.

- B.** Consider the Preliminary Plat Approval of The Village at Monte Cristo Subdivision, Being a 43.466 Acres Out of Lots 21 and 25, East Retama Subdivision Recorded in Volume 2, Page 57, Hidalgo County, Texas, Located at 4220 N. Seminary Road, as Requested by Melden & Hunt, Inc.
- C.** Consider the Preliminary Plat approval of The Reserve at McColl Subdivision, Being a 3.007 Acres Tract of Land Out of Lot 15, Section 275, Texas-Mexican Railway Company's Survey Subdivision, Hidalgo County, Texas, Located at 2698 Hedfelt Drive, as Requested by Melden & Hunt, Inc.
- D.** Consider the Preliminary Plat approval of Arena Heights Subdivision, Being a 93.99 Acres Tract of Land, More or Less, Out of Lots 63, 66, and 67 Kelly Pharr Subdivision, as Per the Map or Plat Thereof Recorded in Volume 3, Page 133-134, Map Records of Hidalgo County, Texas, Located at 798 E. Alberta Road, as Requested by Sames, Inc.
- E.** Consider the Final Plat Approval of McColl Walls Subdivision, Being a 5.00 Acre Tract of Land Being the South 5.00 Acres of the North 10.00 Acres of the South 30.00 Acres of Lot 15, Section 237, Texas-Mexican Railway Company's Survey, Hidalgo County, Texas, According to the Plat or Map Thereof Recorded in Volume 1, Page 12, Map Records Hidalgo County, Texas and According to General Warranty Deed Recorded Under County Clerk's Document Number 3225359, Official Records, Hidalgo County, Texas, Located at 1000 N. McColl Road, as Requested by Quintanilla, Headley & Associates, Inc.
- F.** Consider the Final Plat Approval of Copper Cove Subdivision, Being 12.79 Acres of Land Situated in Hidalgo County, Texas, Same Being All of Lot 13, Block 7 and a Part or Portion of the South Half of Lot 12, Block 7, Santa Cruz Gardens Unit No. 3, Volume 9, Page 3, Hidalgo County Map Records, Located at 4918 N. Doolittle Road, as Requested by Rio Delta Engineering.
- G.** Consider the Final Plat Approval of Kings Landing Subdivision, Being a 17.274 Acres Tract of Land Out of Lots 49, 50, and 51, Lehigh Plaza Subdivision, Recorded in Volume 5, Page 43, Hidalgo County Map Records, and According to Special Warranty Deed Recorded Under County Clerks Document Number 3555596, Located at 2700 W. Wisconsin Road, as Requested by Quintanilla, Headley, and Associates.

## **11. DIRECTOR'S REPORT**

- A.** City Council Actions
- B.** Attendance Roster

## **12. ADJOURNMENT**

I hereby certify this Notice of a Planning and Zoning Commission Regular Meeting was posted in accordance with the Open Meetings Act, at the City Offices of the City of Edinburg, located at the 415 West University entrance outside bulletin board, visible and accessible to the general public during and after regular working hours. This notice was posted on Wednesday, July 1, 2026, at 5:00 P.M.

By:  /s/ Erika Monreal

-  
Erika Monreal, Administrative Assistant  
Planning and Zoning Department  
City of Edinburg, Texas

Disability Access Statement

Persons with disabilities who plan to attend this meeting and who may need auxiliary aid or services are requested to contact the City Secretary Department at (956) 388-8204 at least two business days prior to the meeting so that appropriate arrangements can be made. The accessible entrance and accessible parking spaces are located at Edinburg City Hall, 415 West University.



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**PLANNING AND ZONING COMMISSION  
REGULAR MEETING  
JUNE 11, 2026 – 5:30 P.M.  
CITY HALL-COUNCIL CHAMBERS  
415 WEST UNIVERSITY DRIVE  
EDINBURG, TEXAS 78539**

**MINUTES**

**PRESENT:**

**JORGE SOTELO – CHAIRMAN**

**BOARD MEMBERS:**

**ELISEO GARZA, JR.**

**RUBY CASAS**

**GREGORY A. VASQUEZ**

**ABSENT:**

**ELIAS LONGORIA, JR. – VICE CHAIRMAN**

**BOARD MEMBERS:**

**RODOLFO “RUDY” RAMIREZ**

**VICTOR DANIEC**

1. Call Meeting to Order, Establish Quorum
  - A. Prayer
  - B. Pledge of Allegiance
2. Certification of Public Notice
3. Disclosure of Conflict of Interest
4. Meeting Procedures

The following are the meeting procedures used by the Planning & Zoning Commission:

- A. All the items are generally considered as they appear on the agenda as each item is introduced.
- B. Staff will present its findings and recommendation on the item being considered.



- C. The party making the request may make a presentation and may address the Commission on any issues arising during the discussion of the item being considered.
- D. Anyone in the audience desiring to speak in favor or in opposition may do so. A three (3) minute time limit will be given to each person interested in speaking on the item. The use of a spokesperson for large groups of people will be required.
- E. Once the Chairperson closes the public hearing, the Commission may question anyone and maintain any discussion which clarifies the proposal and will take what action it feels to be appropriate.

5. **PUBLIC COMMENTS**

- A. Public comments are limited to three (3) minutes. If a resident desires to make a Public comment, please notify the Chairperson prior to the start of the meeting. A spokesperson for large groups is required. We ask for everyone's cooperation in following these procedures.

6. **ABSENCES**

- A. Consider excusing the absence of Board Member Ruby Casas from the May 28, 2026, regular meeting.

**A MOTION WAS MADE BY BOARD MEMBER ELISEO GARZA, JR., AND SECONDED BY BOARD MEMBER GREGORY A. VASQUEZ TO APPROVE EXCUSING THE ABSENCE OF BOARD MEMBER RUBY CASAS FROM THE MAY 28, 2026, REGULAR MEETING. MOTION CARRIED WITH A 3 – 0 VOTE. BOARD MEMBER RUBY CASAS ABSTAINED.**

- B. Consider excusing the absence of Board Member Victor Daniec from the May 28, 2026, regular meeting.

**A MOTION WAS MADE BY BOARD MEMBER GREGORY A. VASQUEZ AND SECONDED BY BOARD MEMBER ELISEO GARZA, JR., TO APPROVE THE EXCUSING THE ABSENCE OF BOARD MEMBER VICTOR DANIEC FROM MAY 28, 2026, REGULAR MEETING. MOTION CARRIED WITH A 4 – 0 VOTE.**

7. **MINUTES**

- A. Consider approval of the minutes for the May 28, 2026, regular meeting.

**A MOTION WAS MADE BY BOARD MEMBER GREGORY A. VASQUEZ AND SECONDED BY BOARD MEMBER ELISEO GARZA, JR., TO APPROVE THE MINUTES FROM MAY 28, 2026, REGULAR MEETING. MOTION CARRIED UNANIMOUSLY WITH A 4 – 0 VOTE.**

8. **PUBLIC HEARINGS**

- A. Consider the Rezoning Request From Agriculture and Open Space (AO) District to Residential, Primary (RP) District, Being Tract I, a 1.56-Acre Tract of Land Being a Portion of Lot 1, Block 36, Santa Cruz Gardens Subdivision, Unit No. 2, Located at 6705 San Francisco Drive, As Requested By Ariel Abel Acuna.

**A MOTION WAS MADE BY BOARD MEMBER GREGORY A. VASQUEZ AND SECONDED BY BOARD MEMBER ELISEO GARZA, JR., TO APPROVE THE REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A 4 – 0 VOTE. – ITEM APPROVED.**

- B. Consider the Comprehensive Plan Amendment From General Commercial Uses to Auto-Urban Uses and the Rezoning Request From Commercial, General (CG) District to Residential, Urban (RU) & Townhome District, Being 3.056-Acres of Land Out of Lot 15, Section 275 Texas-Mexican Railway Company’s Survey, Located at 2698 Hedfelt Drive, As Requested By Melden & Hunt, Inc.

**RICHARD RUPERT, AN EDINBURG RESIDENT, WAS PRESENT AND ADDRESSED THE BOARD IN FAVOR OF THE REZONING REQUEST.**

**MARLON GARZA, A MELDEN & HUNT INC. REPRESENTATIVE, WAS PRESENT AND ADDRESSED THE BOARD IN FAVOR OF THE REZONING REQUEST.**

**A MOTION WAS MADE BY BOARD MEMBER GREGORY A. VASQUEZ AND SECONDED BY BOARD MEMBER RUBY CASAS TO APPROVE THE REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A 4 – 0 VOTE. – ITEM APPROVED.**

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- C. Consider the Comprehensive Plan Amendment From Suburban Uses to General Commercial Uses and the Rezoning Request From Agriculture and Open Space (AO) District to Commercial, General (CG) District, Being a 0.918-Acre Parcel Out of Lot Six (6), Block One (1), Santa Cruz Gardens, Unit No. Two (2), Located at 1225 E. F.M. 2812, As Requested By O'Reilly Auto Enterprises, LLC.

**A MOTION WAS MADE BY BOARD MEMBER GREGORY A. VASQUEZ AND SECONDED BY BOARD MEMBER ELISEO GARZA, JR., TO APPROVE THE REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A 4 – 0 VOTE. – ITEM APPROVED.**

- D. Consider the Special Use Permit For On-Premise Consumption of Alcoholic Beverages, Being Lot 2, Carmike Cinemas Subdivision, Located at 1204 E. Canton Road, As Requested By Space Monkey Barrcade, LLC.

**EVERS BARRERA, APPLICANT AND OWNER OF SPACE MONKEY BARRCADE, WAS PRESENT AND EXPLAINED THE REASONING FOR THE SPECIAL USE PERMIT REQUEST.**

**A MOTION WAS MADE BY BOARD MEMBER RUBY CASAS AND SECONDED BY BOARD MEMBER GREGORY A. VASQUEZ TO TABLE THE SPECIAL USE PERMIT REQUEST. MOTION CARRIED UNANIMOUSLY WITH A 4 – 0 VOTE. – ITEM TABLED.**

9. **SUBDIVISION VARIANCE**

- A. Consider the Variance Requests to the City's Unified Development Code, Article 5, Section 5.202, B. Streets, 3. External Connectivity and Article 3, Table 3.102-4 Duplex and Multiplex Lot and Building Standards, Lot Width For the Proposed Lumen Park Subdivision, Being a 8.80-Acres Tract of Land Out of the South 12.87-Acres of Lot 5, Block 1, John Closner, Et. Al. Subdivision, Recorded in Volume 0, Page 4, Map Records of Hidalgo County, Texas, Located at 2301 E. Wisconsin Road, As Requested By Rio Delta Engineering.

**THE VARIANCE REQUEST AT 2301 E. WISCONSIN ROAD, ITEM 9A, WAS PULLED FROM THE AGENDA AT THE APPLICANTS REQUEST.**

10. **SUBDIVISION CONSENT**

- A. Consider the Preliminary Plat Approval of Montemayor Estates Subdivision, Being a 4.00-Acre Tract of Land Out of Lot 11, Section 237, Texas-Mexican Railway Company's Survey, Hidalgo Texas Located at 3220 W. Chapin Street, As Requested By Quintanilla, Headley & Associates.

- B. Consider the Preliminary Plat Approval of Lumen Park Subdivision, Being a 8.80-Acres Tract of Land Out of the South 12.87-Acres Of Lot 5, Block 1, John Closner, Et. Al. Subdivision, Recorded in Volume 0, Page 4, Map Records of Hidalgo County, Texas, Located at 2301 E. Wisconsin Road, As Requested By Rio Delta Engineering.
- C. Consider the Preliminary Plat Approval of West Sprague Ranches Subdivision, Being a 4.2596-Acre Tract of Land, More or Less, Out of and Forming a Part of Lot 2, Block 275, Texas-Mexican Railway Company's Subdivision, in the City of Edinburg Hidalgo County, Texas As Per the Map or Plat Thereof Recorded in Volume 37 Pages 06, Map Records in Hidalgo County, Texas, Located at 2698 W. Sprague, As Requested By Benavides Engineering.
- D. Consider the Preliminary Plat Approval of Morningside Subdivision Phase I, Being 16.372-Acres Out of Lots 113, Seminary Heights Subdivision Volume 9, Page 23 H.C.M.R. and Out of Lots 17 and 20, East Retama Subdivision Volume 2, Page 57 H.C.M.R. City of Edinburg Hidalgo County, Texas, Located at 4716 N. Seminary Road, As Requested By Melden & Hunt, Inc.
- E. Consider the Final Plat Approval of The Woodlands at Jackson Subdivision, Being a 4.00-Acre Tract of Land Out of Lot 4, Section 242, Texas-Mexican Railway Company's Survey, Hidalgo County, Texas, As Per Map Recorded in Volume 1, Page 12, Map Records of Hidalgo County, Texas, Located at 1800 N. Jackson Road, As Requested By Mas Engineering, LLC.

**ITEM 10B WAS PULLED FROM THE CONSENT AGENDA AT THE APPLICANT'S REQUEST.**

**A MOTION WAS MADE BY BOARD MEMBER ELISEO GARZA, JR., AND SECONDED BY BOARD MEMBER GREGORY A. VASQUEZ TO APPROVE ITEMS 10A, 10C- 10E. MOTION CARRIED UNANIMOUSLY WITH A 4 – 0 VOTE. ITEMS 10A, 10C – 10E APPROVED.**

11. **DIRECTOR'S REPORT**

- A. City Council Actions
- B. Unified Development Code Updates
- C. Attendance Roster



12. **ADJOURNMENT**

I hereby certify that this notice of meeting was posted in accordance with the Open Meetings Act, V.T.C.A., Government Code, Section 551.041, at the Edinburg City Hall Building, 415 West University Drive, Edinburg, Texas, visible and accessible to the general public after regular working hours, at 5:00 P.M. on this 4<sup>th</sup> day of June, 2026.

**A MOTION WAS MADE BY BOARD MEMBER ELISEO GARZA, JR., AND SECONDED BY BOARD MEMBER RUBY CASAS TO ADJOURN THE JUNE 11, 2026, REGULAR MEETING AT 6:02 P.M. MOTION CARRIED UNANIMOUSLY WITH A 4 – 0 VOTE.**

*Kassandra L. Gonzalez*

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Kassandra L. Gonzalez, Administrative  
Specialist  
Planning & Zoning Department

**NOTICE**

**PERSONS WITH DISABILITIES WHO NEED TO COMMUNICATE MORE EFFECTIVELY WITH CITY OFFICIALS AND WHO MAY NEED AUXILIARY AIDS OR SERVICES SUCH AS INTERPRETERS FOR PERSONS WHO ARE DEAF OR HEARING IMPAIRED ARE REQUESTED TO CONTACT THE OFFICE OF THE CITY SECRETARY AT (956) 388-8204 THREE WORKING DAYS PRIOR TO ANY MEETING SO THAT APPROPRIATE ARRANGEMENTS CAN BE MADE.**





**CITY OF EDINBURG - NOTICE AND AGENDA  
PLANNING AND ZONING COMMISSION**

Meeting Date: July 9, 2026

PUBLIC HEARINGS

Agenda Item No: 8.A.

Rezoning Request - Javier Hernandez

**1. Agenda Item:**

Consider the Rezoning Request from Agriculture and Open Space (AO) District to Commercial, General (CG) District, Being Lot 1, Unrecorded Map of Promise Land Subdivision No. 2, Located at 2213 E. Trenton Road, as Requested by Javier Hernandez.

**2. Description:**

This property is located along the north side of E. Trenton Road, approximately 800 feet west of the intersection of E. Trenton Road and S. Raul Longoria Road. The property is currently zoned Agriculture and Open Space (AO) District. This district is typically rural in character with few buildings and cultivation that allows long views to the horizon. The requested zoning is Commercial, General (CG) District. This is the primary commercial district, meant to accommodate a wide range of commercial uses, including highway service uses and community or regional commercial, office, and service uses. This property has a frontage of 145.50 feet along E. Trenton Road and a lot depth of 416.45 feet. Currently the property contains an existing daycare facility. The applicant wants to utilize the property to develop a medical clinic.

Adjacent zoning is Agriculture and Open Space (AO) District to the north, west and east, the property to the south is located Outside of the City Limits of Edinburg. Surrounding land uses consists of residential uses and commercial uses. The Future Land Use designation for this property is for General Commercial Uses.

Staff mailed a notice of the public hearing to 45 neighboring property owners on Friday, June 26, 2026. No comments in favor or against had been received at the time this report was prepared. Notice of this public hearing will be published in the newspaper on July 29, 2026.

On June 29, 2026, Planning staff met with City of Edinburg development departments to discuss the proposed rezoning. It was determined that upgrades to the existing infrastructure will be needed in this area to support the proposed development.

**3. Staff's Recommendation:**

Staff recommends approval of the Rezoning Request from Agriculture and Open Space (AO) District to Commercial, General (CG) District, based on the surrounding land uses. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building/fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and other City requirements, as applicable.

**Reviewed by:**

Jaime Acevedo, Director of Planning and Zoning  
Rita Guerrero, Assistant Director of Planning and Zoning  
Erika Monreal, Administrative Assistant

**Prepared by:**

Eduardo Huerta, Planner II

**Attachments:**

A. Planning and Zoning Agenda Packet Attachment



**MEETING DATES:**  
**PLANNING & ZONING COMMISSION – 07/09/2026**  
**CITY COUNCIL – 08/18/2026**  
**DATE PREPARED – 06/29/2026**

**STAFF REPORT**  
**GENERAL INFORMATION**

**APPLICATION:** Rezoning Request from Agriculture and Open Space (AO) District to Commercial, General (CG) District.

**APPLICANT:** Javier Hernandez

**AGENT:** N/A

**LEGAL:** Being Lot 1, Unrecorded Map of Promise land Subdivision No. 2.

**LOCATION:** Located at 2213 E. Trenton Road.

**LOT/TRACT SIZE:** Lot 1

**CURRENT USE:** Commercial daycare use

**PROPOSED USE:** Commercial, General (CG) District

**EXISTING ZONING:** Agriculture and Open Space (AO) District

**ADJACENT ZONING:** North – Agriculture and Open Space (AO) District  
South – Outside of the City Limits of Edinburg  
East – Agriculture and Open Space (AO) District  
West – Agriculture and Open Space (AO) District

**LAND USE PLAN:** General Commercial Uses

**PUBLIC SERVICES:** North Alamo Water Supply Corporation for Water and Sewer.

**RECOMMENDATION:** Staff recommends approval of the Rezoning Request from Agriculture and Open Space (AO) District to Commercial, General (CG) District.

**REZONING REQUEST  
JAVIER HERNANDEZ**

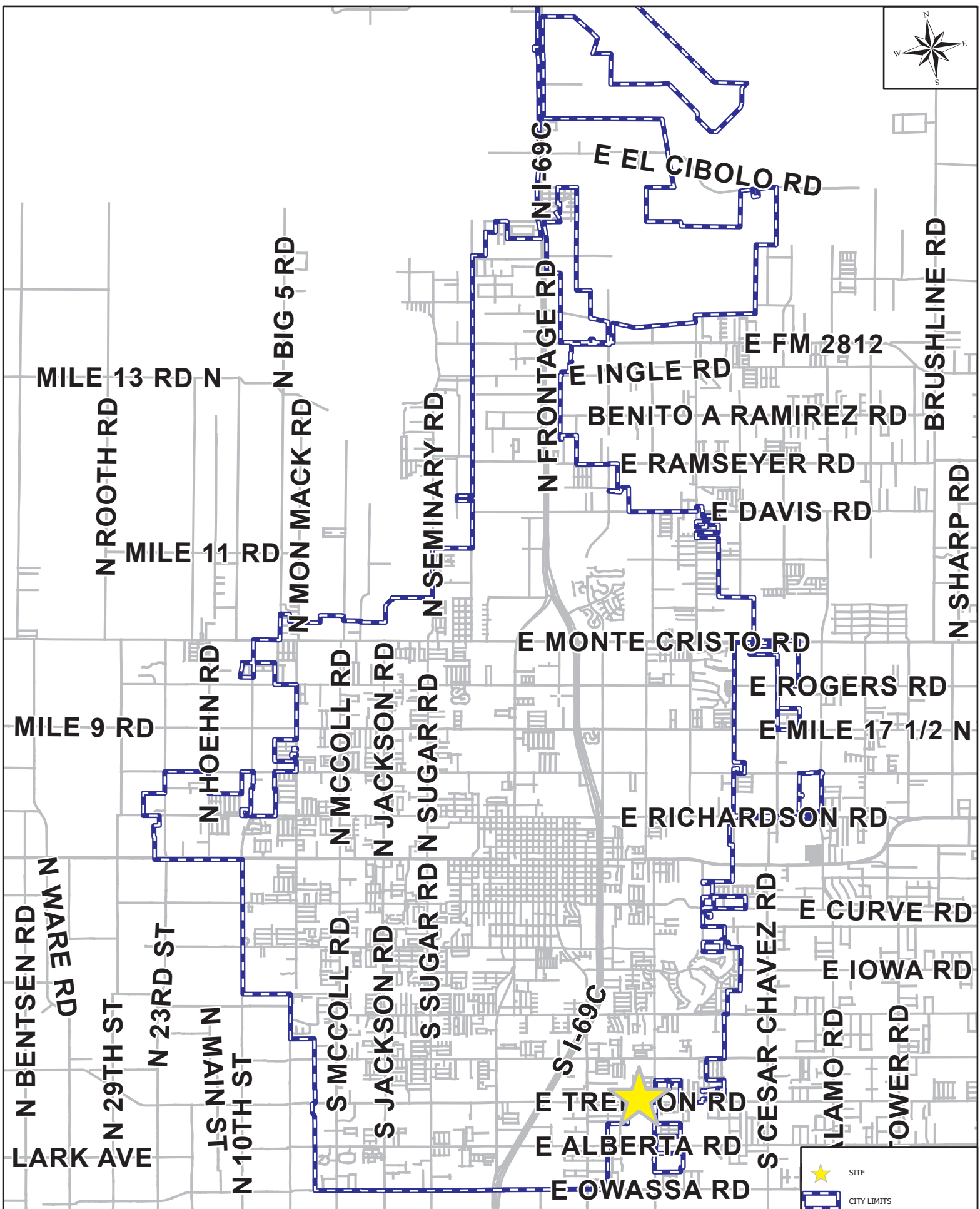
**EVALUATION**

The following is the staff's evaluation of the request:

1. The property is currently a daycare.
2. Surrounding land consists of residential homes and commercial uses.
3. The proposed zoning is consistent with the Future Land Use Plan.

Staff recommends approval of the Rezoning Request from Agriculture and Open Space (AO) District to Commercial, General (CG) District, based on the surrounding land uses. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building/fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and other City requirements, as applicable.

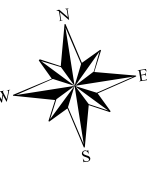
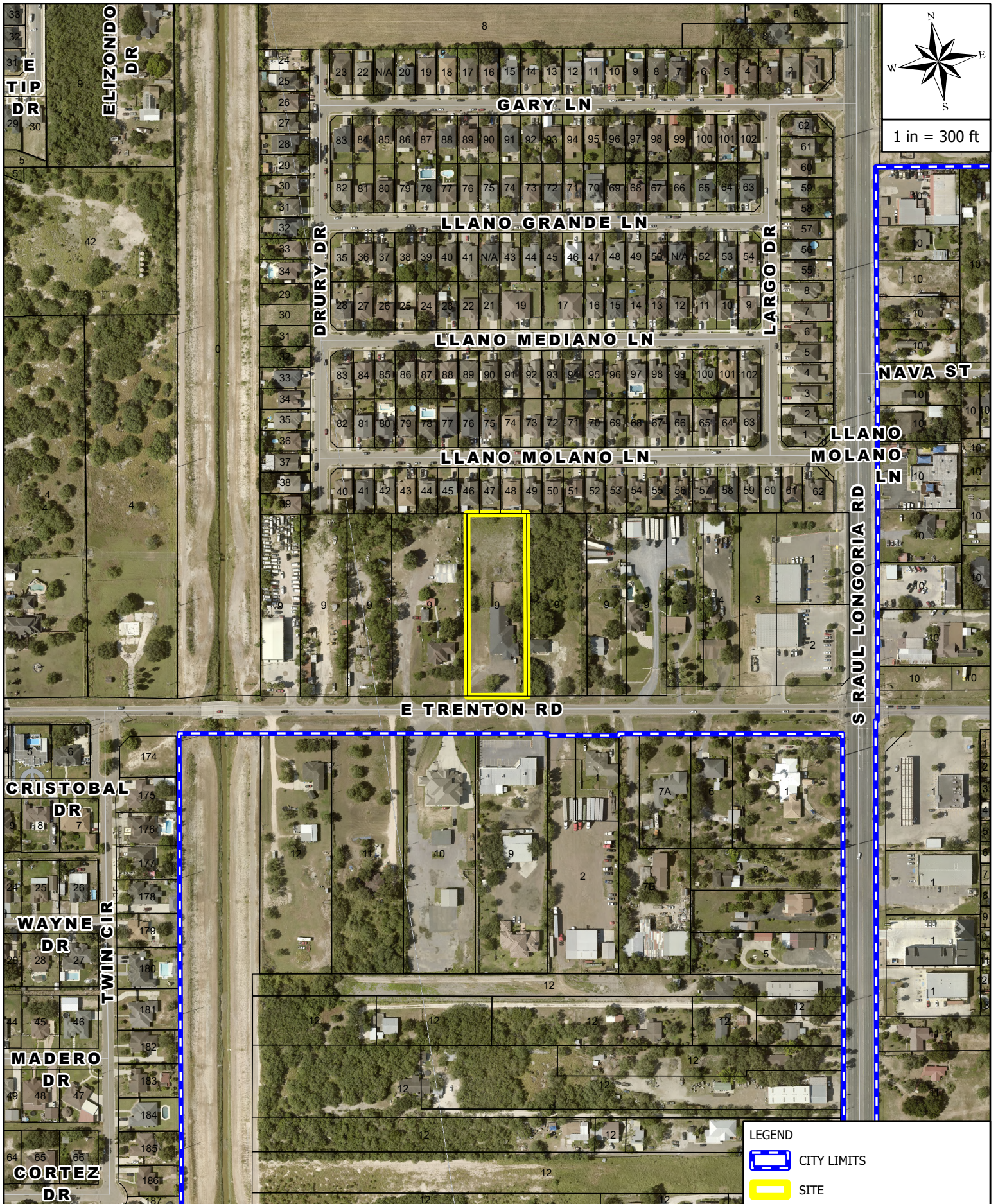
Staff mailed a notice of the public hearing to 45 neighboring property owners on Friday, June 26, 2026, and received no comments in favor or against at the time this report was prepared. Notice of this public hearing will be published in the newspaper on July 29, 2026.



**EDINBURG NEW DEVELOPMENT MAP**



2213 E TRENTON RD

-  SITE
-  CITY LIMITS



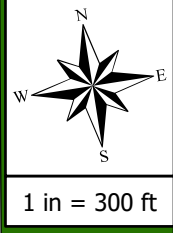
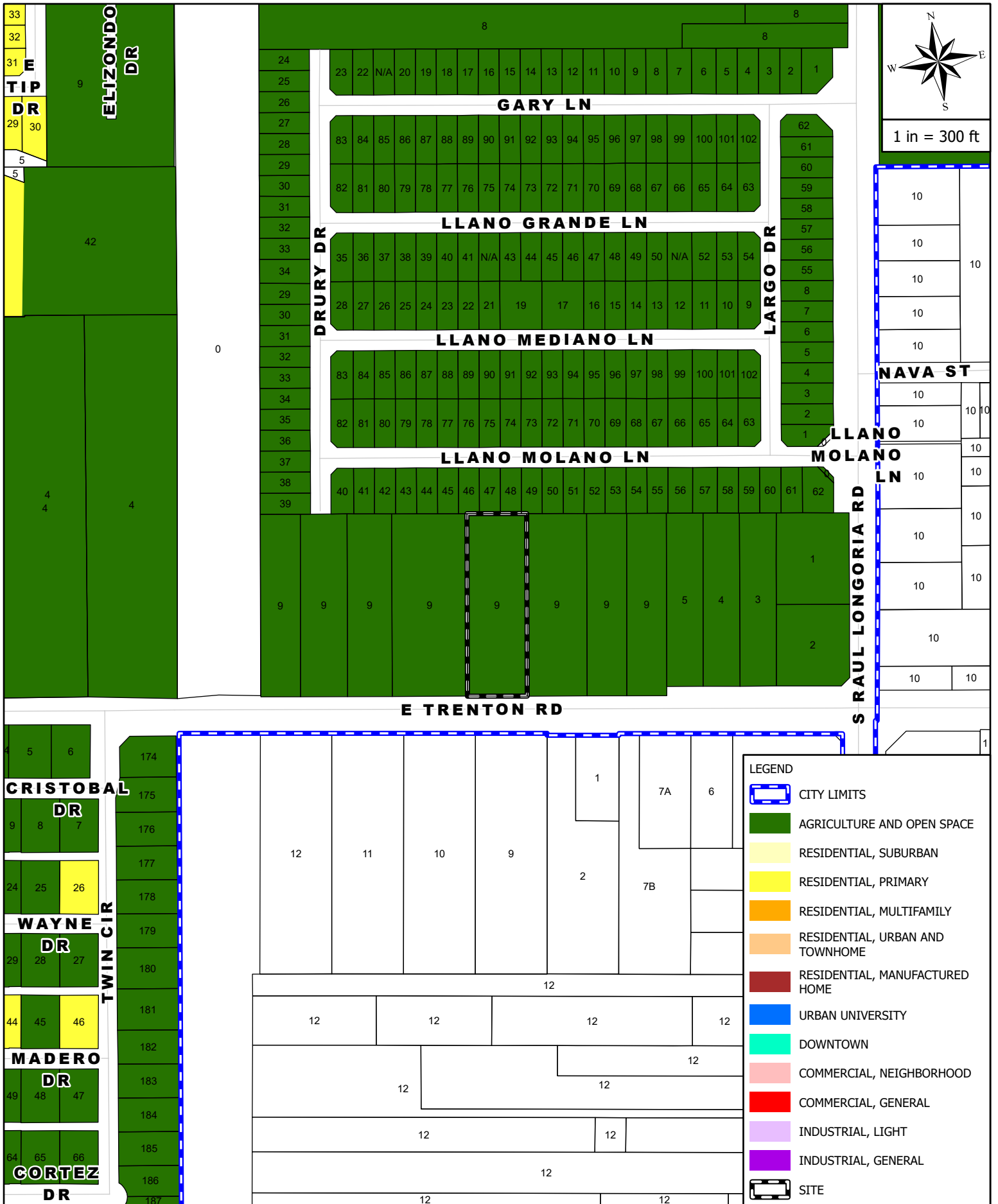
1 in = 300 ft

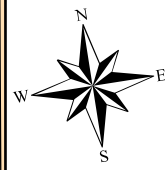
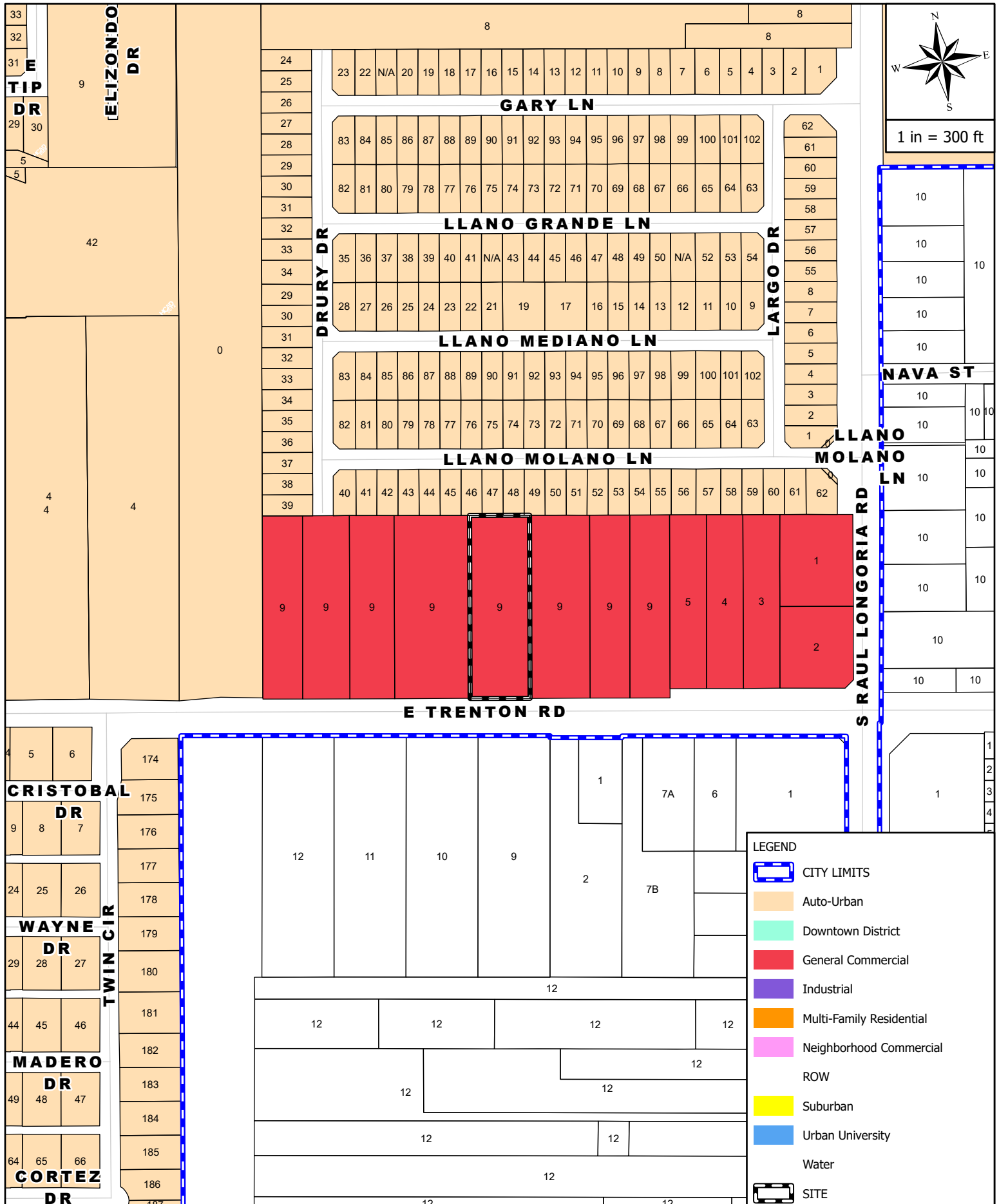
**LEGEND**

-  CITY LIMITS
-  SITE



**AERIAL MAP**  
2213 E TRENTON RD



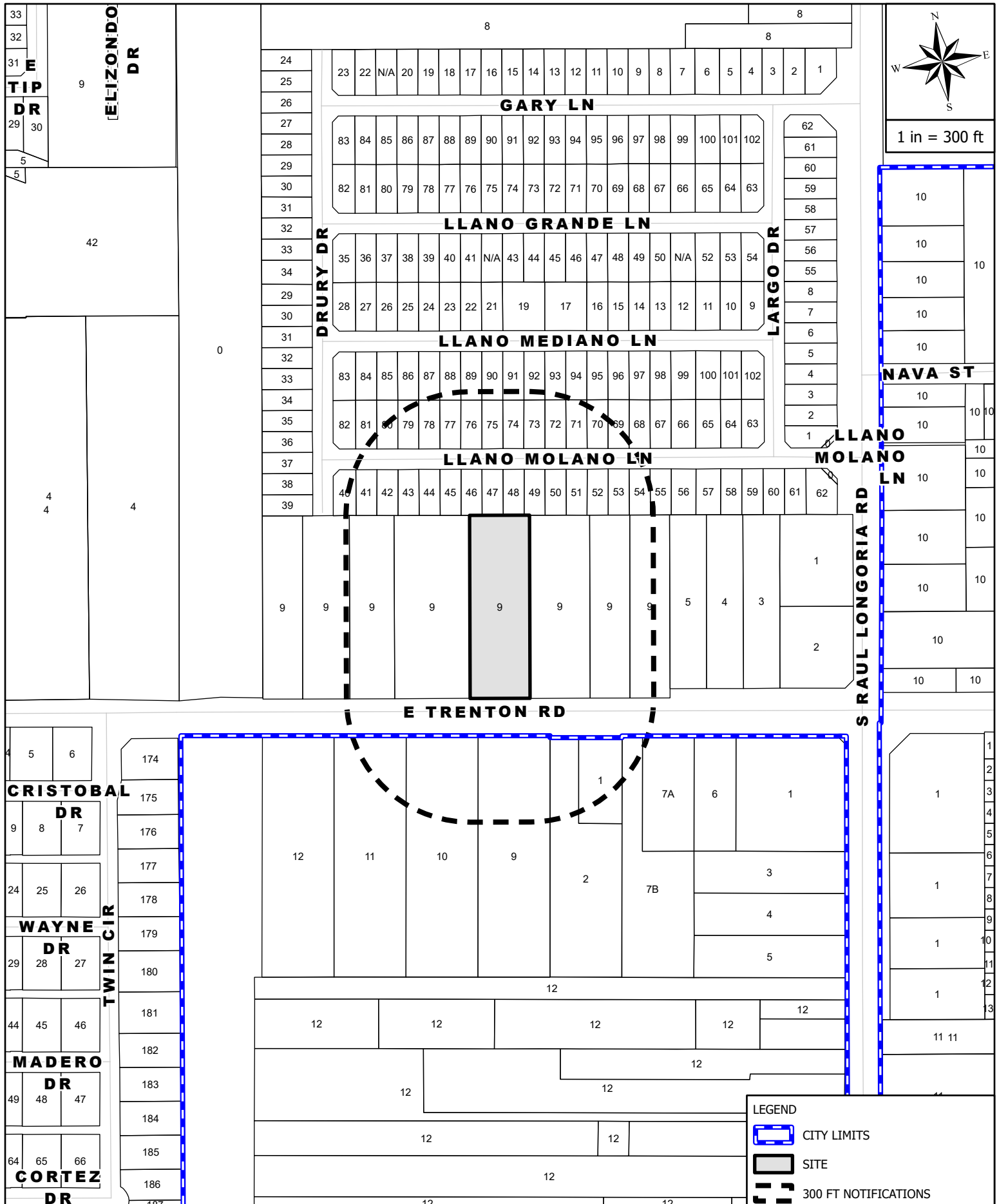


1 in = 300 ft

**FUTURE LANDUSE MAP**

2213 E TRENTON RD





**MAILOUT AND SITE MAP**

2213 E TRENTON RD





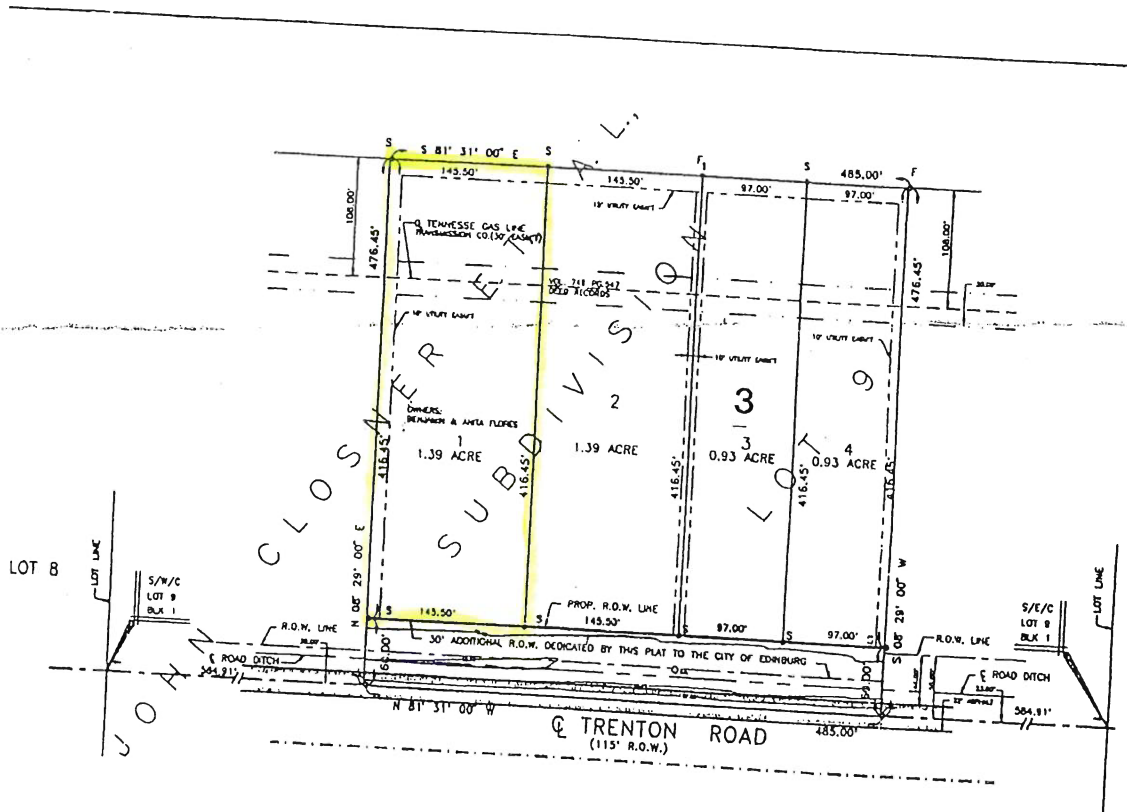
# Rezoning Request Site Photo

Javier Hernandez  
2213 E. Trenton Road



# EXHIBIT "A"

## LOT 31

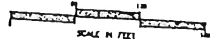


MAP  
OF  
**PROMISE LAND SUBDIVISION  
NO. 2**

EDINBURG, TEXAS

A 6.30 ACRE TRACT OF LAND OUT OF THE EAST 16.81 ACRES OF THE SOUTH 17.01 ACRES OF LOT 8, BLOCK 1, JOHN CLOSSER ST., ALL SUBDIVISION AS RECORDED IN VOLUME 9, PAGE 4, MAP RECORDS, HIDALGO COUNTY, TEXAS.

DATE PREPARED: MAY 21 1997



SCALE: 1" = 60'

PREPARED BY R.E. GARCIA & ASSOCIATES

ENGINEER  
R.E. Garcia R.E. ©  
DRAFTER  
Associates DRW



**CITY OF EDINBURG - NOTICE AND AGENDA  
PLANNING AND ZONING COMMISSION**

Meeting Date: July 9, 2026

PUBLIC HEARINGS

Agenda Item No: 8.B.

Rezoning Request - Supreme Engineering

**1. Agenda Item:**

Consider the Rezoning Request from Residential, Suburban (RS) District to Residential, Primary (RP) District, Being a 17.843 (17.646) Acres Out of Lot 3, Block 237 of the Texas-Mexican Railway Company Survey, Located at 3002 W. Mile 17 ½ Road, as Requested by Supreme Engineering.

**2. Description:**

This property is located along the south side of W. Mile 17 ½ Road, approximately 150 feet west of the intersection of W. Mile 17 ½ Road and N. McColl Road. The property is currently zoned Residential, Suburban (RS) District. This district is suburban in nature, characterized by a balance between landscape and buildings. The requested zoning is Residential, Primary (RP) District. This district has a predominantly auto-urban character. It is the primary residential district, intended to permit a wide range of single-family residential uses. This property has an approximately frontage of 588 feet along W. Mile 17 ½ Road and approximately lot depth of 1,320 feet. Currently the property is a vacant land. The applicant wants to utilize the property to develop 82 single-family residential lots.

Adjacent zoning is Residential, Suburban (RS) District to the north, and south, Residential, Primary (RP) to the north, east and west and Neighborhood, Commercial (NC) to the east. Surrounding land uses consists of residential uses. The Future Land Use designation for this property is for Auto-Urban Uses.

Staff mailed a notice of the public hearing to 92 neighboring property owners on Friday, June 26, 2026. No comments in favor or against had been received at the time this report was prepared. Notice of this public hearing will be published in the newspaper on July 29, 2026.

On June 29, 2026, Planning staff met with City of Edinburg development departments to discuss the proposed rezoning. It was determined that upgrades to the infrastructure will be needed in this area to support the proposed development.

**3. Staff's Recommendation:**

Staff recommends approval of the Rezoning Request from Residential, Suburban (RS) District to Residential, Primary (RP) District, based on the surrounding land uses. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building/fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and other City requirements, as applicable.

**Reviewed by:**

Jaime Acevedo, Director of Planning and Zoning  
Rita Guerrero, Assistant Director of Planning and Zoning  
Erika Monreal, Administrative Assistant

**Prepared by:**

Eduardo Huerta, Planner II

**Attachments:**

A. Planning and Zoning Agenda Packet Attachment

**MEETING DATES:**  
**PLANNING & ZONING COMMISSION – 07/09/2026**  
**CITY COUNCIL – 08/18/2026**  
**DATE PREPARED – 06/29/2026**

**STAFF REPORT**  
**GENERAL INFORMATION**

**APPLICATION:** Rezoning Request from Residential, Suburban (RS) District to Residential, Urban (RU) & Townhome District.

**APPLICANT:** DK3 Investment Group, LLC

**AGENT:** Supreme Engineering

**LEGAL:** Being a 17.843 (17.646) Acres out of Lot 3, Block 237 of the Texas-Mexican Railway Company Survey.

**LOCATION:** Located at 3002 W. Mile 17 ½ Road

**LOT/TRACT SIZE:** 16.829 Acres net.

**CURRENT USE:** Agriculture use

**PROPOSED USE:** Residential, Primary (RP) District

**EXISTING ZONING:** Residential, Suburban (RS) District

**ADJACENT ZONING:** North – Residential, Suburban (RS) District and Residential, Primary (RP) District  
South – Residential, Suburban (RS) District  
East – Residential, Primary (RP) District and Commercial, Neighborhood (CN) District  
West – Residential, Primary (RP) District

**LAND USE PLAN:** Auto-Urban Uses

**PUBLIC SERVICES:** City of Edinburg Sewer and Sharyland Water Supply Corporation for Water

**RECOMMENDATION:** Staff recommends approval of the Rezoning Request from Residential, Suburban (RS) District to Residential, Primary (RP) District.

**REZONING REQUEST  
SUPREME ENGINEERING**

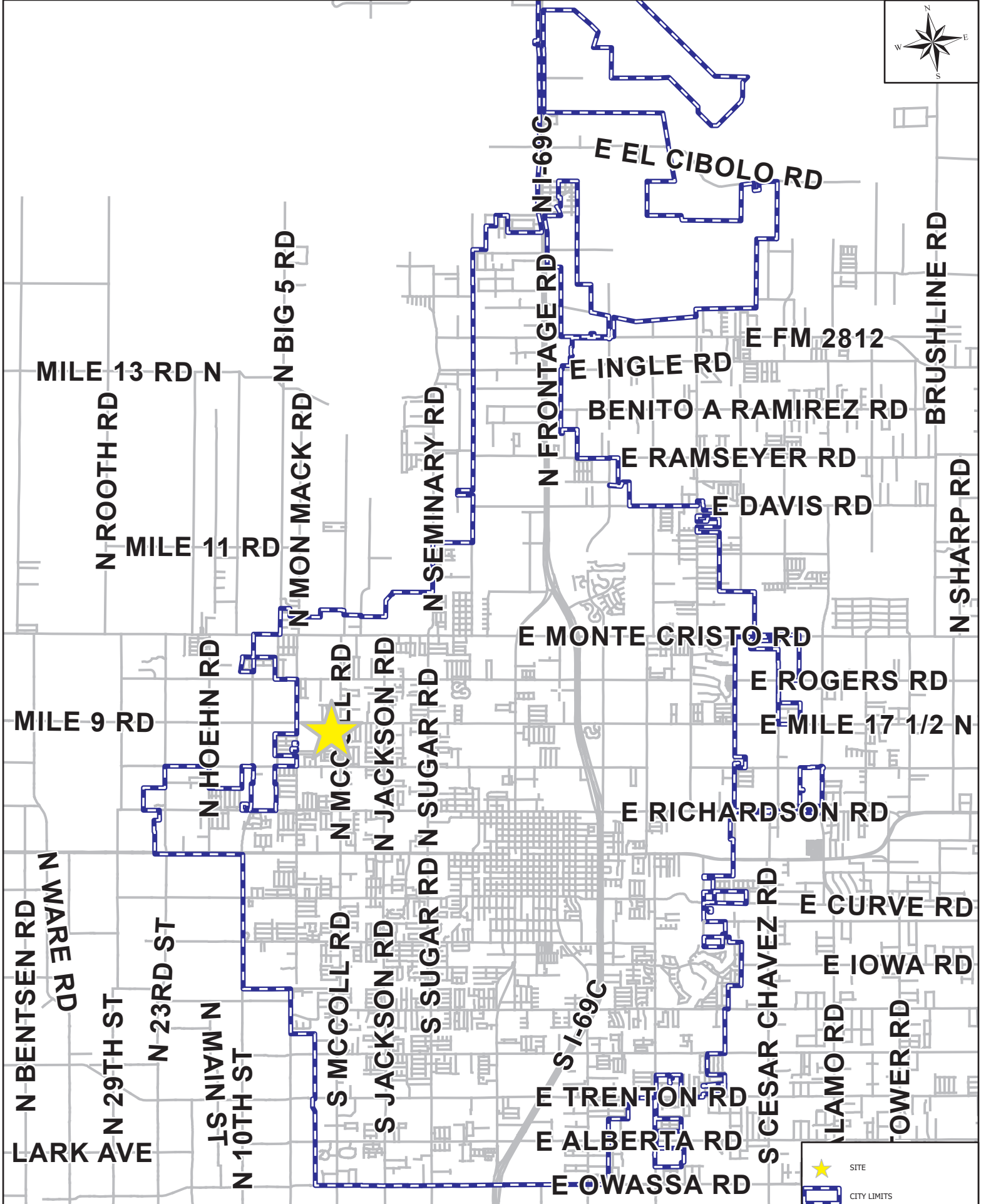
**EVALUATION**

The following is the staff's evaluation of the request:

1. The property is currently a vacant land.
2. Surrounding land consists of vacant land and residential homes.
3. The proposed zoning is consistent with the Future Land Use Plan.

Staff recommends approval of the Rezoning Request from Residential, Suburban (RS) District to Residential, Primary (RP) District, based on the surrounding land uses. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building/fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and other City requirements, as applicable.

Staff mailed a notice of the public hearing to 92 neighboring property owners on Friday, June 26, 2026, and received no comments in favor or against at the time this report was prepared. Notice of this public hearing will be published in the newspaper on July 29, 2026.



N BENTSEN RD  
N WARE RD

LARK AVE  
N 29TH ST  
N 23RD ST  
N MAIN ST  
N 10TH ST

MILE 13 RD N  
N ROOTH RD  
MILE 11 RD  
N MON MACK RD  
N BIG 5 RD

N HOEHN RD  
N MCCOLL RD  
N JACKSON RD  
S MCCOLL RD  
S JACKSON RD  
S SUGAR RD

N SEMINARY RD

N FRONTAGE RD  
N I-69C

S I-69C

E EL CIBOLO RD

E FM 2812  
E INGLE RD  
BENITO A RAMIREZ RD  
E RAMSEYER RD  
E DAVIS RD

E MONTE CRISTO RD  
E ROGERS RD  
E MILE 17 1/2 N

E RICHARDSON RD  
E CURVE RD  
E IOWA RD

E TRENTON RD  
E ALBERTA RD  
E OWASSA RD

S CESAR CHAVEZ RD

BRUSHLINE RD  
N SHARP RD

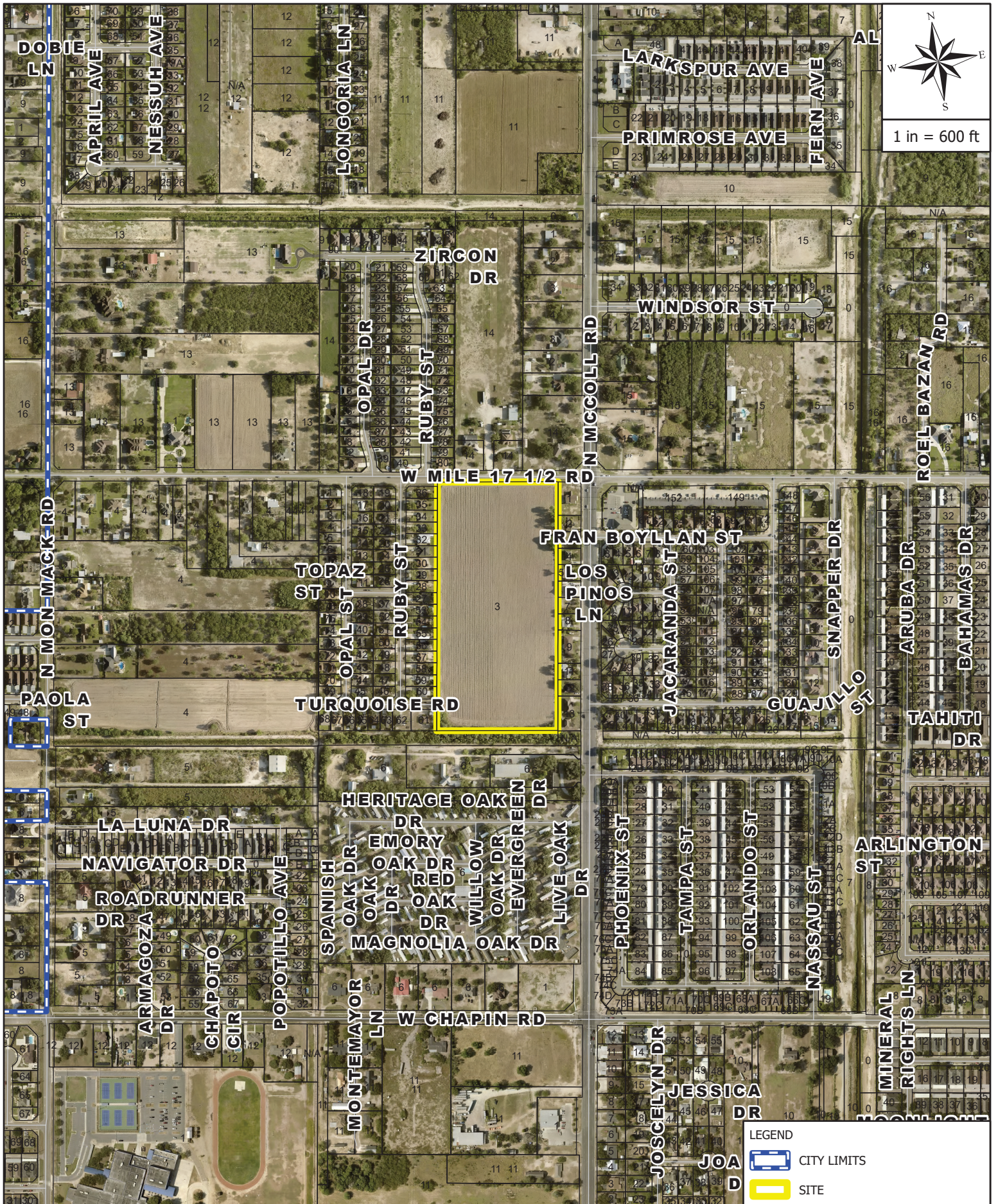
★ SITE

▬ CITY LIMITS



EDINBURG NEW DEVELOPMENT MAP

3002 W MILE 17 1/2 RD



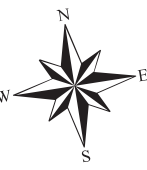
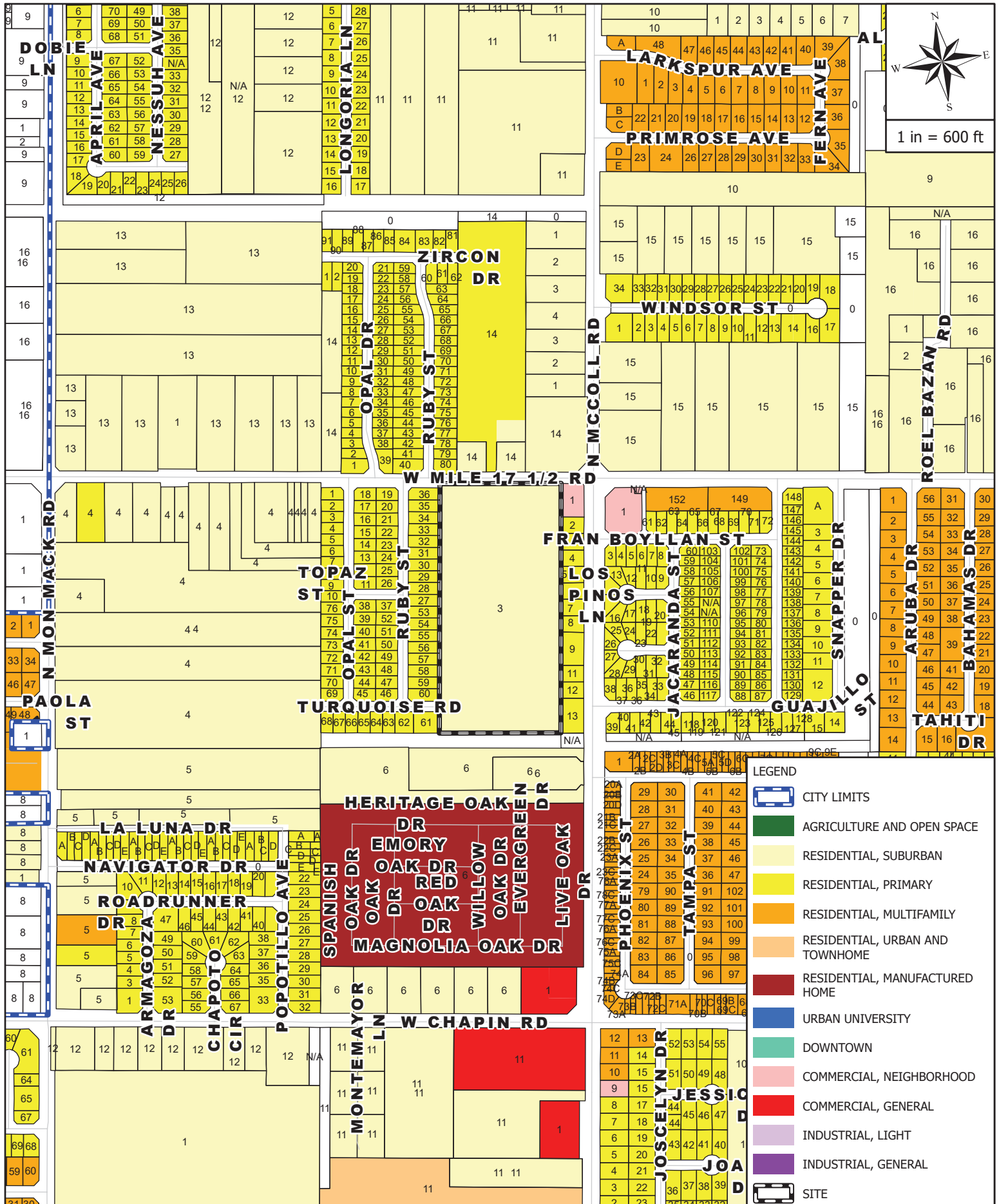
1 in = 600 ft

- LEGEND
-  CITY LIMITS
  -  SITE



**AERIAL MAP**

3002 W MILE 17 1/2 RD

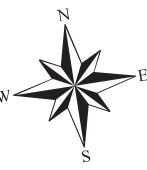
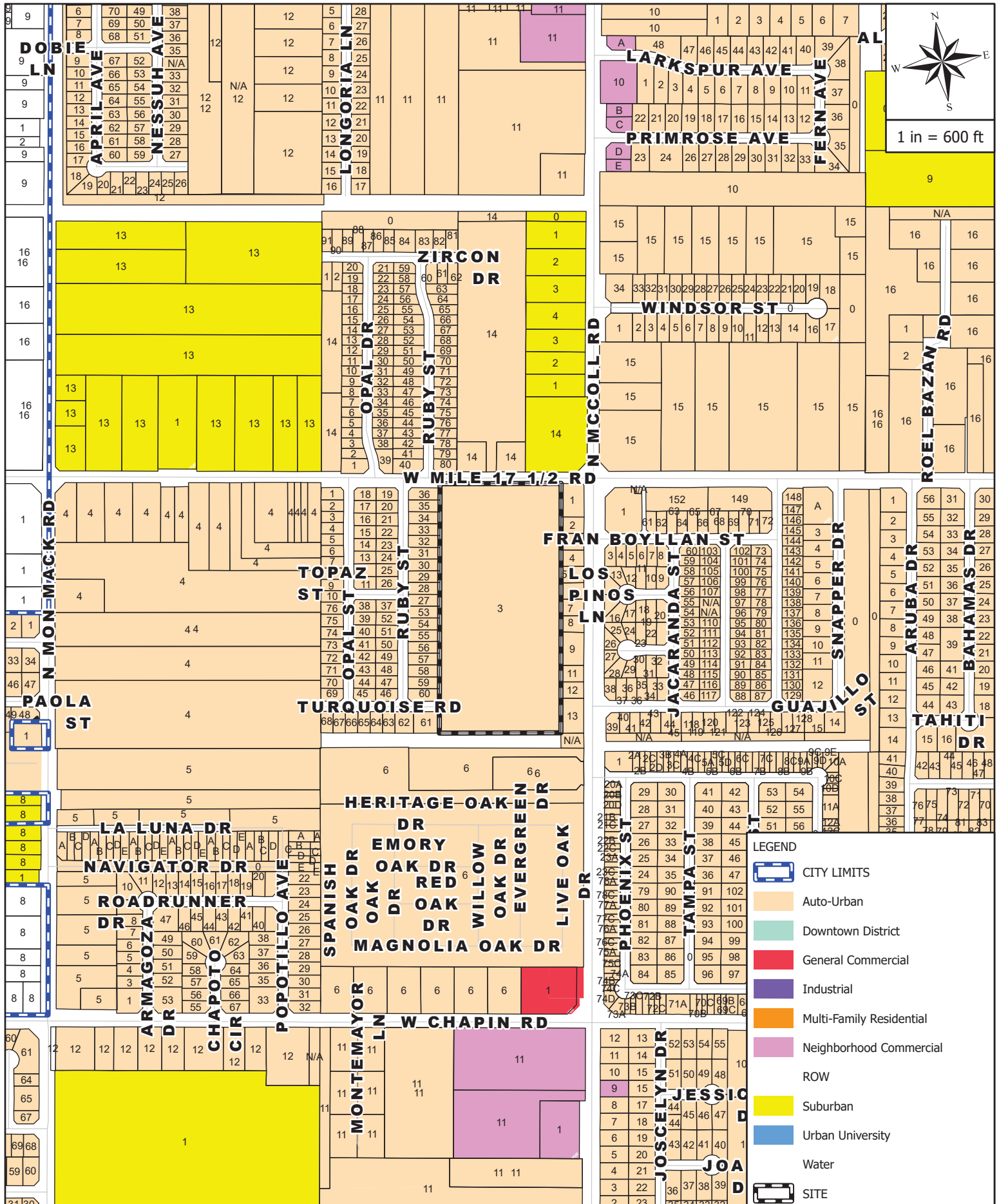


1 in = 600 ft

**ZONING MAP**

3002 W MILE 17 1/2 RD





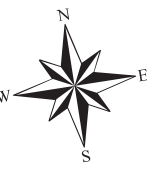
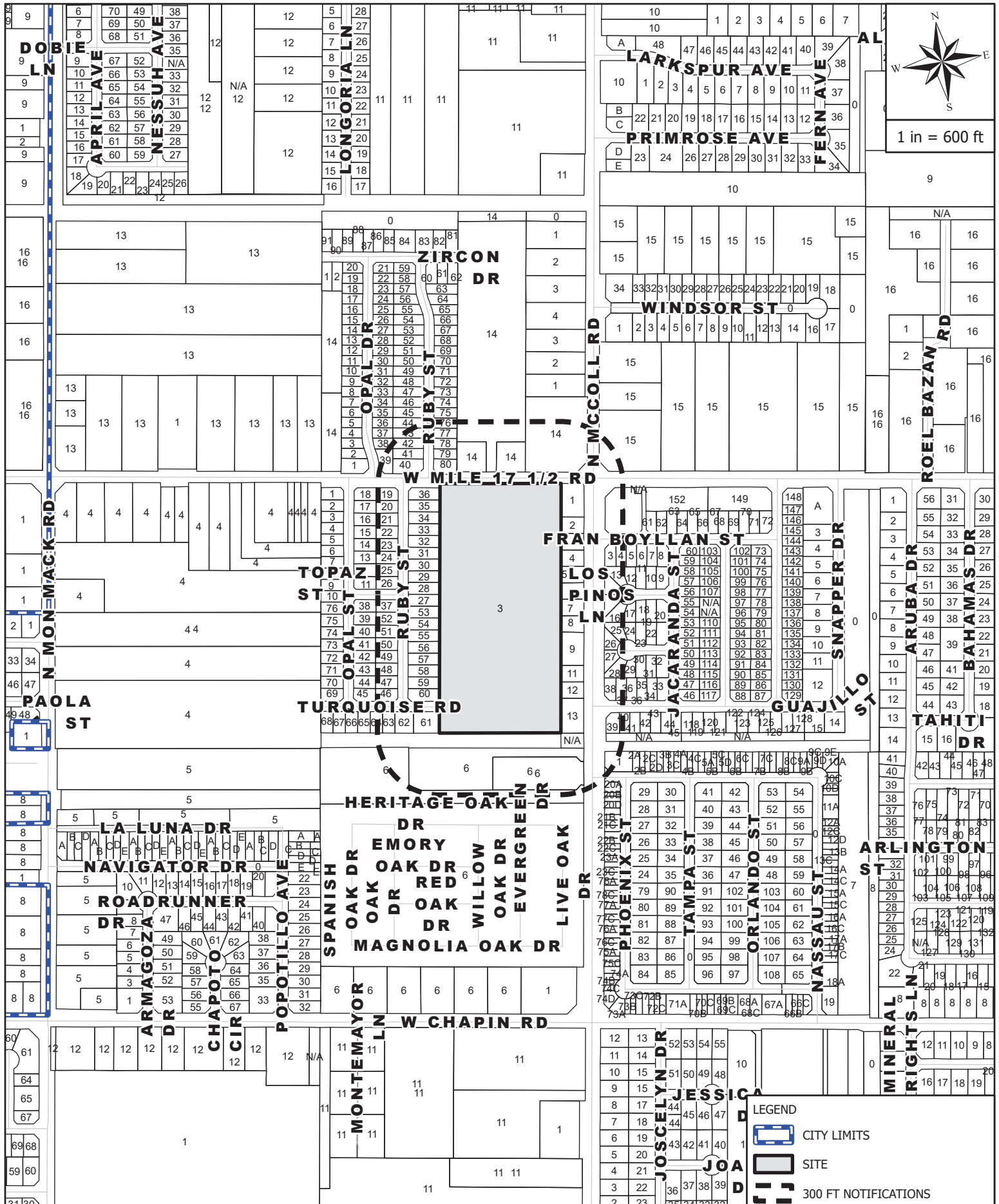
1 in = 600 ft

- LEGEND**
- CITY LIMITS
  - Auto-Urban
  - Downtown District
  - General Commercial
  - Industrial
  - Multi-Family Residential
  - Neighborhood Commercial
  - ROW
  - Suburban
  - Urban University
  - Water
  - SITE




**FUTURE LANDUSE MAP**

3002 W MILE 17 1/2 RD





1 in = 600 ft

- LEGEND**
-  CITY LIMITS
  -  SITE
  -  300 FT NOTIFICATIONS

**MAILOUT AND SITE MAP**

3002 W MILE 17 1/2 RD





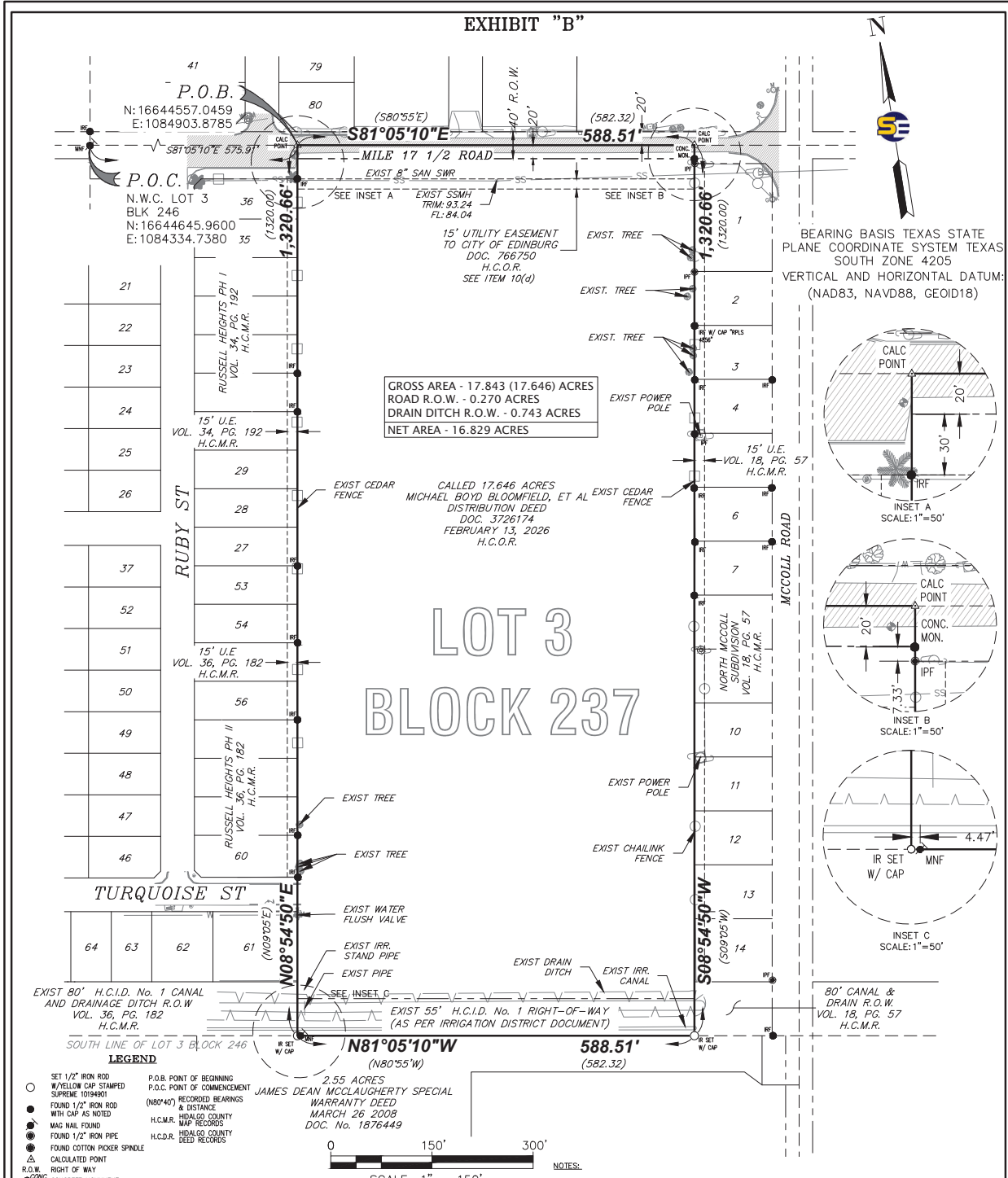
# Rezoning Request Site Photo

Supreme Engineering  
3002 W. Mile 17 1/2 Road





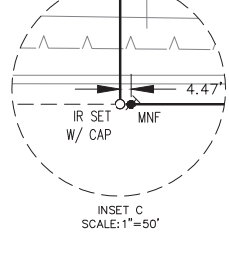
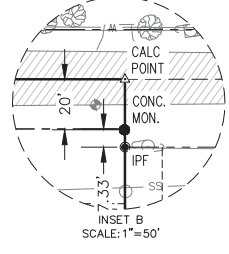
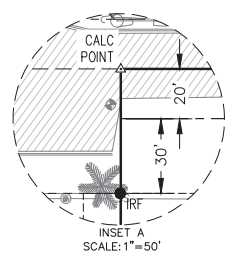
EXHIBIT "B"



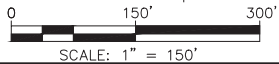
GROSS AREA - 17.843 (17.646) ACRES  
 ROAD R.O.W. - 0.270 ACRES  
 DRAIN DITCH R.O.W. - 0.743 ACRES  
 NET AREA - 16.829 ACRES

LOT 3  
 BLOCK 237

BEARING BASIS TEXAS STATE  
 PLANE COORDINATE SYSTEM TEXAS  
 SOUTH ZONE 4205  
 VERTICAL AND HORIZONTAL DATUM:  
 (NAD83, NAVD88, GEOID18)



- LEGEND**
- SET 1/2" IRON ROD W/YELLOW CAP STAMPED SUPRME 1019401
  - FOUND 1/2" IRON ROD WITH CAP AS NOTED
  - MAG NAIL FOUND
  - FOUND 1/2" IRON PIPE
  - FOUND COTTON PICKER SPINDLE
  - ▲ CALCULATED POINT
  - R.O.W. RIGHT OF WAY
  - CONC. CONCRETE MONUMENT
  - P.O.B. POINT OF BEGINNING
  - P.O.C. POINT OF COMMENCEMENT
  - (N80°40') RECORDED BEARINGS & DISTANCE
  - H.C.M.R. HIDALGO COUNTY MAP RECORDS
  - H.C.D.R. HIDALGO COUNTY DEED RECORDS



- NOTES:**
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY WAS SCALED TO BE IN: ZONE "X" (MEDIUM SHADING) AREAS OF THE 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD. ACCORDING TO THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 460334-0325-D WHICH BEARS A REVISED DATE OF JUNE 16, 2000. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.
  - THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A TITLE COMMITMENT ISSUED BY ALLIANT NATIONAL TITLE INSURANCE COMPANY PROPOSED INSURED: DK3 INVESTMENT GROUP, LLC OF NUMBER: 191509 EFFECTIVE DATE: DECEMBER 12, 2025. ISSUED DATE: DECEMBER 31, 2025.
  - ALSO SEE SCHEDULE B EXCEPTIONS FROM (a) TO ITEM (f), WITH THE FOLLOWING EXCEPTIONS AS FOLLOWS:
    - ITEM 10(a) - EASEMENTS, RULES REGULATIONS AND RIGHTS IN FAVOR OF HIDALGO COUNTY IRRIGATION DISTRICT NO. 1. SUBJECT TO
    - ITEM 10(b) - ROADS, EASEMENTS AND RESERVATIONS AS SHOWN ON THE MAP OF TEXAS-MEXICAN RAILWAY COMPANY SURVEY, RECORDED IN VOLUME 1, PAGES 12, MAP RECORDS OF HIDALGO COUNTY, TEXAS. SUBJECT TO
    - ITEM 10(c) - EASEMENT FOR CANALS, DRAINAGE DITCHES, LATERALS, ETC. AS SHOWN BY INSTRUMENT DATED OCTOBER 24, 1919, RECORDED IN VOLUME 95, PAGE 233, DEED RECORDS OF HIDALGO COUNTY, TEXAS. (BLANKET) SUBJECT TO
    - ITEM 10(d) - EASEMENT IN FAVOR OF CITY OF EDINBURG AS SHOWN BY INSTRUMENT DATED APRIL 6, 1999, FILED APRIL 19, 1999 UNDER DOCUMENT NUMBER 766750, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS. SUBJECT TO
  3. BASIS OF BEARINGS ON THIS SURVEY ARE AS PER THE TEXAS STATE COORDINATES SYSTEM TEXAS SOUTH ZONE 4205
  4. THE PROPERTY CORNERS OF THE TRACT SURVEYED WERE STAKED BASED ON THE BEST FIT OF MONUMENTS FOUND FOR THIS PROPERTY AND FROM ADJACENT AND OPPOSITE PROPERTIES, TAKING INTO ACCOUNT THE SENIOR-JUNIOR RIGHTS AND THE INTENT OF THE SURVEYORS ORIGINAL FOOTPRINTS

**BOUNDARY SURVEY PLAT OF**

**A 17.843 (17.646) ACRES OUT OF LOT 3, BLOCK 237 OF THE TEXAS-MEXICAN RAILWAY COMPANY SURVEY, RECORDED IN VOLUME 1, PAGES 12, MAP RECORDS OF HIDALGO COUNTY, TEXAS.**

PROPERTY ADDRESS: W MILE 17 1/2 ROAD, EDINBURG, TX 78541

SURVEY WAS PREPARED FOR: DK3 INVESTMENT GROUP, LLC

JOB NUMBER: S26-001

DRAWN BY: E.M. & J.C.P

APPROVED BY: R.A.A.

DATE: 02/27/2026

I HEREBY CERTIFY THAT THE SURVEY DESCRIBED HEREIN WAS MADE ON THE GROUND, JANUARY 15, 2026, UNDER MY SUPERVISION AND THAT IT CORRECTLY REPRESENTS THE FACTS FOUND ON THE GROUND AT THE TIME OF THE SURVEY. THERE WERE NO VISIBLE ENCROACHMENTS, VISIBLE EASEMENTS AND VISIBLE OVERLAPPING APPARENT CONFLICTS AS SHOWN ON THE GROUND EXCEPT AS SHOWN HEREIN. THIS SURVEY MARKEDLY CONFORMS TO THE MINIMUM STANDARDS OF PRACTICE AS APPROVED BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

SEAL OR EMBOSSEMENT

STATE OF TEXAS  
 REGISTERED  
 RESTITUTO A. ASCANO, III  
 6225  
 PROFESSIONAL  
 LAND SURVEYOR

RESTITUTO A. ASCANO, III  
 R.P.L.S. # 6225  
 SUPREME ENGINEERING, PLLC - TBPELS 1019401  
 THIS SURVEY PLAT IS NOT VALID WITHOUT THE ORIGINAL SEAL AND SIGNATURE.

SURVEYOR:

TBPELS FIRM No. 10194901  
 SUPREME ENGINEERING, PLLC  
 135 PASEO DEL PRADO, STE. 7  
 EDINBURG, TX 78539 PH: (956) 403-1314



**CITY OF EDINBURG - NOTICE AND AGENDA  
PLANNING AND ZONING COMMISSION**

Meeting Date: July 9, 2026

PUBLIC HEARINGS

Agenda Item No: 8.C.

Comprehensive Plan Amendment and Rezoning Request - Blanca Garcia and Roberto Garcia

**1. Agenda Item:**

Consider the Comprehensive Plan Amendment from Auto-Urban Uses to Multi-Family Residential Uses and Rezoning Request from Residential, Primary (RP) District to Residential, Multifamily (RM) District, Being Lots 47, 48, and 49, Block 4, Town of Lull, Located at 3709 Tagle Street, as Requested by Blanca Garcia and Roberto Garcia.

**2. Description:**

This property is located at the west side of Tagle Street, approximately 145 feet north of the intersection of W. Monte Cristo Road and Tagle Street. The property is currently zoned Residential, Primary (RP) District. This district has a predominantly auto-urban character. The requested zoning is Residential, Multifamily (RM) District. This district is a high intensity residential district intended to accommodate various multifamily residential uses (2 or more dwelling units on a single lot). This property has a total frontage of 150 feet and a lot depth of 148.2 feet for a total area of approximately 0.5 acres. Currently the property has a residential home on the lot. The applicant wants to utilize the property to develop an apartment complex.

Adjacent zoning is Residential, Primary (RP) District to the north and east, Commercial, General (CG) District to the west and Commercial, Neighborhood (CN) District to the south and east. Surrounding land uses consists of commercial uses, and single-home residential. The Future Land Use designation for this property is for Auto-Urban Uses.

Staff mailed a notice of the public hearing to 33 neighboring property owners on Friday, June 26, 2026. No comments in favor or against had been received at the time this report was prepared. Notice of this public hearing will be published in the newspaper on July 29, 2026.

On June 29, 2026, Planning staff met with City of Edinburg development departments to discuss the proposed rezoning. It was determined that the infrastructure will support the proposed development.

**3. Staff's Recommendation:**

Staff recommends denial of the Comprehensive Plan Amendment from Auto-Urban Uses to Multi-Family Residential Uses and Rezoning Request from Residential, Primary (RP) District to Residential, Multifamily (RM) District, based on the surrounding land uses. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building/fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and other City requirements, as applicable.

**Reviewed by:**

Jaime Acevedo, Director of Planning and Zoning  
Rita Guerrero, Assistant Director of Planning and Zoning  
Erika Monreal, Administrative Assistant

**Prepared by:**

Eduardo Huerta, Planner II

**Attachments:**

A. Planning & Zoning Agenda Packet Attachment

**MEETING DATES:**  
**PLANNING & ZONING COMMISSION – 07/09/2026**  
**CITY COUNCIL – 08/18/2026**  
**DATE PREPARED – 06/29/2026**

**STAFF REPORT**  
**GENERAL INFORMATION**

**APPLICATION:** Consider the Comprehensive Plan Amendment from Auto-Urban Uses to Multi-Family Residential Uses and Rezoning Request from Residential, Primary (RP) District to Residential, Multifamily (RM) District.

**APPLICANT:** Blanca Garcia and Roberto Garcia

**AGENT:** N/A

**LEGAL:** Lots 47, 48, and 49, Block 4, Town of Lull.

**LOCATION:** Located at 3709 Tagle Street

**LOT/TRACT SIZE:** Lots 47, 48 and 49

**CURRENT USE:** Residential home

**PROPOSED USE:** Residential, Multifamily (RM) District

**EXISTING ZONING:** Residential, Primary (RP) District

**ADJACENT ZONING:** North – Residential, Primary (RP) District  
South – Commercial, Neighborhood (CN) District  
East – Residential, Primary (RP) District and Commercial, Neighborhood (CN) District  
West – Commercial, General (CG) District

**LAND USE PLAN:** Auto-Urban Uses

**PUBLIC SERVICES:** City of Edinburg Sewer and Water

**RECOMMENDATION:** Staff recommends denial of the Comprehensive Plan Amendment from Auto-Urban Uses to Multi-Family Residential Uses and Rezoning Request from Residential, Primary (RP) District to Residential, Multifamily (RM) District.

**COMPREHENSIVE PLAN AMENDMENT  
REZONING REQUEST  
BLANCA GARCIA AND ROBERTO GARCIA**

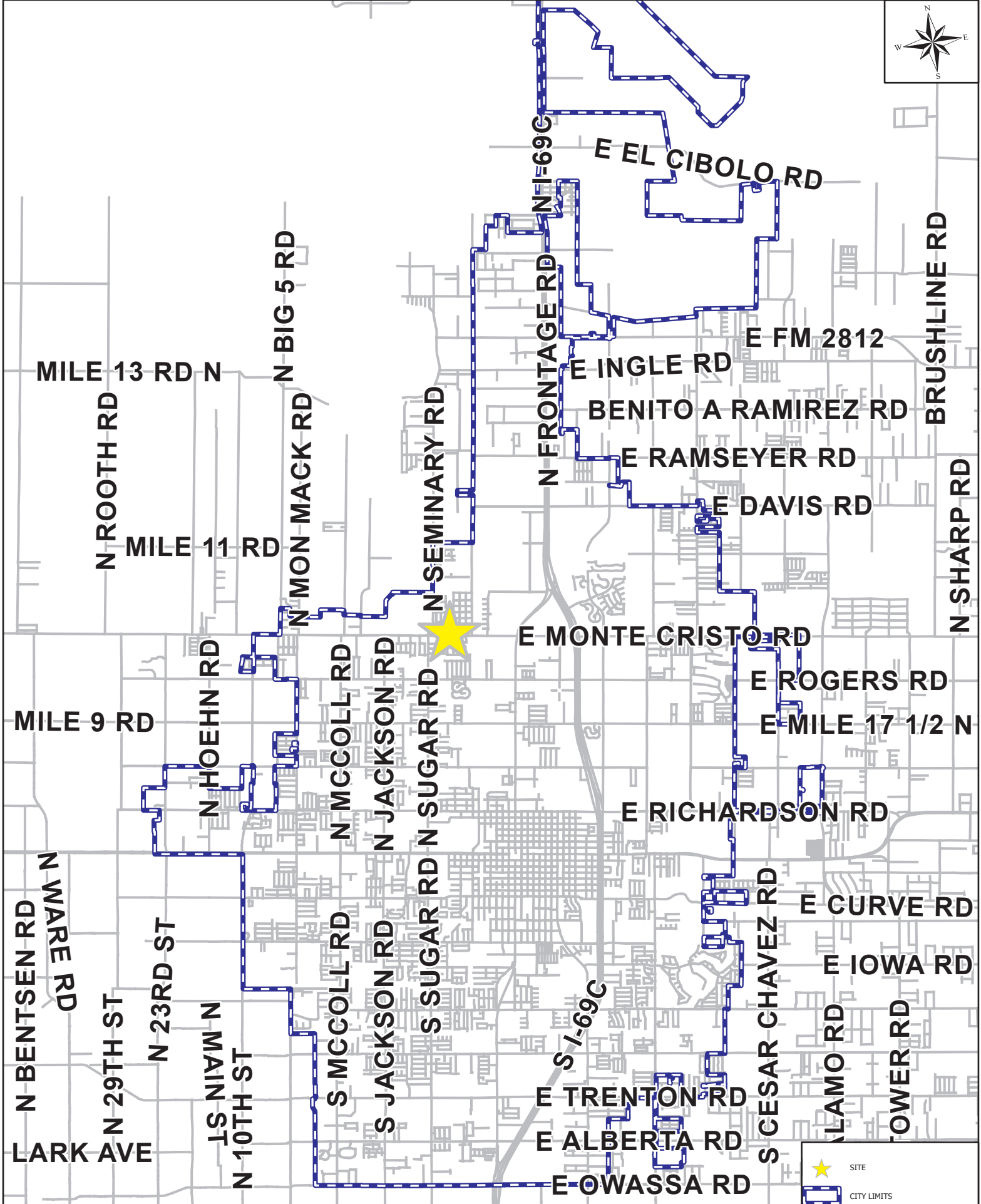
**EVALUATION**

The following is the staff's evaluation of the request:

1. The property is currently a vacant land.
2. Surrounding land consists of commercial uses, and residential homes.
3. The proposed zoning is not consistent with the Future Land Use Plan.



Staff recommends denial of the Comprehensive Plan Amendment from Auto-Urban Uses to Multi-Family Residential Uses and Rezoning Request from Residential, Primary (RP) District to Residential, Multifamily (RM) District, based on the surrounding land uses. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building/fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and other City requirements, as applicable.

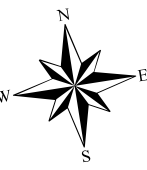
Staff mailed a notice of the public hearing to 33 neighboring property owners on Friday, June 26, 2026, and received no comments in favor or against at the time this report was prepared. Notice of this public hearing will be published in the newspaper on July 29, 2026.



**EDINBURG NEW DEVELOPMENT MAP**



3709 TAGLE ST

-  SITE
-  CITY LIMITS



1 in = 300 ft

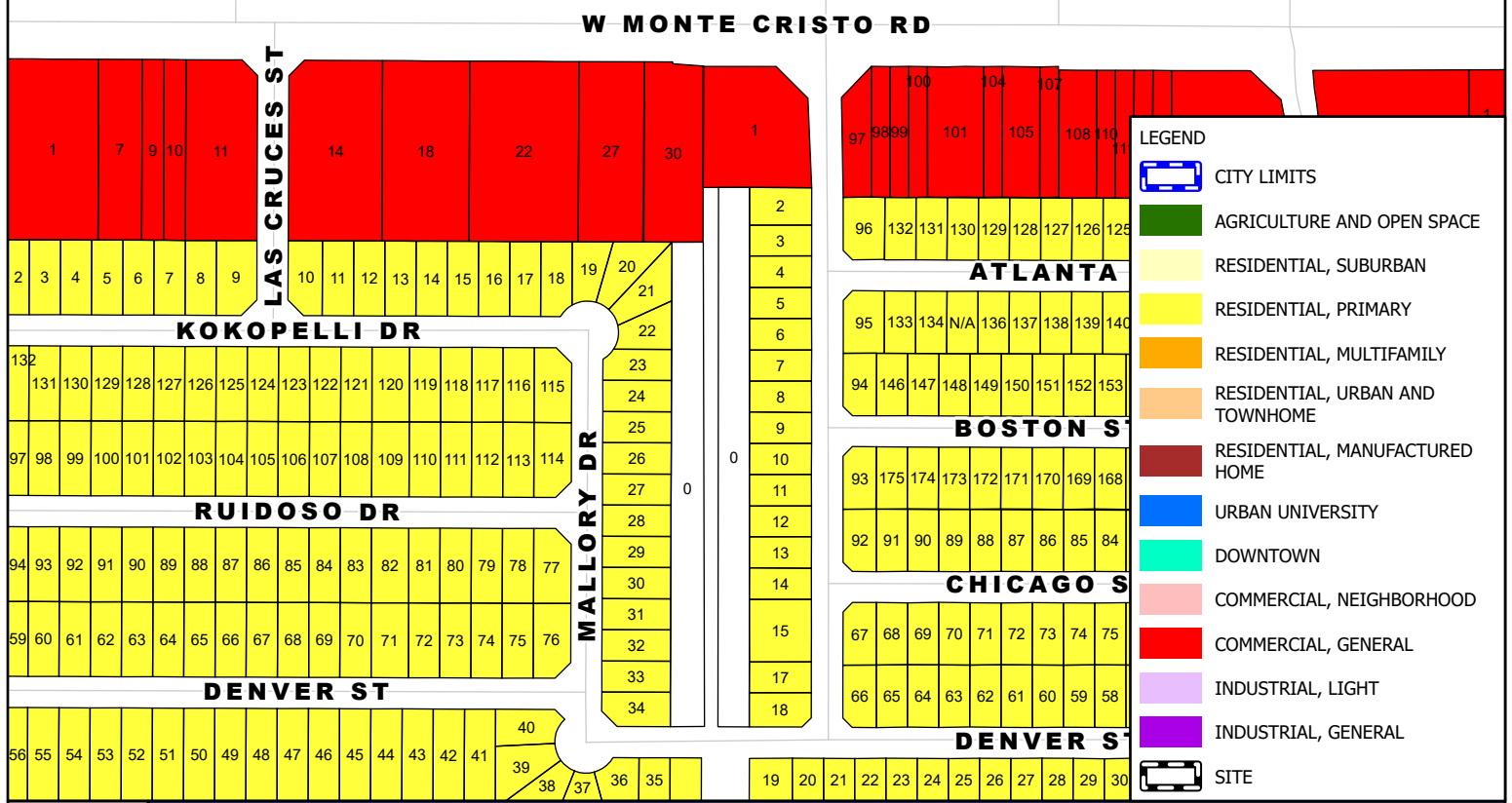
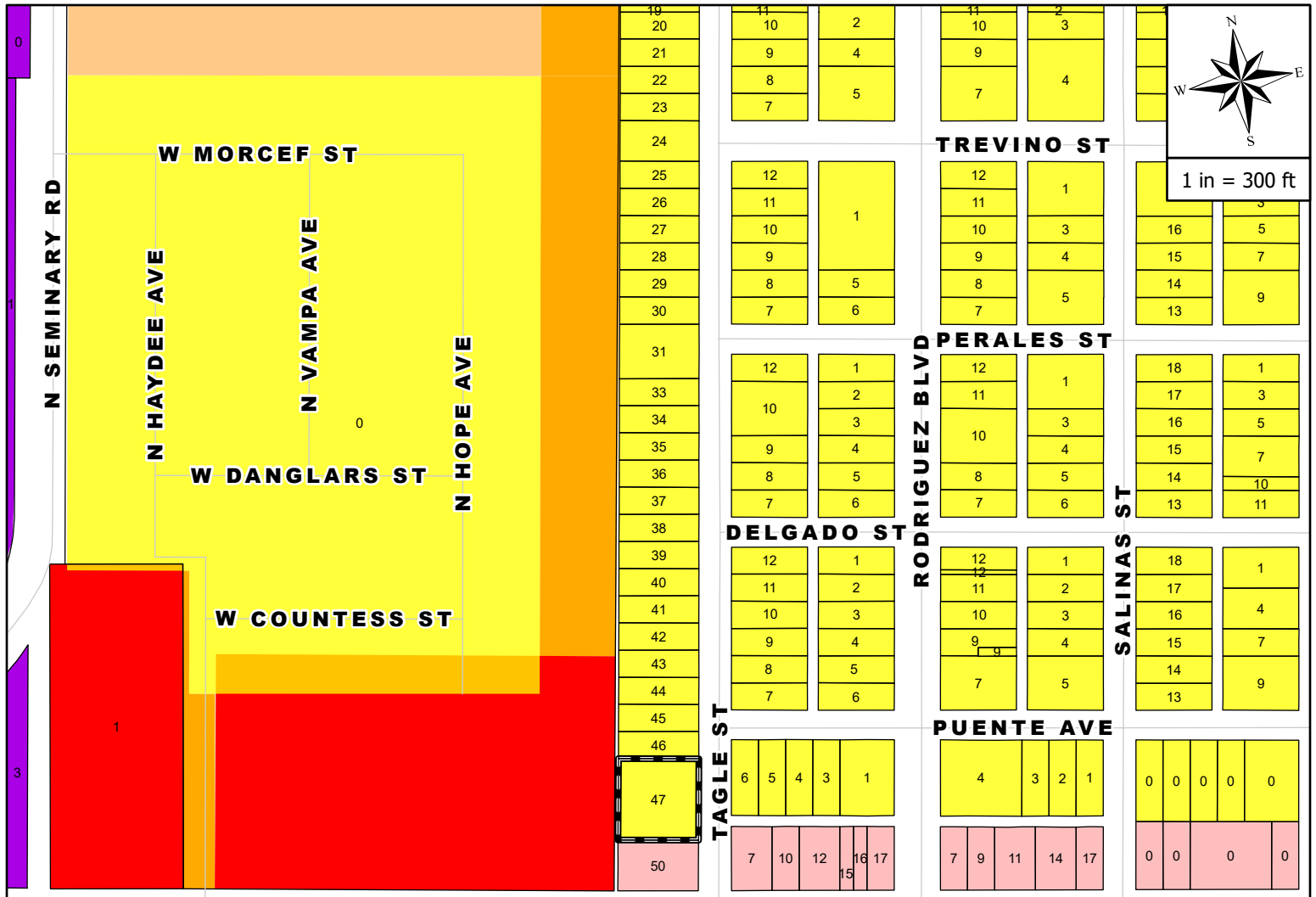
**LEGEND**

-  CITY LIMITS
-  SITE



**AERIAL MAP**

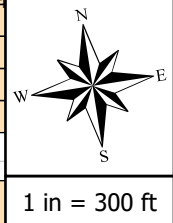
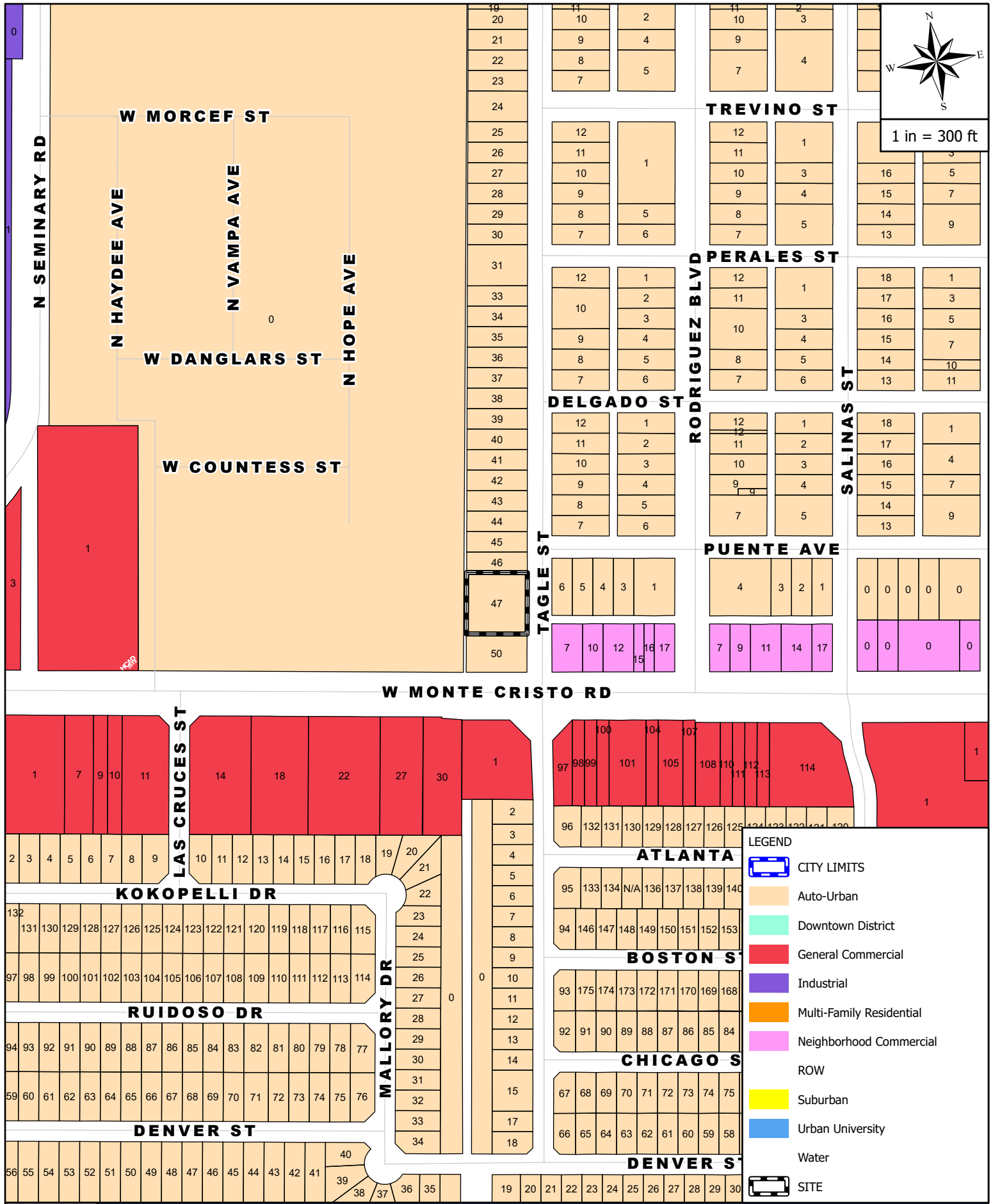
3709 TAGLE ST



- LEGEND**
- CITY LIMITS
  - AGRICULTURE AND OPEN SPACE
  - RESIDENTIAL, SUBURBAN
  - RESIDENTIAL, PRIMARY
  - RESIDENTIAL, MULTIFAMILY
  - RESIDENTIAL, URBAN AND TOWNHOME
  - RESIDENTIAL, MANUFACTURED HOME
  - URBAN UNIVERSITY
  - DOWNTOWN
  - COMMERCIAL, NEIGHBORHOOD
  - COMMERCIAL, GENERAL
  - INDUSTRIAL, LIGHT
  - INDUSTRIAL, GENERAL
  - SITE



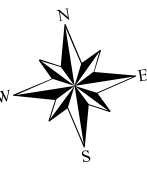
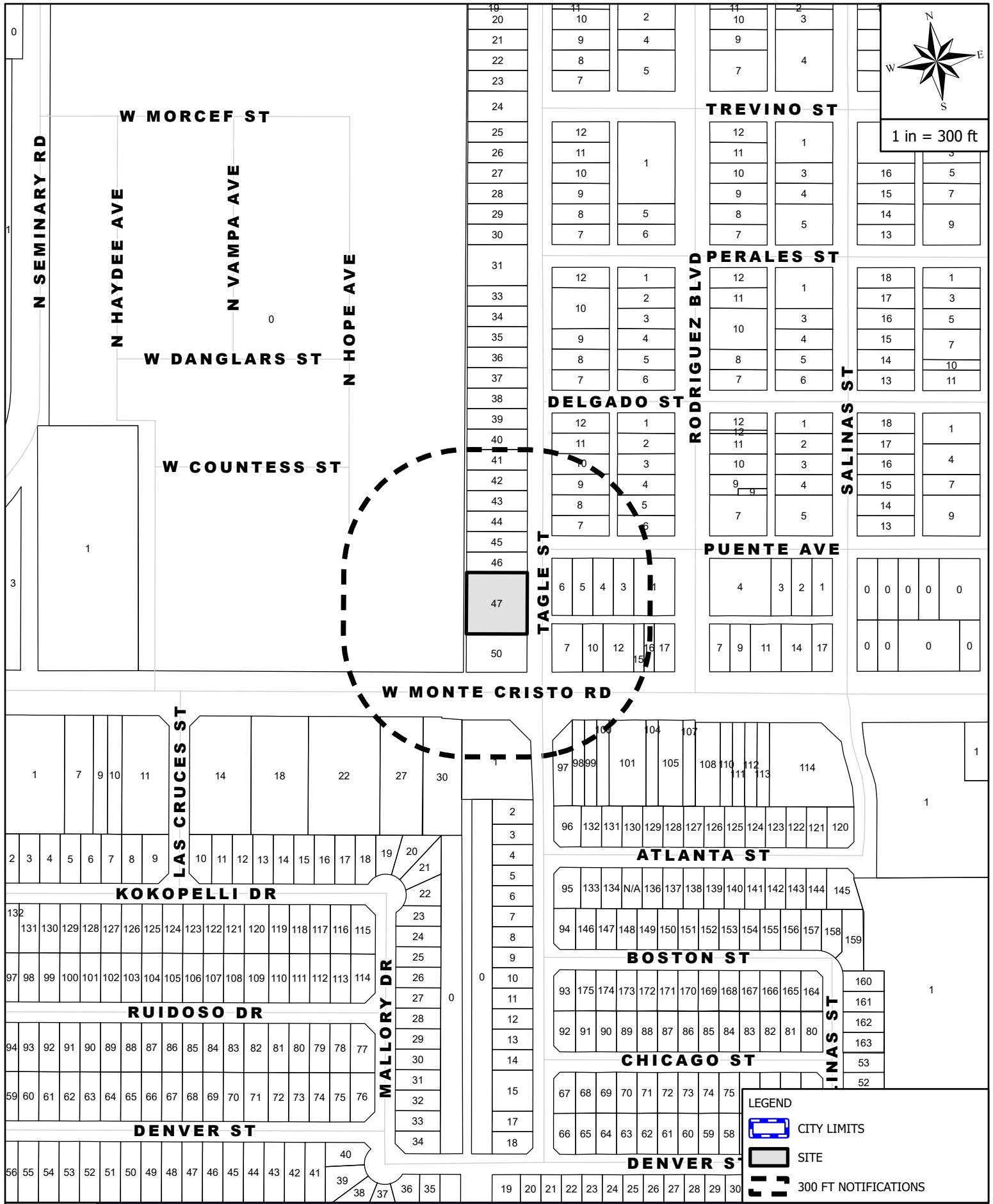
**ZONING MAP**  
3709 TAGLE ST






**FUTURE LANDUSE MAP**

3709 TAGLE ST





1 in = 300 ft

- LEGEND**
-  CITY LIMITS
  -  SITE
  -  300 FT NOTIFICATIONS

**MAILOUT AND SITE MAP**

3709 TAGLE ST

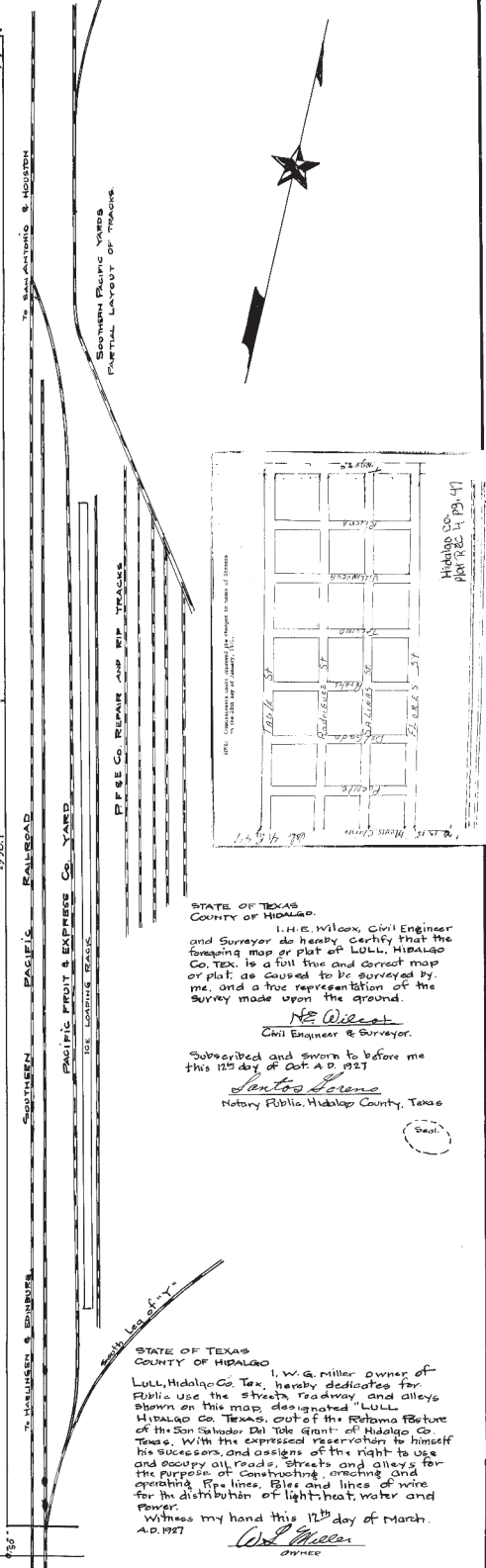
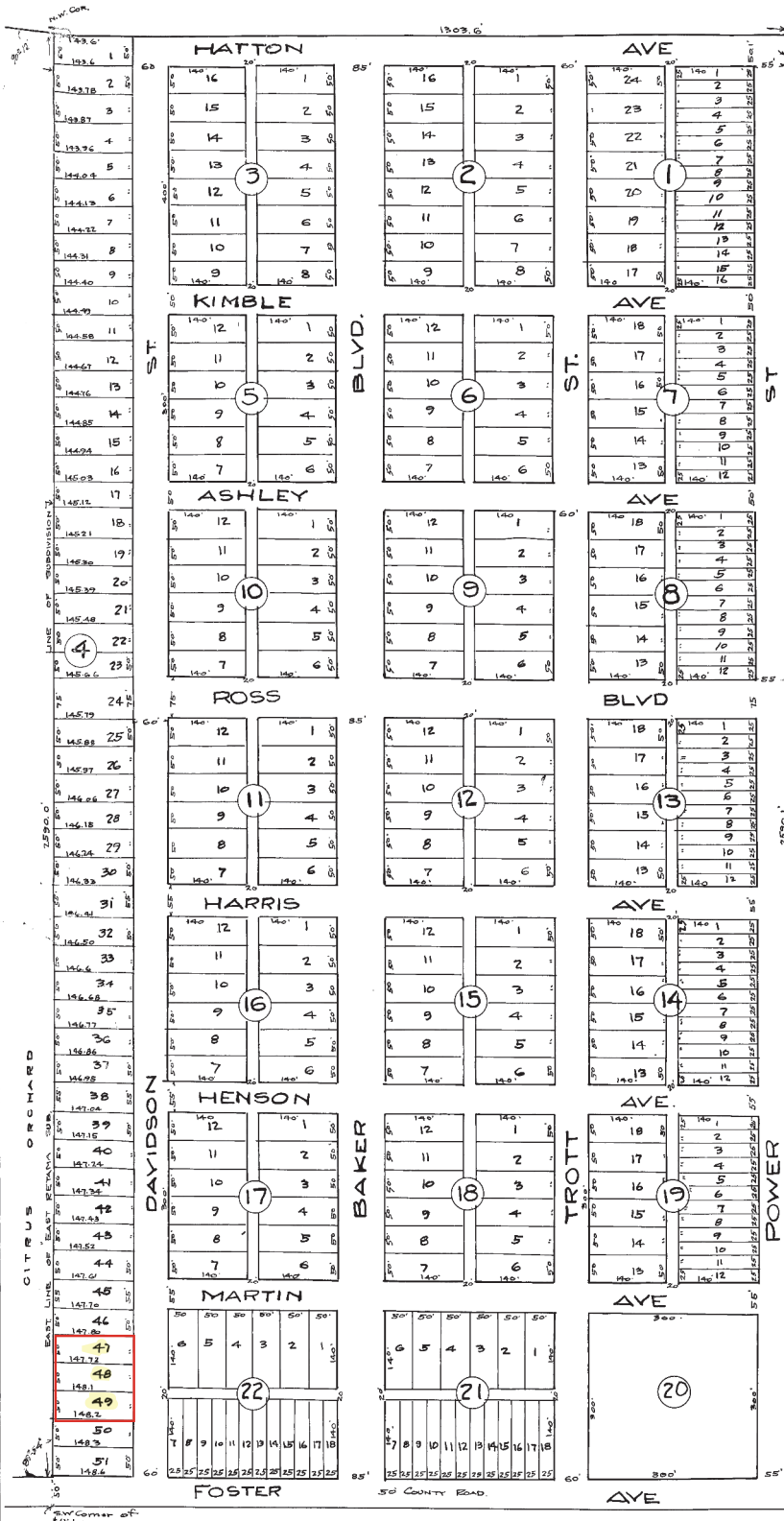




# Rezoning Request Site Photo

Blanca Garcia and Roberto Garcia  
3709 Tagle Street





STATE OF TEXAS  
 COUNTY OF HIDALGO

I, H.E. Wilcox, Civil Engineer and Surveyor do hereby certify that the foregoing map or plat of LULL, HIDALGO Co. TEX. is a full true and correct map or plat, as caused to be surveyed by me, and a true representation of the survey made upon the ground.

*H.E. Wilcox*  
 Civil Engineer & Surveyor.

Subscribed and sworn to before me this 12th day of Oct. A.D. 1927

*Antonio Garcia*  
 Notary Public, Hidalgo County, Texas

STATE OF TEXAS  
 COUNTY OF HIDALGO

I, W.A. Miller owner of LULL, Hidalgo Co. Tex. hereby dedicates for Public use the streets, roadway, and alleys shown on this map, designated "LULL, HIDALGO Co. TEXAS, out of the RETAMA PASTURE of the San Salvador Del Tule Grant of Hidalgo Co. TEXAS. With the expressed reservation to himself his successors, and assigns of the right to use and occupy all roads, streets and alleys for the purpose of constructing, erecting and operating P.W. lines, Poles and lines of wire for the distribution of light, heat, water and power.

Witness my hand this 12th day of March, A.D. 1927

*W.A. Miller*  
 OWNER

STATE OF TEXAS  
 COUNTY OF HIDALGO

Before me the undersigned authority on this day personally appeared W.A. Miller, owner of LULL, Hidalgo Co. Texas, known to me to be the person, whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed given under my hand and seal of Office this 12th day of March AD 1927.

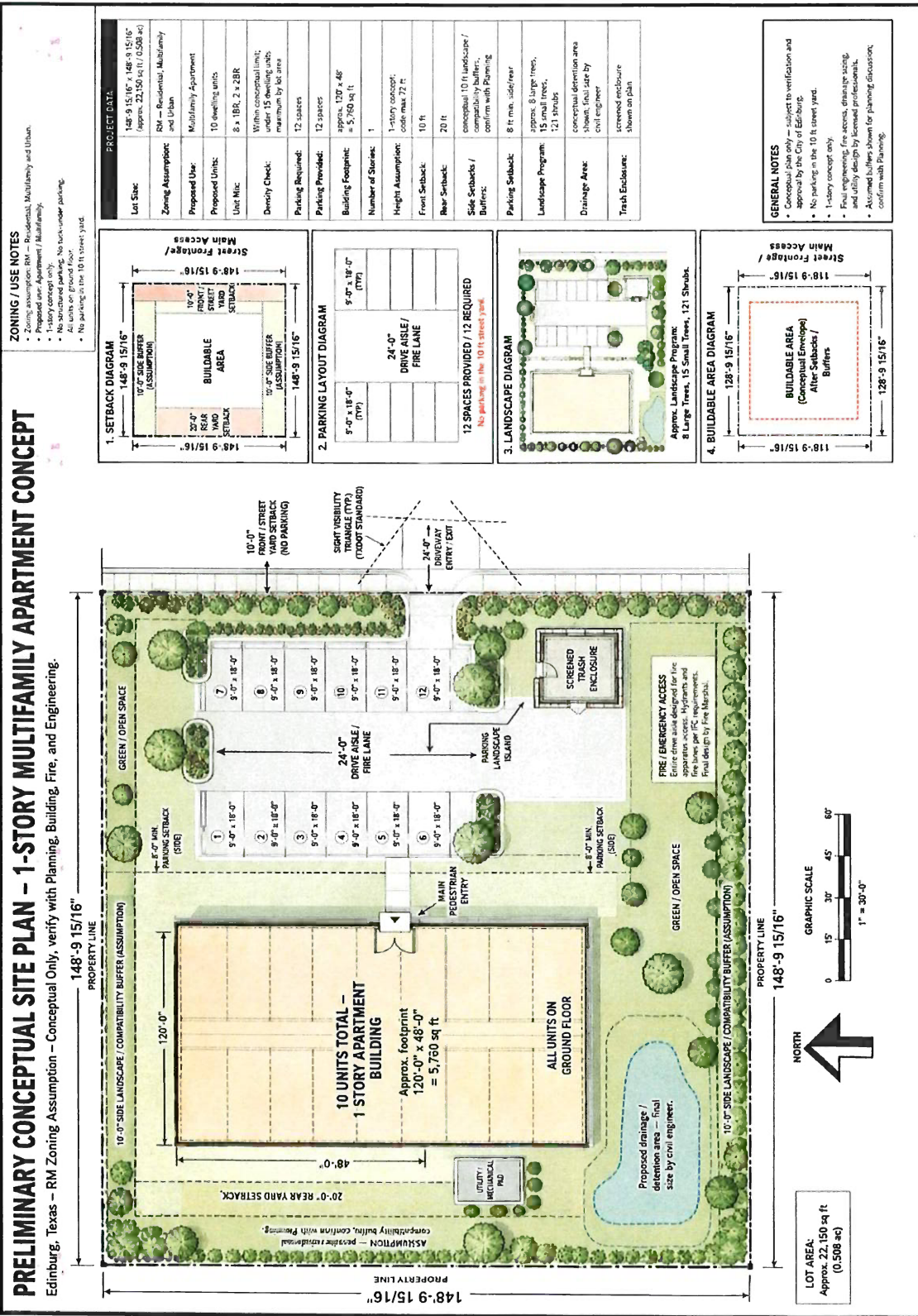
*Francis Barrera*  
 Notary Public Hidalgo County, Texas.

Filed for Record this day  
 Oct. 12, 1927  
 At 5:00 o'clock A.M.  
 J. C. B. H. H.  
 Clerk County Court, Hidalgo Co. Texas.  
 At 5:00 o'clock P.M.  
 March 12, 1927

**LULL**  
 HIDALGO CO. TEXAS  
 OUT OF  
 THE RETAMA PASTURE  
 OF THE  
 SAN SALVADOR DEL TULE GRANT  
 H.E. WILCOX, CIVIL ENGINEER.  
 EDINBURG, TEXAS MARCH 12, 1927

# 4. Conceptual Site Plan - 1-Story / Surface Parking Only

East side is Tagle Street / main access. North is up. Dimensions and layout are conceptual and must be verified by survey and civil engineering.

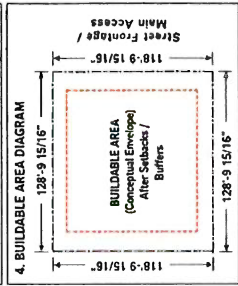
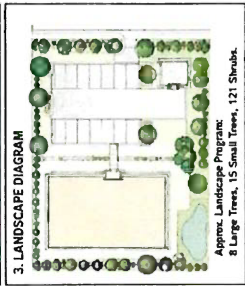
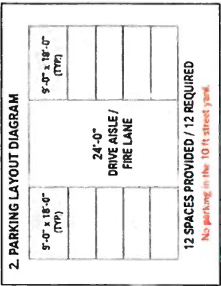
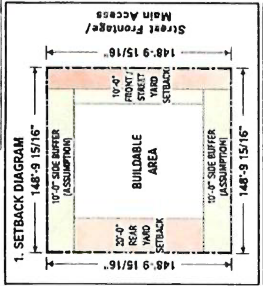


**ZONING / USE NOTES**

- Zoning Assumption: RM - Residential, Multifamily and Urban.
- Proposed use: Apartment / Multifamily.
- 1-story concept only.
- No structured parking. No truck under parking.
- No parking in the 10 ft street yard.

**PROJECT DATA**

Lot Size:	148'-9 15/16" x 148'-9 15/16" (approx. 22,150 sq ft (0.508 ac))
Zoning Assumption:	RM - Residential, Multifamily and Urban
Proposed Use:	Multifamily Apartment
Proposed Units:	10 dwelling units
Unit Mix:	8 x 1BR, 2 x 2BR
Density Check:	Within conceptual limits; final density and setbacks maximum by lot area
Parking Required:	12 stalls
Parking Provided:	12 spaces
Building Footprint:	approx. 120' x 48' = 5,760 sq ft
Number of Stories:	1
Height Assumption:	1-story concept, coin max 7.2 ft
Front Setback:	10 ft
Rear Setback:	20 ft
Side Setbacks / Buffers:	conceptual 10 ft landscape / compatibility buffers, confirm with Planning
Parking Setback:	8 ft min. side/rear
Landscape Program:	approx. 8 large trees, 15 small trees, 121 shrubs
Drainage Area:	conceptual detention area shown, final size by civil engineer
Trash Enclosure:	screened enclosure shown on plan



**GENERAL NOTES**

- Conceptual plan only - subject to verification and approval by the City of Edinburg.
- No parking in the 10 ft street yard.
- 1-story concept only.
- Final engineering, fire access, drainage sizing, and utility design by licensed professionals.
- Accommodated buffers shown for planning discussion; confirm with Planning.

Descriptive site plan note: The plan illustrates one single-story apartment building, 12 surface parking stalls, a 24 ft drive aisle/fire lane, pedestrian connection, drainage/detention area, screened trash enclosure, utility/mechanical area, and landscape buffers.



**CITY OF EDINBURG - NOTICE AND AGENDA  
PLANNING AND ZONING COMMISSION**

Meeting Date: July 9, 2026

PUBLIC HEARINGS

Agenda Item No: 8.D.

Sign Variance Request - AJ Ferrara

**1. Agenda Item:**

Consider the Sign Variance Request to the City of Edinburg Unified Development Code as Follows: 1.) Article 4, Section 4.302(E) (4B), Size and Proportions, to Allow an Electronic Message Area Exceeding 50% of the Total Sign Area 2.) Article 4, Section 4.303-3, Permanent Freestanding Sign, to Allow Maximum Permitted Sign Area and Height for a Pole Sign 3.) Article 4, Section 4.305(B10), Prohibited Signage, to Allow a Sign That Advertises or Promotes a Business, Person, Organization, Activity, Event, Location, Service, or Product Not Primarily Manufactured, Sold, or Offered on the Property Where the Sign is Situated, Being Lot 20, Sheaval Subdivision, Located at 503 Conquest Boulevard, as Requested by AJ Ferrara.

**2. Description:**

The applicant is requesting a variance to the Unified Development Code Article 4, Section 4.302(E) (4B), Article 4, Section 4.303-3 and Article 4, Section 4.305(B10) as it applies to signs. The sign in question is for the advertisement of Bert Ogden at this location. The property is located at the north side of Conquest Boulevard, near the intersection of I-69C frontage road. The proposed sign will be located on the east side of the of the property along I-69C frontage road. The sign is a freestanding sign that is 30 feet wide by 65 feet height with display area from one side face. The property is currently zoned Commercial, General (CG) District. Adjacent land uses are residential uses, commercial uses and vacant land.

Staff received a Sign Variance Application for the subject property on June 8, 2026 requesting the following variances: 1.) The applicant is proposing a sign with an area of 1,950 square feet, exceeding the maximum permitted sign area of 200 square feet. 2.) To allow an electronic message that exceeds the maximum allowable 50% of the total sign area. 3.) To permit a sign height of 65 feet, exceeding the maximum permitted height of 40 feet. 4.) To allow a freestanding sign on a vacant property that advertises or promotes a business, person, organization, activity, event, location, service, or product not primarily manufactured, sold or offered on the premises. City of Edinburg Unified Development Code does not allow for any freestanding sign to be located over any vacant land.

Article 9, Table 9.103-1 states that a variance to a sign permit must come before the Planning & Zoning Commission in the form of a public hearing. The applicant then has an opportunity for the item be heard before City Council.

Staff mailed a notice of the public hearing to 8 neighboring property owners on Friday, June 26, 2026, and received no comments in favor and one against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on July 29, 2026.

**3. Staff's Recommendation:**

Staff recommends denial of the Variance Request to the City's Unified Development Code. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as

applicable.

**Reviewed by:**

Jaime Acevedo, Director of Planning and Zoning  
Rita Guerrero, Assistant Director of Planning and Zoning  
Erika Monreal, Administrative Assistant

**Prepared by:**

Eduardo Huerta, Planner II

**Attachments:**

A. Planning and Zoning Agenda Packet Attachment

**MEETING DATES:**  
**PLANNING & ZONING COMMISSION – 07/09/2026**  
**CITY COUNCIL –08/18/2026**  
**DATE PREPARED – 06/29/2026**

**STAFF REPORT**  
**GENERAL INFORMATION**

**APPLICATION:** Consider the Sign Variance Request to the City of Edinburg Unified Development Code as follows: 1.) Article 4, Section 4.302(E) (4B), Size and Proportions, to allow an electronic message area exceeding 50% of the total sign area 2.) Article 4, Section 4.303-3, Permanent Freestanding Sign, to allow maximum permitted sign area and height for a pole sign 3.) Article 4, Section 4.305(B10), Prohibited Signage

**APPLICANT:** Big Ranch Holding Company, Inc.

**AGENT:** AJ Ferrara

**LEGAL:** Lot 20, Sheaval Subdivision

**LOCATION:** Located at 503 Conquest Boulevard

**LOT/TRACT SIZE:** Lot 20

**CURRENT USE:** Vacant Land

**PROPOSED USE:** Commercial, General (CG) District

**EXISTING ZONING:** Commercial, General (CG) District

**ADJACENT ZONING:** North – Urban University (UU) District  
South – Commercial, General (CG) District  
East – Agriculture and Open Space (AO) District  
West – Commercial, General (CG) District

**LAND USE PLAN:** General Commercial Uses

**PUBLIC SERVICES:** City of Edinburg Sewer and North Alamo Water Supply Corporation for Water.

**RECOMMENDATION:** Staff recommends denial of the Variance Request to the City’s Unified Development Code. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

**SIGN VARIANCE REQUEST  
AJ FERRERA**

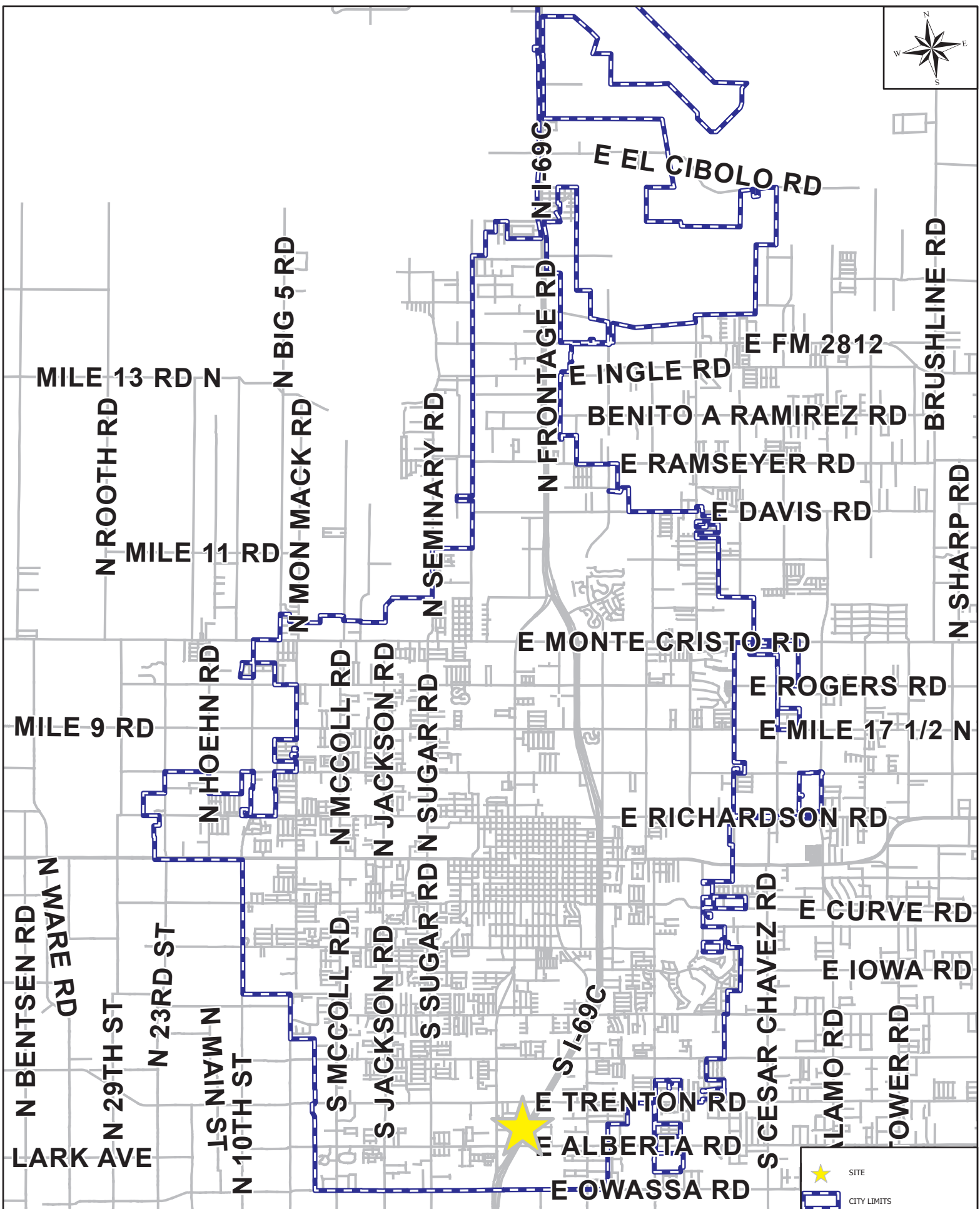
**EVALUATION**



The following is staff's evaluation of the request.

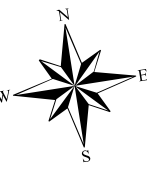
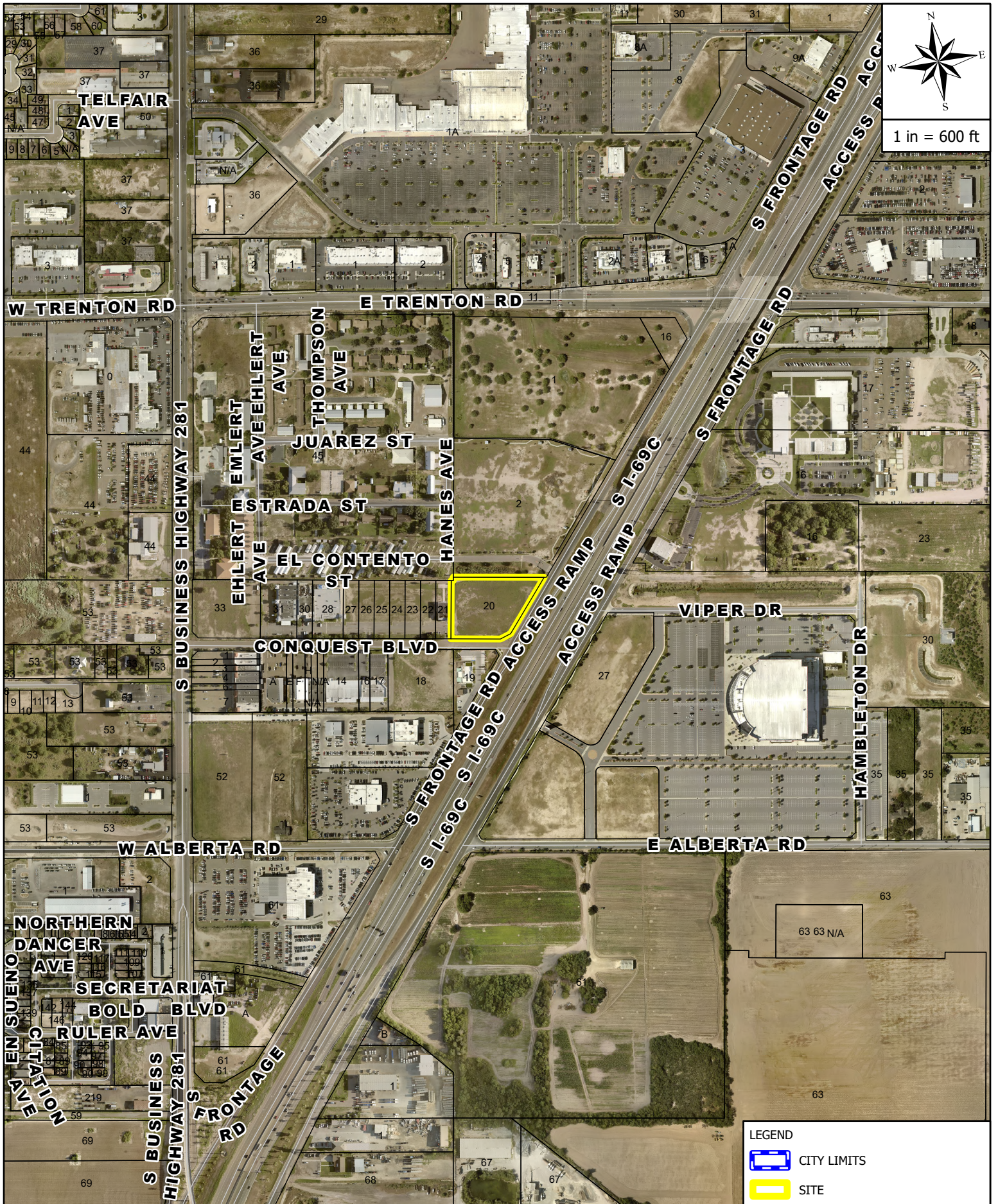
1. The sign in question is for the advertisement of Bert Ogden at this location.
2. Based on 1.) Article 4, Section 4.302(E) (4B), Size and Proportions, to allow an electronic message area exceeding 50% of the total sign area 2.) Article 4, Section 4.303-3, Permanent Freestanding Sign, to allow maximum permitted sign area and height for a pole sign 3.) Article 4, Section 4.305(B10), Prohibited Signage, to allow a sign that advertises or promotes a business, person, organization, activity, event, location, service, or product not primarily manufactured, sold, or offered on the property where the sign is situated.

Staff recommends denial of the Variance Request to the City's Unified Development Code. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing to 8 neighboring property owners on Friday, June 26, 2026, and received no comments in favor and one against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on July 29, 2026.



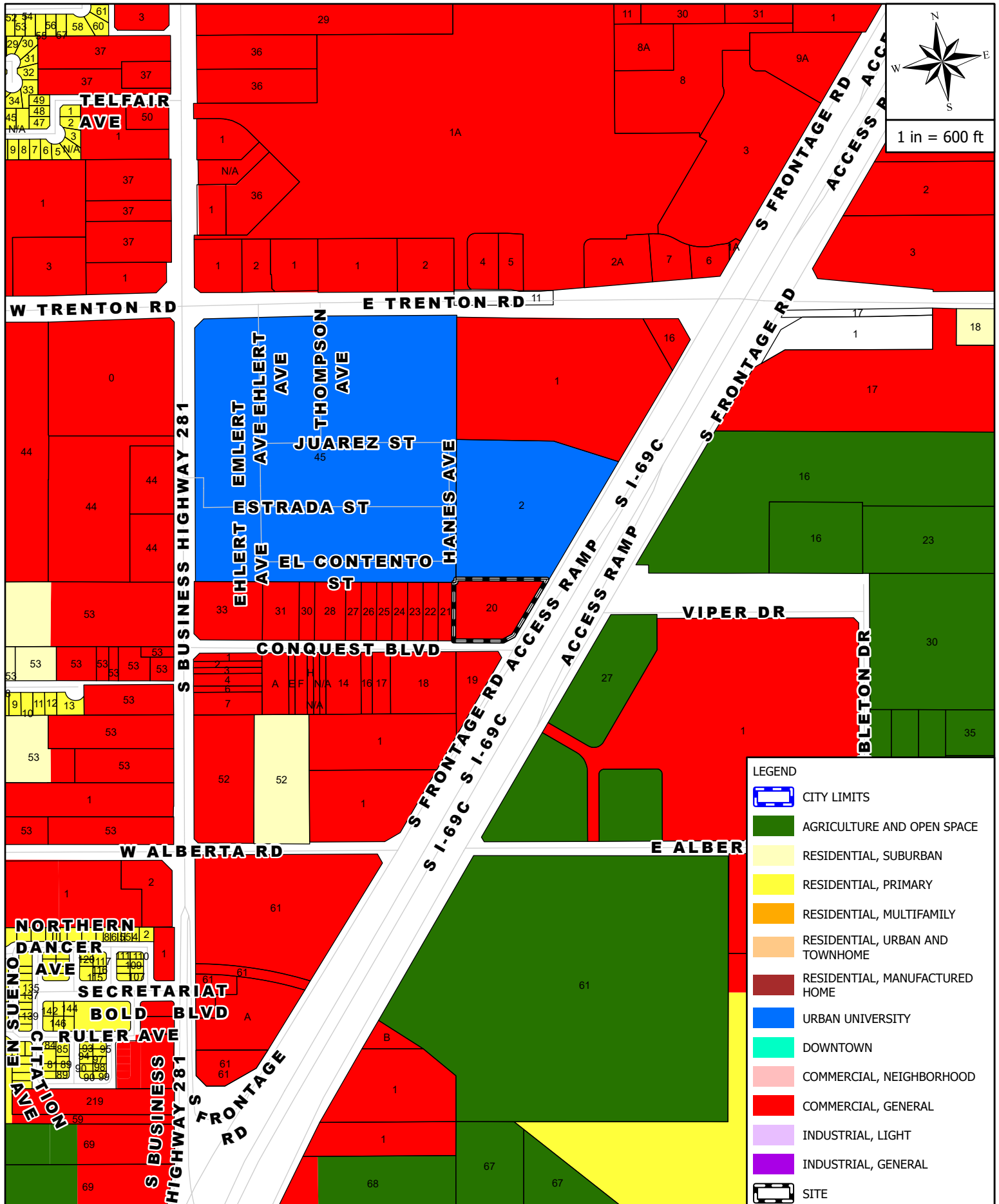
-  SITE
-  CITY LIMITS



1 in = 600 ft

**AERIAL MAP**  
503 CONQUEST BLVD

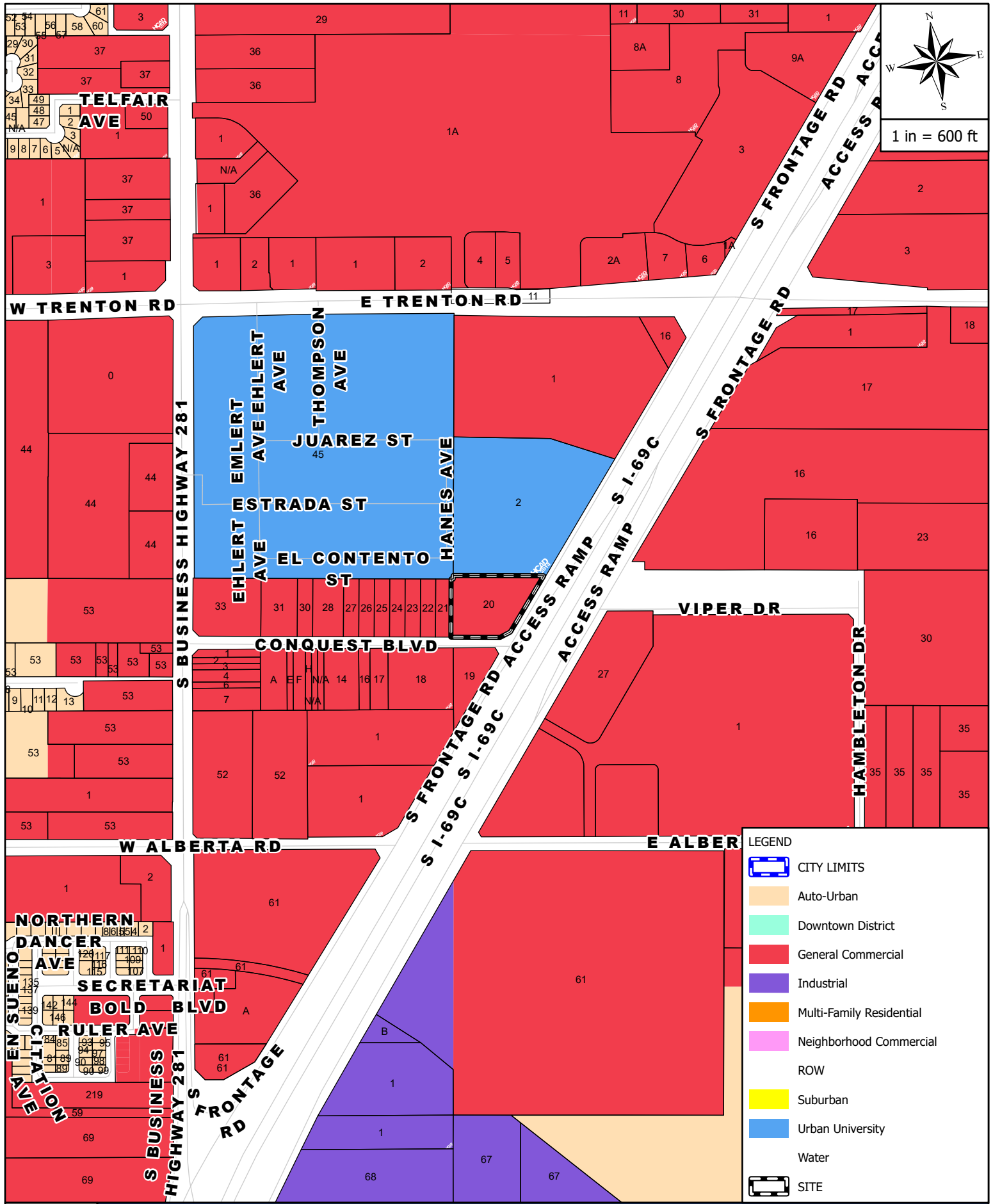




**ZONING MAP**

503 CONQUEST BLVD





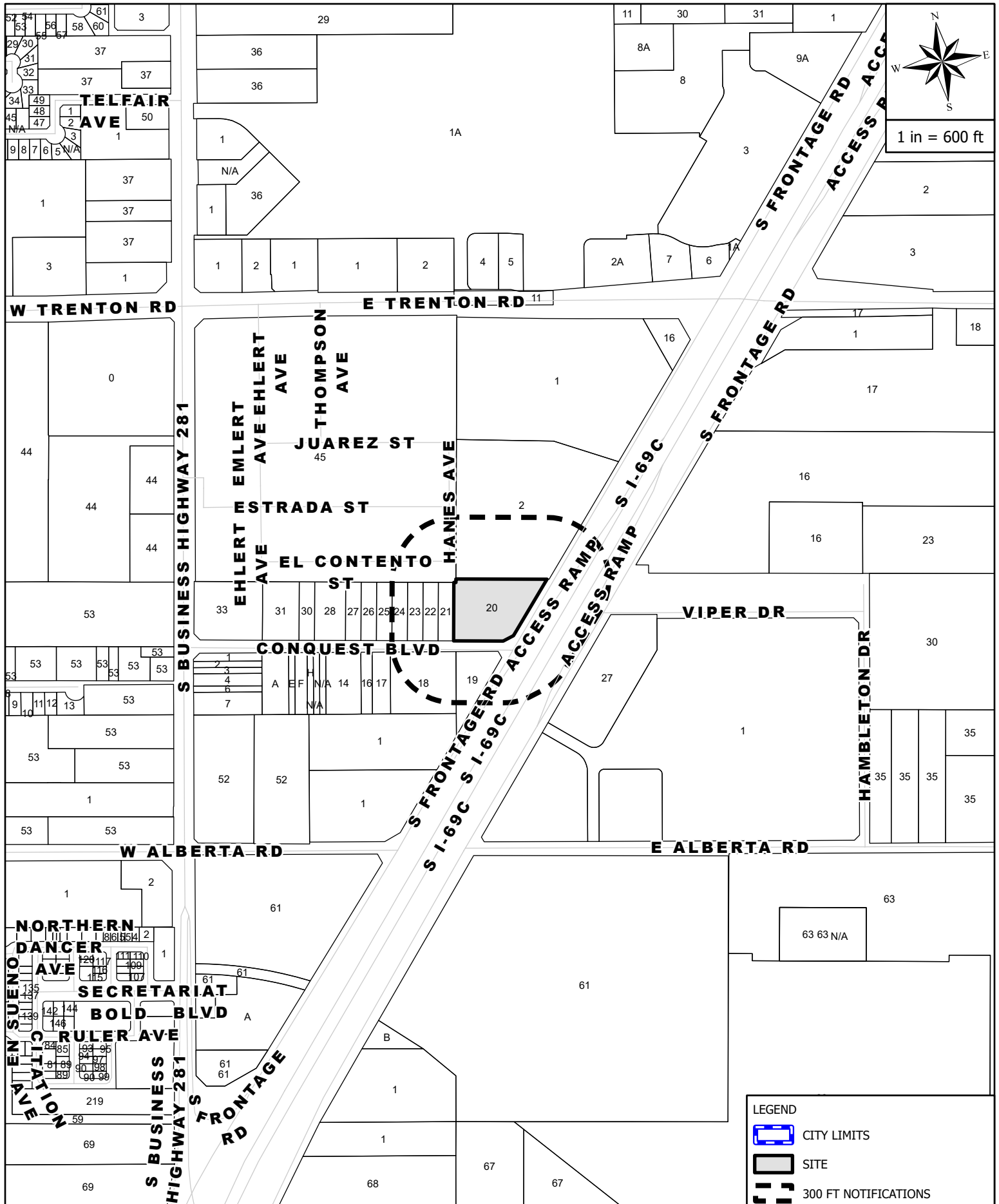
1 in = 600 ft

- LEGEND**
- CITY LIMITS
  - Auto-Urban
  - Downtown District
  - General Commercial
  - Industrial
  - Multi-Family Residential
  - Neighborhood Commercial
  - ROW
  - Suburban
  - Urban University
  - Water
  - SITE

**FUTURE LANDUSE MAP**

503 CONQUEST BLVD





**MAILOUT AND SITE MAP**  
 503 CONQUEST BLVD



# Sign Variance Request Site Photo

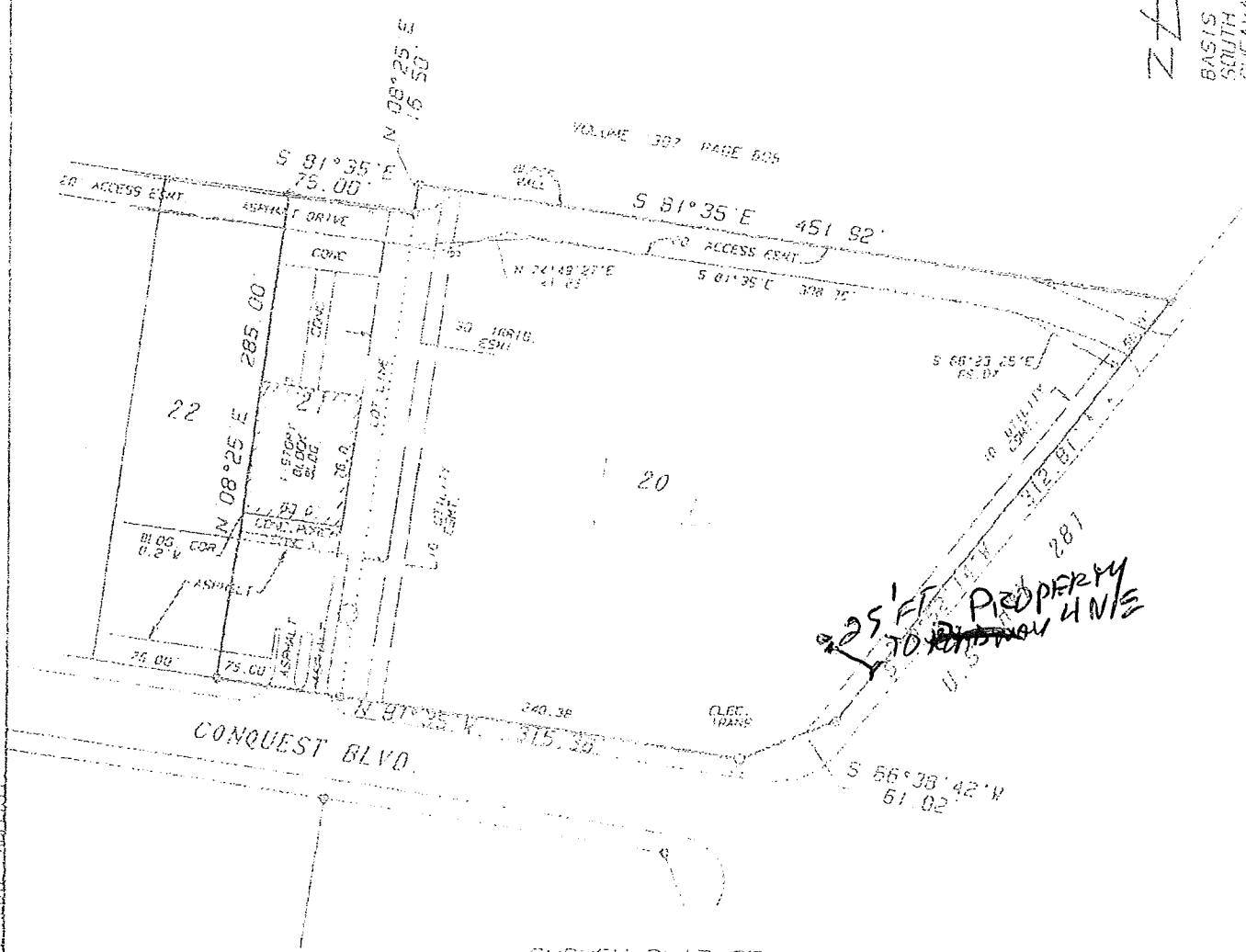
AJ Ferrara  
503 Conquest Boulevard



LEGEND

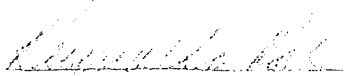
- ⊙ Found 1/2" iron rod
- ⊙ Set 1/2" iron rod with a plastic cap stamped "RA"
- ⊙ Light pole
- ⊙ Fire hydrant
- ⊙ Power pole
- ⊙ Road fence


BASIS OF BEARINGS  
 SOUTH LINE OF  
 SHEAVAL SUBD



SURVEY PLAT OF  
 LOTS 20 AND 21  
 SHEAVAL SUBDIVISION  
 HIDALGO COUNTY, TEXAS  
PER MAP RECORDED IN VOLUME 387 PAGE 605 H.C.S. & P.

I, REYNALDO ROBLES, REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE ABOVE PLAT REPRESENTS A SURVEY AS MADE ON THE GROUND UNDER MY SUPERVISION, THAT THERE ARE NO VISIBLE ENCROACHMENTS NOR VISIBLE EASEMENTS AT THE TIME OF SURVEY EXCEPT AS SHOWN AND BY DIMENSIONS PLATTING ONLY THE PROPERTY LINES AS FILED FOR RECORD IN PUBLIC RECORDS. THIS CERTIFICATE IS REVISED TO REFLECT CORRECTION OF THE 14/11/2009.

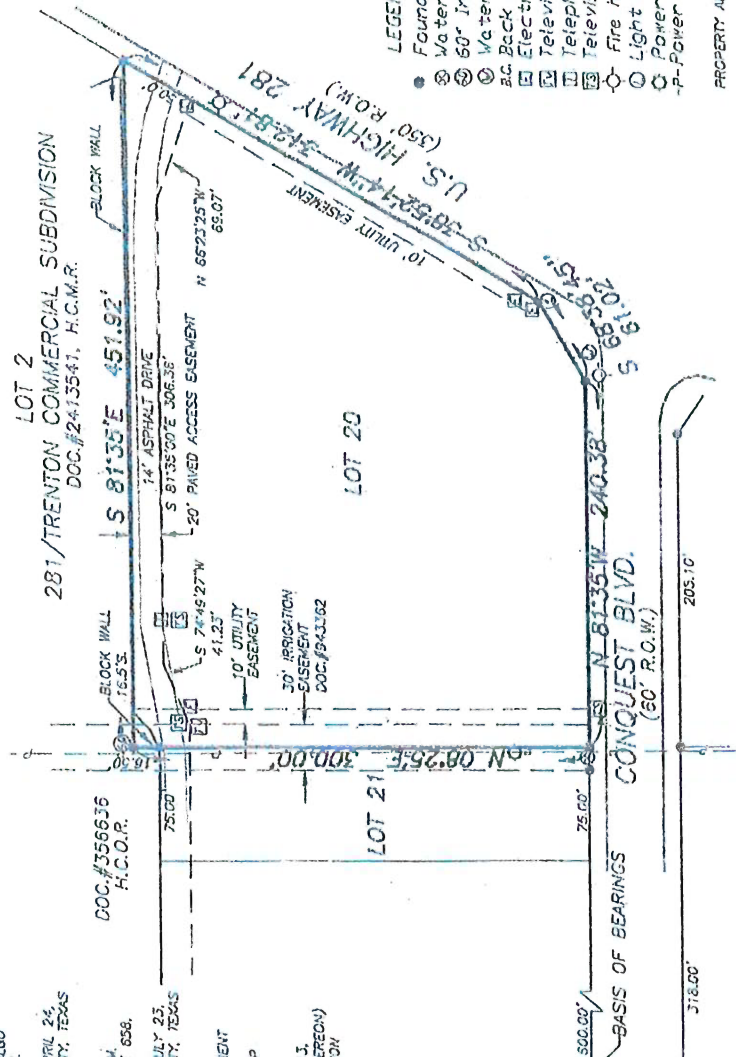
  
 REYNALDO ROBLES, RPT S #4092

PREPARED FOR: SHELLE FORDHAM	
 <b>ROBLES AND ASSOCIATES, PLLC</b> PROFESSIONAL LAND SURVEYORS	
P.O. BOX 476 107 W. WILBACH ST WESLACO, TEXAS 75795	
PHONE: (956) 563-8424 FAX: (956) 563-8011	
SURVEYED 09/16/13	DRAWN BY: LLOYD-B-13
SCALE: 1"=100'	JOB NO: 18580-3
TITLE: COMMITMENT NO.	REVISED:
<small>SURVEY &amp; MAPS ONLY IF PRINTED WITH ORIGINAL EMBOSSED SEAL OF SURVEYOR OF RECORD</small>	

COPYRIGHT 2013

22225A

- NOTE: EASEMENTS PER SCHEDULE B
- 10b. RIGHT-OF-WAY EASEMENT GRANTED TO STATE OF TEXAS, BY J.M. BLANKENBOWER, JR. DATED APRIL 24, 1980, FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS IN VOLUME 687, PAGE 511. DEED RECORDS HIDALGO COUNTY, TEXAS. (DOES NOT AFFECT SUBJECT PROPERTY)
  - 10c. RIGHT-OF-WAY EASEMENT GRANTED TO STATE OF TEXAS, BY H.M. STRAUS, DATED APRIL 24, 1980, FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS IN VOLUME 745, PAGE 429. DEED RECORDS HIDALGO COUNTY, TEXAS. (DOES NOT AFFECT SUBJECT PROPERTY)
  - 10d. RIGHT-OF-WAY EASEMENT GRANTED TO CENTRAL POWER AND LIGHT COMPANY, BY J.M. BLANKENBOWER, JR., BY INSTRUMENT DATED FEBRUARY 3, 1948, RECORDED IN VOLUME 658, PAGE 437. DEED RECORDS HIDALGO COUNTY, TEXAS. (BLANKET)
  - 10e. UTILITY EASEMENT GRANTED TO THE CITY OF EDINBURG, BY ROBERT ANZER, DATED JULY 23, 1979, FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS IN VOLUME 1651, PAGE 287. DEED RECORDS HIDALGO COUNTY, TEXAS. (DOES NOT AFFECT SUBJECT PROPERTY)
  - 10f. RIGHT-OF-WAY EASEMENT RESERVED IN DEED DATED FEBRUARY 8, 2001 BY INSTRUMENT FILED FOR RECORD IN THE OFFICE OF COUNTY CLERK OF HIDALGO COUNTY, TEXAS, ON FEBRUARY 14, 2001, UNDER CLERK'S FILE NO. 9A3352, AND AS DEPICTED BY MAP RECORDED IN VOLUME 39, PAGE 13, MAP RECORDS OF HIDALGO COUNTY, TEXAS. (AFFECTS SUBJECT PROPERTY, SHOWN HEREON)
  - 10g. EASEMENTS AND CONDITIONS AS SHOWN ON PLAT RECORDED IN VOLUME 38, PAGE 13. (AFFECTS SUBJECT PROPERTY, SHOWN HEREON)
  - 10h. EASEMENT, RIGHTS, RULES, AND REGULATIONS IN FAVOR OF HIDALGO COUNTY IRRIGATION DISTRICT NO. 5.
  - 10i. EASEMENTS, OR CLAIMS OF EASEMENTS, WHICH ARE NOT PUBLIC RECORD.



I, ROMUALDO ROBLES, JR., REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE ABOVE PLAT REPRESENTS A SURVEY MADE ON THE GROUND UNDER MY SUPERVISION, THAT THERE ARE NO VISIBLE ENCROACHMENTS, NOR VISIBLE AND APPARENT EASEMENTS AT THE TIME OF SURVEY EXCEPT AS SHOWN AND BY THE GRIPPING, PLOTTING, OR THE PROPERTY AS SHOWN ON THE GROUND. THIS SURVEY IS MADE UP OF 100 SQUARE FEET OF EACH CHAIN SURFACE DEPTHS OF LESS THAN 100 SQUARE FEET OF EACH CHAIN SURFACE DEPTHS OF 100 SQUARE FEET OR MORE. CHAIN SURFACE DEPTHS OF LESS THAN 100 SQUARE FEET OR MORE SHALL BE LESS THAN 1 SQUARE MILE, AND AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEGES FROM 100-YEAR FLOOD) OF FIRM COMMUNITY PANEL NO. 480336 0030 E. REVISED TO REFLECT LOWR DATED JUNE 8, 2000.

*R. Robles*

ROMUALDO ROBLES, JR., R.P.L.S. #7087

SURVEY PLAT OF LOT 20  
SHEVAL SUBDIVISION  
AN ADDITION TO THE CITY OF EDINBURG  
HIDALGO COUNTY, TEXAS  
AS PER MAP RECORDED IN VOL. 39, PG. 13, H.C.M.R.

PROPERTY ADDRESS: 503 CONQUEST BLVD.  
EDINBURG, TX 75539

PREPARED FOR: HITTANCK INVESTMENTS, LLC

**RA ASSOCIATES, PLLC**  
ROBLES &  
ASSOCIATES, PLLC  
PROFESSIONAL LAND SURVEYORS

PHONE (281) 988-2482  
FAX (281) 988-2481  
1500 W. WOODWAY ST.  
VEENING, TEXAS 75586

FILE NO. 10708/25  
JOB NO. 22225A

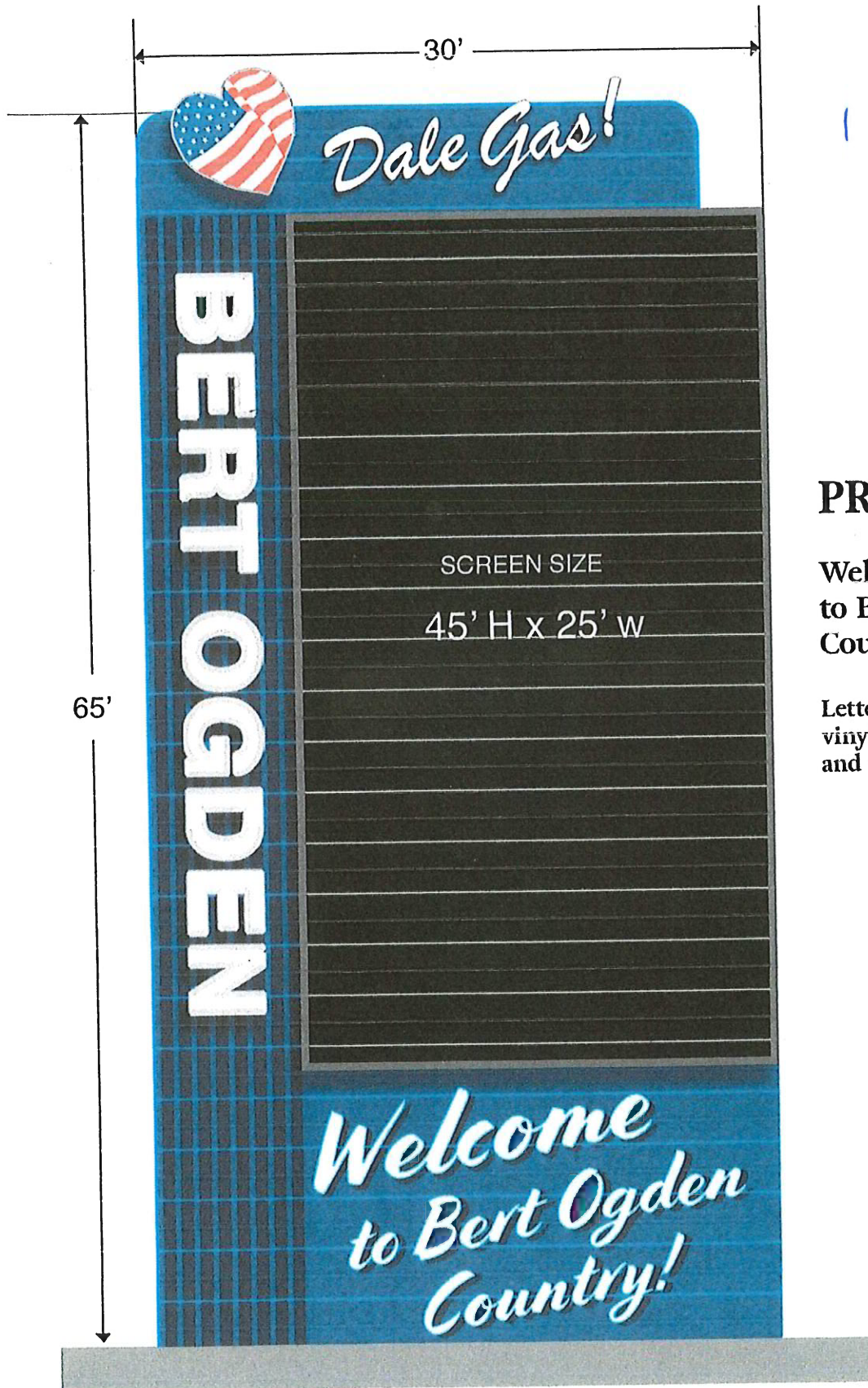
SCALE: 1"= 100'

TITLE COMMITMENT NO. 107707  
ISSUE DATE: 09/21/2025

REVISIONS:  
SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL  
EMBOSSSED SEAL OF SURVEYOR OF RECORD.

DATE: 10/08/25  
DRAWN BY: JB 10/14/25

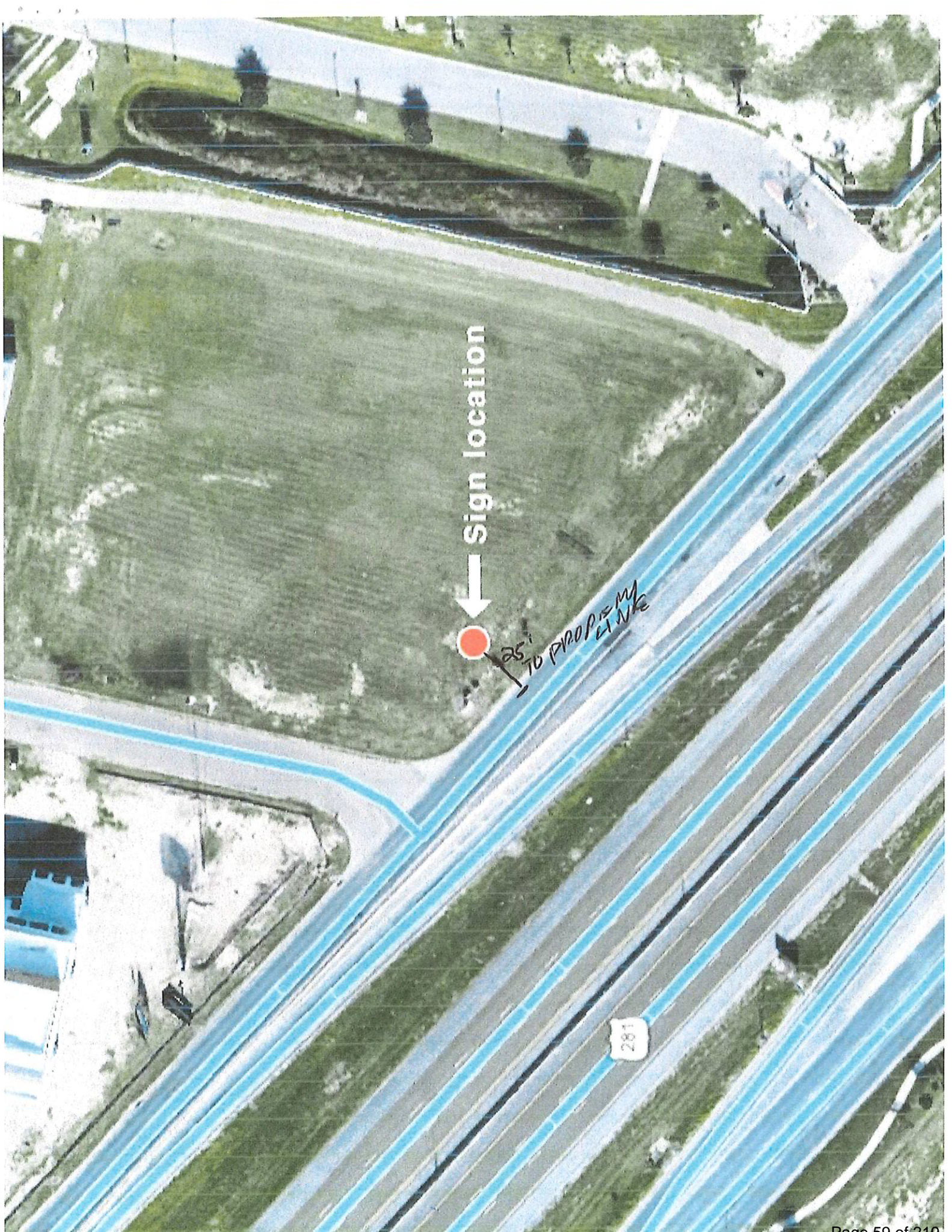
COPYRIGHT 2025



**PROOF#4-C**

**Welcome  
to Bert Ogden  
Country!**

Letters will have 3 different vinyl colors light blue outline and dark blue/black shadow



Sign location

25'  
TO PROPERTY  
LINE

281



**CITY OF EDINBURG - NOTICE AND AGENDA  
PLANNING AND ZONING COMMISSION**

Meeting Date: July 9, 2026

PUBLIC HEARINGS

Agenda Item No: 8.E.

Sign Variance Request - Edinburg Seventh-Day Adventist Church

**1. Agenda Item:**

Consider the Sign Variance Request to the City of Edinburg Unified Development Code, Article 5, Section 5.207, Easements (F) Encroachments and Removal of Encroachments, Being the North 3.0 Acres of the West 5.0 Acres of the East 20.0 Acres of Lot 27, Kelly-Pharr Subdivision, Located at 602 W. Wisconsin Road, as Requested by Edinburg Seventh-Day Adventist Church.

**2. Description:**

The applicant is requesting a variance to the Unified Development Code Section 5.207 as it applies to signs. The sign in question is for the Edinburg Seventh-Day Adventist Church established at this location. The property is located at the south of W. Wisconsin Road and approximately 1,570 feet west of South Business Highway 281. The proposed sign is located on the center front of the property. The sign is a V-shape sign that is 10 feet wide by 8 feet tall from each side face. The property is currently zoned Residential, Suburban (RS) District. Adjacent land uses are residential uses and vacant land. This item was presented to the Planning and Zoning Commission on February 12, 2026, and the commission requested that a formal survey be provided for consideration.

The applicant has since provided a formal survey, and it has been provided for the board's consideration. Staff received a Sign Variance Application for the subject property on January 9, 2026. The applicant is proposing a large new monument V-shape sign located over a utility easement, that currently abuts Wisconsin Road. The 25-foot utility easement is located at the front yard of the property along the north property line. City of Edinburg Unified Development Code does not allow for any freestanding sign to be located over any utility easement.

Article 9, Table 9.103-1 states that a variance to a sign permit must come before the Planning & Zoning Commission in the form of a public hearing. The applicant then has an opportunity for the item be heard before City Council.

Staff mailed a notice of the public hearing to 16 neighboring property owners on Friday, June 26, 2026, and received no comments in favor and one against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on July 29, 2026.

**3. Staff's Recommendation:**

Staff recommends denial of the Variance Request to the City's Unified Development Code. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

**Reviewed by:**

Jaime Acevedo, Director of Planning and Zoning  
Rita Guerrero, Assistant Director of Planning and Zoning  
Erika Monreal, Administrative Assistant

**Prepared by:**

Eduardo Huerta, Planner II

**Attachments:**

- A. Planning and Zoning Agenda Packet Attachment

**MEETING DATES:**  
**PLANNING & ZONING COMMISSION – 07/09/2026**  
**CITY COUNCIL –08/18/2026**  
**DATE PREPARED – 06/29/2026**

**STAFF REPORT**  
**GENERAL INFORMATION**

**APPLICATION:** Consider the Sign Variance Request to the City of Edinburg Unified Development Code, Article 5, Section 5.207, Easements (F) Encroachments and Removal of Encroachments

**APPLICANT:** Edgar B. Lao

**AGENT:** Edinburg Seventh-Day Adventist Church

**LEGAL:** North 3.0 Acres of the West 5.0 Acres of the East 20.0 Acres of lot 27, Kelly-Pharr Subdivision

**LOCATION:** Located at 602 W. Wisconsin Road

**LOT/TRACT SIZE:** Not Applicable

**CURRENT USE:** Residential

**PROPOSED USE:** Residential

**EXISTING ZONING:** Residential, Suburban (RS) District

**ADJACENT ZONING:** North – Residential, Suburban (RS) District  
South – Residential, Suburban (RS) District  
East – Residential, Urban & Townhome (RU) District  
West – Residential, Suburban (RS) District

**LAND USE PLAN:** Residential Uses

**PUBLIC SERVICES:** City of Edinburg Sewer and Water

**RECOMMENDATION:** Staff recommends denial of the Variance Request to the City of Edinburg Unified Development Code Article 5, Section 5.207, Easements (F) Encroachments and Removal of Encroachments

**SIGN VARIANCE REQUEST  
COMPLETE SIGNS, LLC**

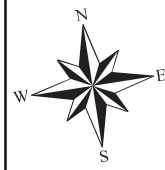
**EVALUATION**

The following is staff's evaluation of the request.

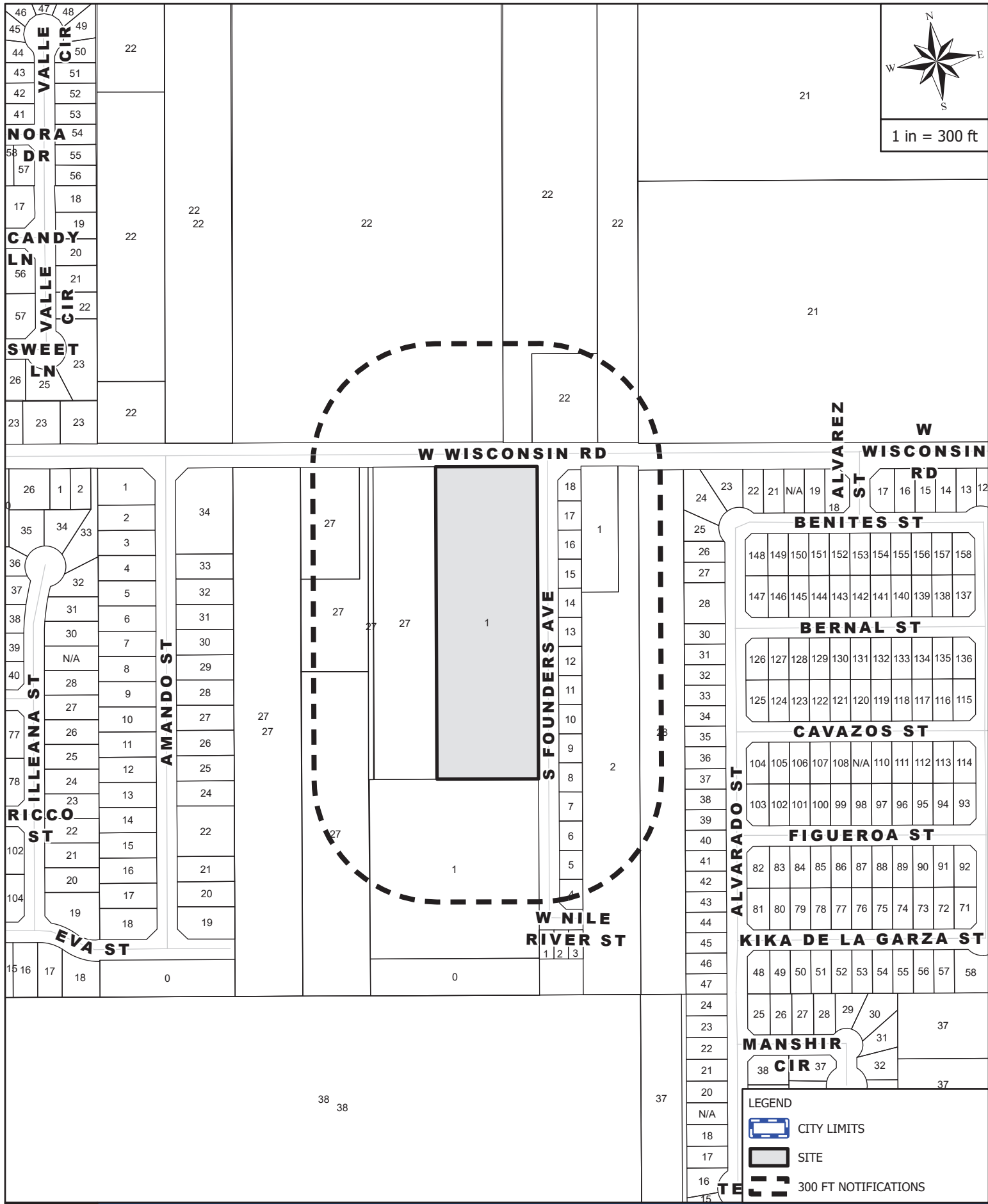
1. The sign in question is for the advertisement of church located at this property.
2. Based on Article 5.207, no permanent encroachment or structure shall be allowed to be located within the area of any easement, where the proposed sign locate.

Staff recommends denial of the Variance Request to the City's Unified Development Code. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing to 16 neighboring property owners on Friday, June 26, 2026, and received no comments in favor and one against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on July 29, 2026.

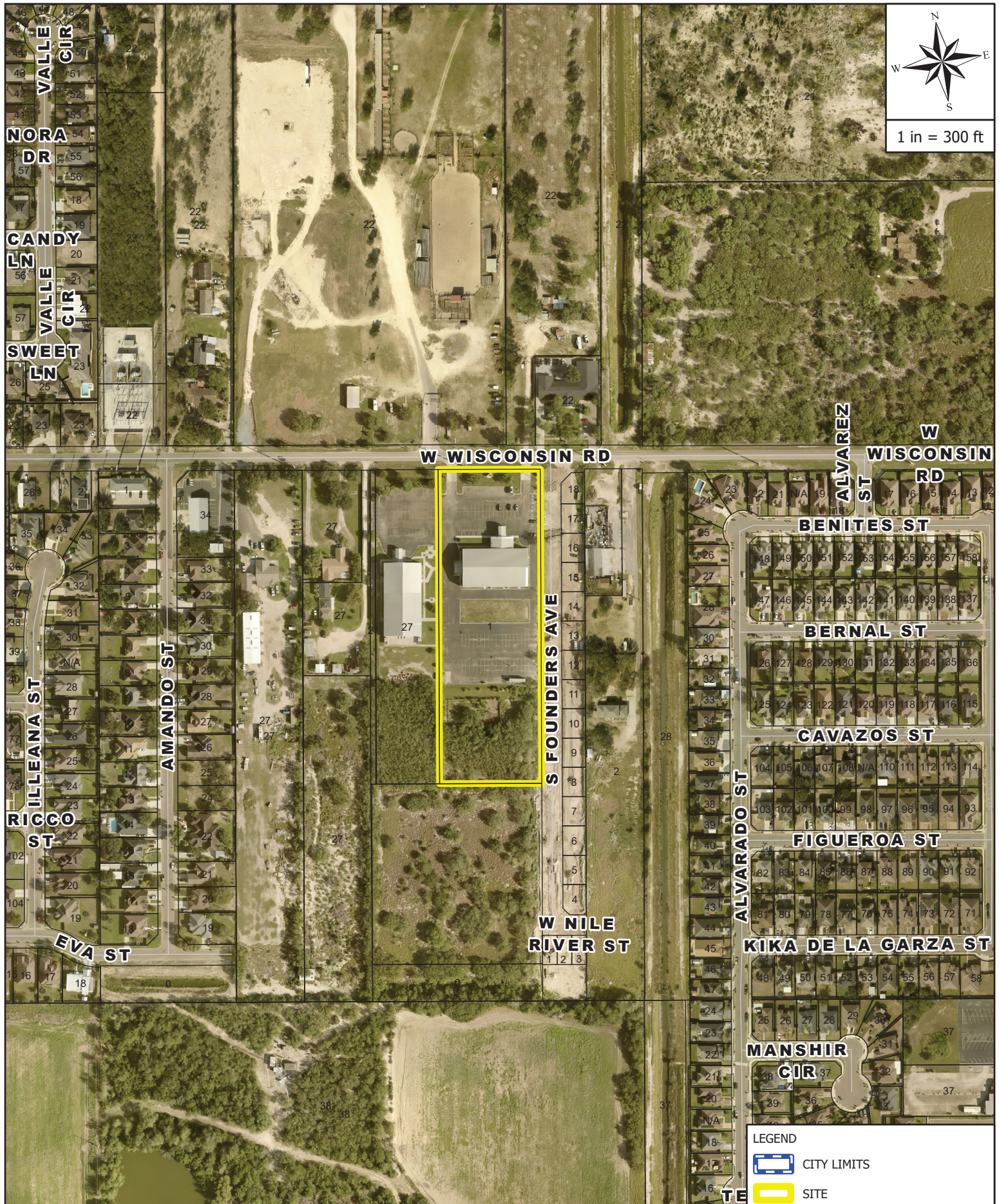
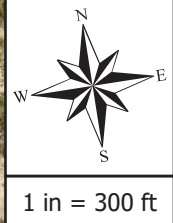


1 in = 300 ft

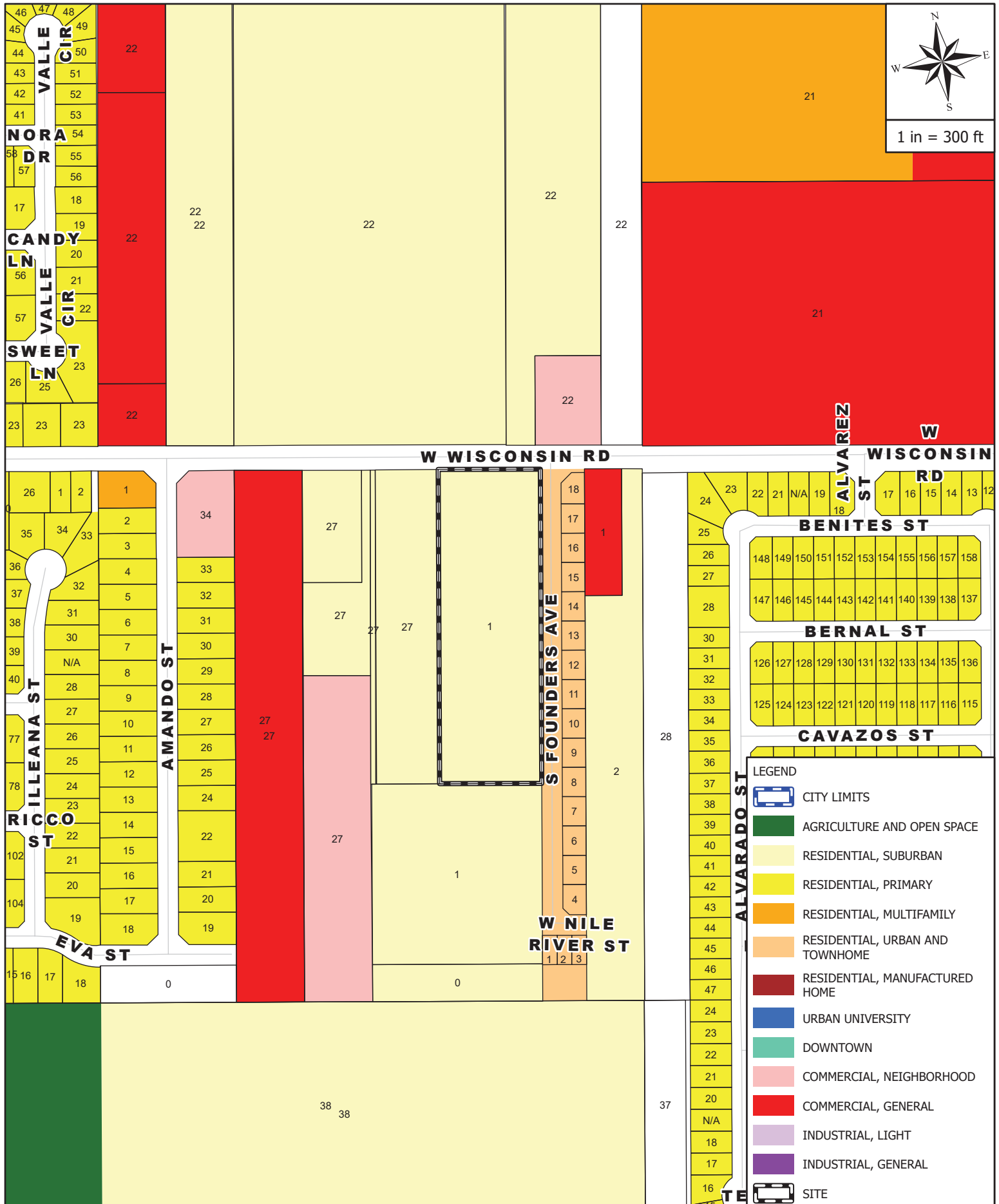


### MAILOUT AND SITE MAP

602 W WISCONSIN RD

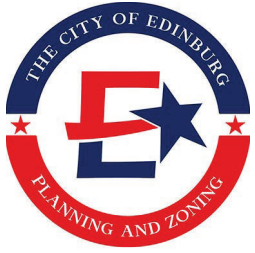


**AERIAL MAP**  
602 W WISCONSIN RD



**ZONING MAP**  
602 W WISCONSIN RD





# Variance Request Site Photo

Edinburg Seventh-Day Adventist Church  
602 W. Wisconsin Rd.





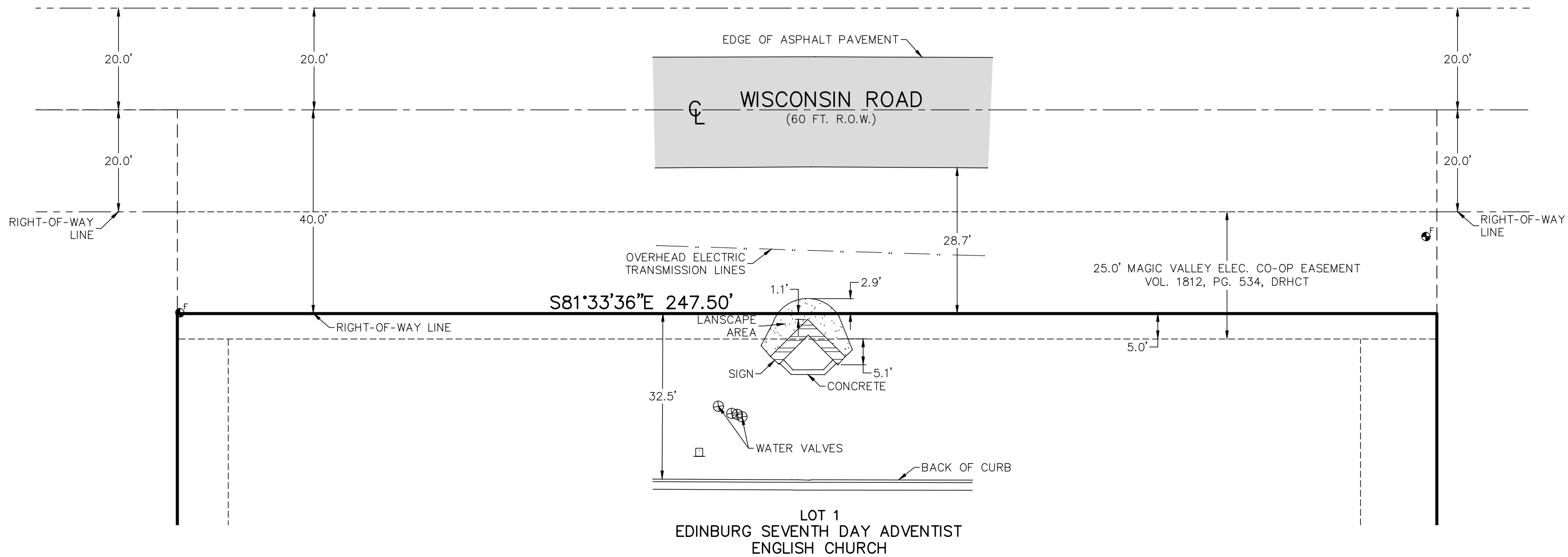
Mural resurfacing only no structural work.  
Addition to mural requires structural engineer

Mural resurfacing only no structural work.  
Addition to mural requires structural engineer



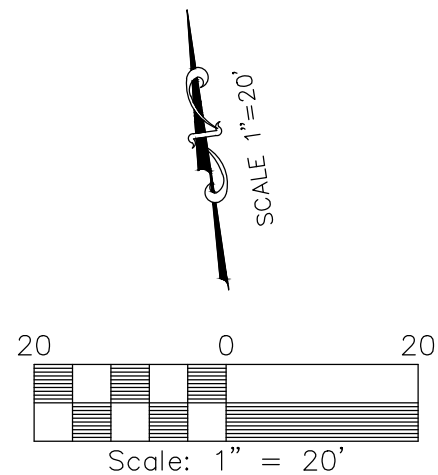
Planning and zoning comments:

- 1) Please submit a survey of the lot where sign is proposed
- 2) Provide a site plan showing lot dimensions and location of sign in lot
- 3) Please provide details of the proposed LED TV, size and dimensions



**NOTES**

1. BASIS OF BEARINGS AS PER THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83.
2. ADDRESS: 602 W WISCONSIN ROAD  
EDINBURG, TEXAS 78539

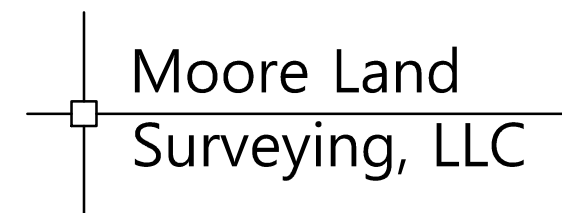


**EXHIBIT OF:**

LOT 1,  
EDINBURG SEVENTH DAY ADVENTIST  
ENGLISH CHURCH,  
HIDALGO COUNTY, TEXAS, ACCORDING TO  
THE MAP OR PLAT THEREOF RECORDED IN  
VOLUME 4, PAGE 72, MAP RECORDS OF  
HIDALGO COUNTY, TEXAS.

DATE: 03 MARCH 2026

JOB NO: 320005



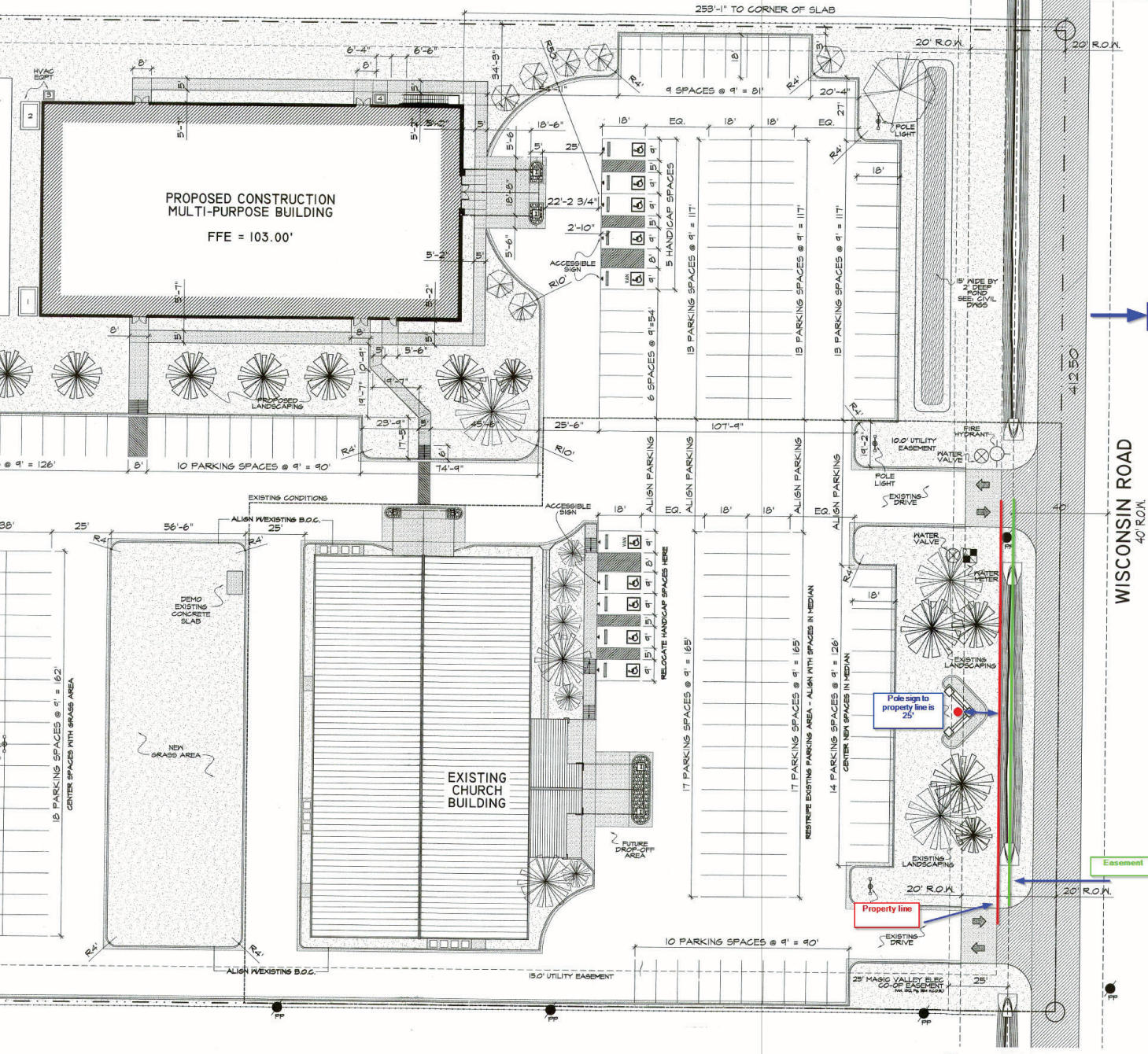
14216 Palis Drive, La Feria, TX 78559  
(956)245-0988 TBPLS Firm No. 10194186

**GENERAL NOTES**

1. UNLESS OTHERWISE DRAWN, ALL DIMENSIONS ARE TO BACK OF CURB (B.O.C.) OR BUILDING FOUNDATION.
2. ALL PARKING SPACES ARE 4'-0" WIDE X 18'-0" LONG UNLESS OTHERWISE NOTED.
3. ALL PARTS OF AN ACCESSIBLE ROUTE, SUCH AS SIDEWALKS, SHALL COMPLY WITH THE TEXAS ACCESSIBILITY STANDARDS (T.A.S.) & ADMINISTRATIVE RULES OF THE ARCHITECTURE & PLANNING ACT UNDER TITLE 19, TEXAS CIVIL STATUTE, SECTION 43. ACCESSIBLE ROUTES.
4. SEE ELECTRICAL DWG'S FOR SITE LIGHTING.
5. DEMO EXISTING COVERED BARBEQUE AREA.
6. RE-STRIPE PARKING IN FRONT OF EXISTING CHURCH AS NOTED.

**PARKING DETAILS**

- 206 - 4' X 18' STANDARD SPACES
- 10 - HANDICAP SPACES (REQUIRED MINIMUM IS 7) 2 OF 10 SPACES ARE VAN ACCESSIBLE
- 216 - TOTAL PARKING SPACES ON SITE



These drawings are the property of the architect and shall remain the property of the architect. No part of these drawings shall be reproduced or used in any way without the prior written consent of the architect.

**Boultonhouse Simpson Architects**  
 8801 NORTH MCCOLL ROAD - MOULLEN, TEXAS (849) 880-8404



STAMP DATE: 3-14-08

**ENLARGED SITE PLAN  
 SEVENTH DAY ADVENTIST CHURCH  
 MULTI-PURPOSE BUILDING**  
 802 W WISCONSIN ROAD | EDINBURG, TEXAS 78539

MARCH 14th 2008

PROJECT #: 0756  
 DIRECTORY: BSARCH  
 FILE NAME: 7th DAY  
 STATION: 14  
 REVISIONS: -

SHEET TITLE:  
**A1.1**  
 SHT. NO. 0 of 0



**CITY OF EDINBURG - NOTICE AND AGENDA  
PLANNING AND ZONING COMMISSION**

Meeting Date: July 9, 2026

PUBLIC HEARINGS

Agenda Item No: 8.F.

Special Use Permit On Premise Consumption for Alcoholic Beverages  
for Late Hours - Space Monkey Barrcade, LLC.

**1. Agenda Item:**

Consider the Special Use Permit For On-Premise Consumption of Alcoholic Beverages For Late Hours, Being Lot 2, Carmike Cinemas Subdivision, Located at 1204 E Canton Road, as Requested by Space Monkey Barrcade, LLC.

**2. Description:**

The applicant is requesting a Special Use Permit for the On-Premise Consumption of Alcoholic Beverages for late hours. The property is located on the south side of E. Canton Road, approximately 500 feet west of S. Veterans Blvd. The property has 167.50 ft. of frontage along E. Canton Road and 242 ft. of depth for a total of 1 acre. The site is currently used for a Food Establishment and Arcade. Zoning at this location is Commercial, General (CG) District. Adjacent zoning is Commercial, General (CG) District to the east, south and west, and Commercial, Neighborhood (CN) District to the north.

The applicant is proposing to include alcohol sales for on-premises consumption to his existing Food Establishment. The proposed hours of operation are Monday through Sunday from 10:00 a.m. to 2:00 a.m. The applicant's interest in the sale of alcohol will generate over 51% of its revenue from alcoholic beverage sales; Special Use permitting is required. Staff received a Special Use Permit Application: On-premise Consumption of Alcohol Beverages on May 16, 2026. If approved, the applicant will proceed to obtain the necessary permits from the Texas Alcoholic Beverage Commission.

Staff mailed a notice of the public hearing to 17 neighboring property owners on Friday, June 26, 2026, and had received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on July 1, 2026.

**3. Staff's Recommendation:**

Staff recommends approval of the special use permit. If approved, the applicant will be required to comply with the additional following conditions:

1. The applicant complies with all requirements and hours as set forth by the Texas Alcoholic Beverage Commission.
2. Adequate security lighting must be provided for customer's safety and crime prevention purposes.
3. The applicant complies with all city requirements, including but not limited to building, building occupancy, fire codes, health permit, landscaping, parking, and all other City requirements.
4. Operations in connection with the proposed special use permit must not be more objectionable to nearby properties by reason of noise or other characteristics than would the operations of any permitted use not requiring special use approval. The use must comply with the City's Noise Standards as per the Unified Development Code.

5. The Special Use Permit may be revoked at any time by the Planning and Zoning Commission and City Council.

**Reviewed by:**

Jaime Acevedo, Director of Planning and Zoning

**Prepared by:**

Rita Guerrero, Assistant  
Director of Planning and  
Zoning

**Attachments:**

- A. PNZ Agenda Packet Attachments

**MEETING DATES:**  
**PLANNING & ZONING COMMISSION – 07/09/2026**  
**CITY COUNCIL – 07/21/2026**  
**DATE PREPARED – 06/26/2026**

**STAFF REPORT**  
**GENERAL INFORMATION**

**APPLICATION:** Special Use Permit for On-Premise Consumption of Alcoholic Beverages for late hours

**APPLICANT:** Space Monkey Barrcade, LLC.

**AGENT:** Not Applicable

**LEGAL:** Being Lot 2, Carmike Cinemas Subdivision

**LOCATION:** Located at 1204 E Canton Road,

**LOT/TRACT SIZE:** 1 acre

**CURRENT USE:** Food Establishment

**PROPOSED USE:** Food Establishment

**EXISTING ZONING:** Commercial, General (CG) District

**ADJACENT ZONING:** North – Commercial, Neighborhood (CN) District  
South – Commercial, General (CG) District  
East – Commercial, General (CG) District  
West – Commercial, General (CG) District

**LAND USE PLAN:** General Commercial Uses

**PUBLIC SERVICES:** City of Edinburg Water and Sewer

**RECOMMENDATION:** Staff recommends approval of the special use permit subject to the conditions listed in the staff report. A comprehensive evaluation is on the following page.

**SPECIAL USE PERMIT – ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES FOR LATE HOURS  
SPACE MONKEY BARRCADE, LLC.**

**EVALUATION**

The following is staff’s evaluation of the request.

1. The area is characterized by high-density, mixed commercial uses, consistent with downtown area.
2. The applicant is requesting the City’s approval to sell alcoholic beverages at the subject location.
3. The hours proposed by the applicant are Monday through Sunday from 4:00 p.m. to 12:00 a.m. These hours conform to TABC regulations.
4. Consumption of alcohol should be limited to the eating area designated by the applicant. Pedestrians taking open containers off of the subject property could result in violation of Edinburg Code of Ordinances, Title XI, Chapter 110, Section 110.10.

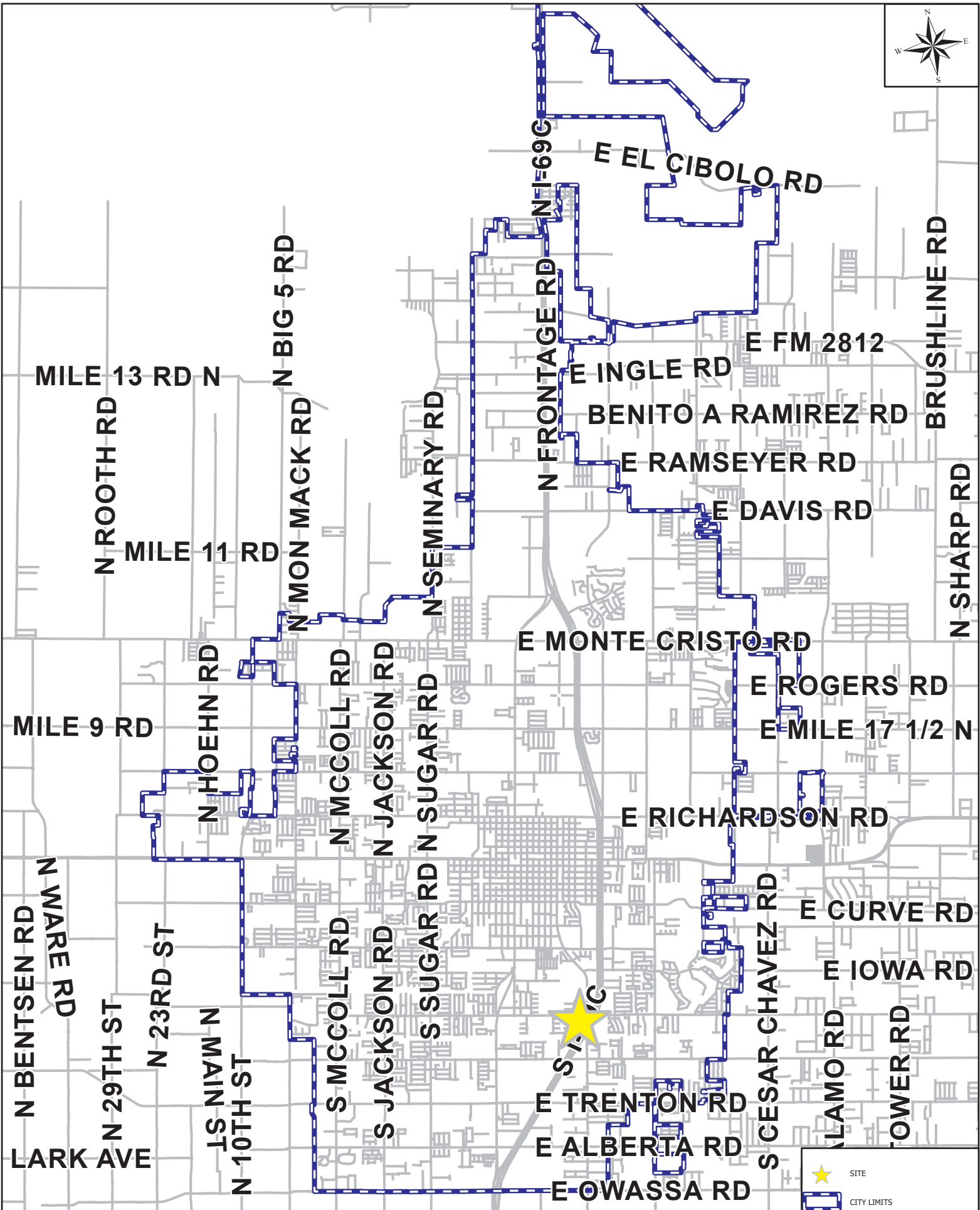
Staff recommends approval of the special use permit based on the location and intent for this activity. If approved, the applicant will be required to comply with the additional following conditions:

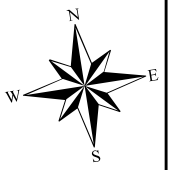
1. The applicant complies with the hours of operation for the On-Premise Consumption of alcoholic beverages as allowed by the City and the Texas Alcoholic Beverage Commission.
2. Adequate security lighting must be provided for customer’s safety and crime prevention purposes.
3. The applicant complies with all city requirements, including but not limited to building, building occupancy, fire codes, health permit, landscaping, parking, and all other City requirements.
4. Operations in connection with the proposed special use permit must not be more objectionable to nearby properties by reason of noise or other characteristics than would the operations of any permitted use not requiring special use approval. The use must comply with the City’s Noise Standards as per the Unified Development Code.
5. The Special Use Permit may be revoked at any time by the Planning and Zoning Commission and City Council.
6. The special use permit is granted for a one (1) year period. An application to renew the special use permit must be filed by **May 30, 2027**. The renewal request will be presented before the Planning and Zoning Commission for consideration. A status report will be presented to the Planning and Zoning Commission indicating compliance with all city codes, providing neighboring property or business owner’s input and police reports from the operations of the existing food truck park.

The City may impose appropriate conditions and safeguards including a specific period of time.

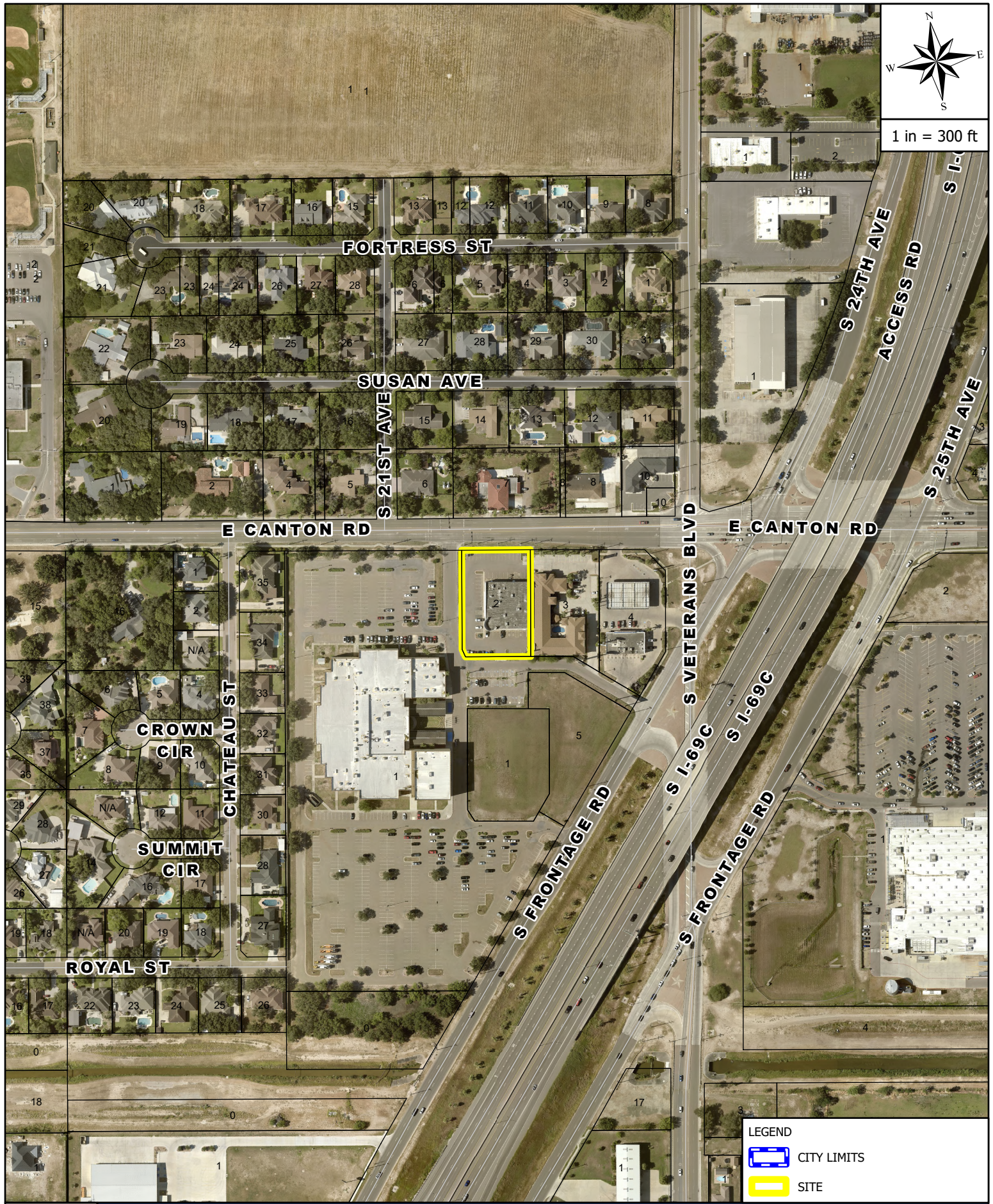
Each permit is reviewed on a case by case basis and neighborhood input is a vital component in the final outcome of an application for the On-Premise Consumption of alcoholic beverages at this location. Additionally, land use characteristics of an area, traffic and other factors are considered in reviewing these requests.

Staff mailed a notice of the public hearing to 17 neighboring property owners on Friday, June 26, 2026, and had received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on July 1, 2026.







1 in = 300 ft

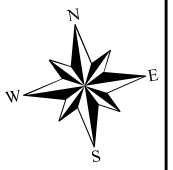


**LEGEND**

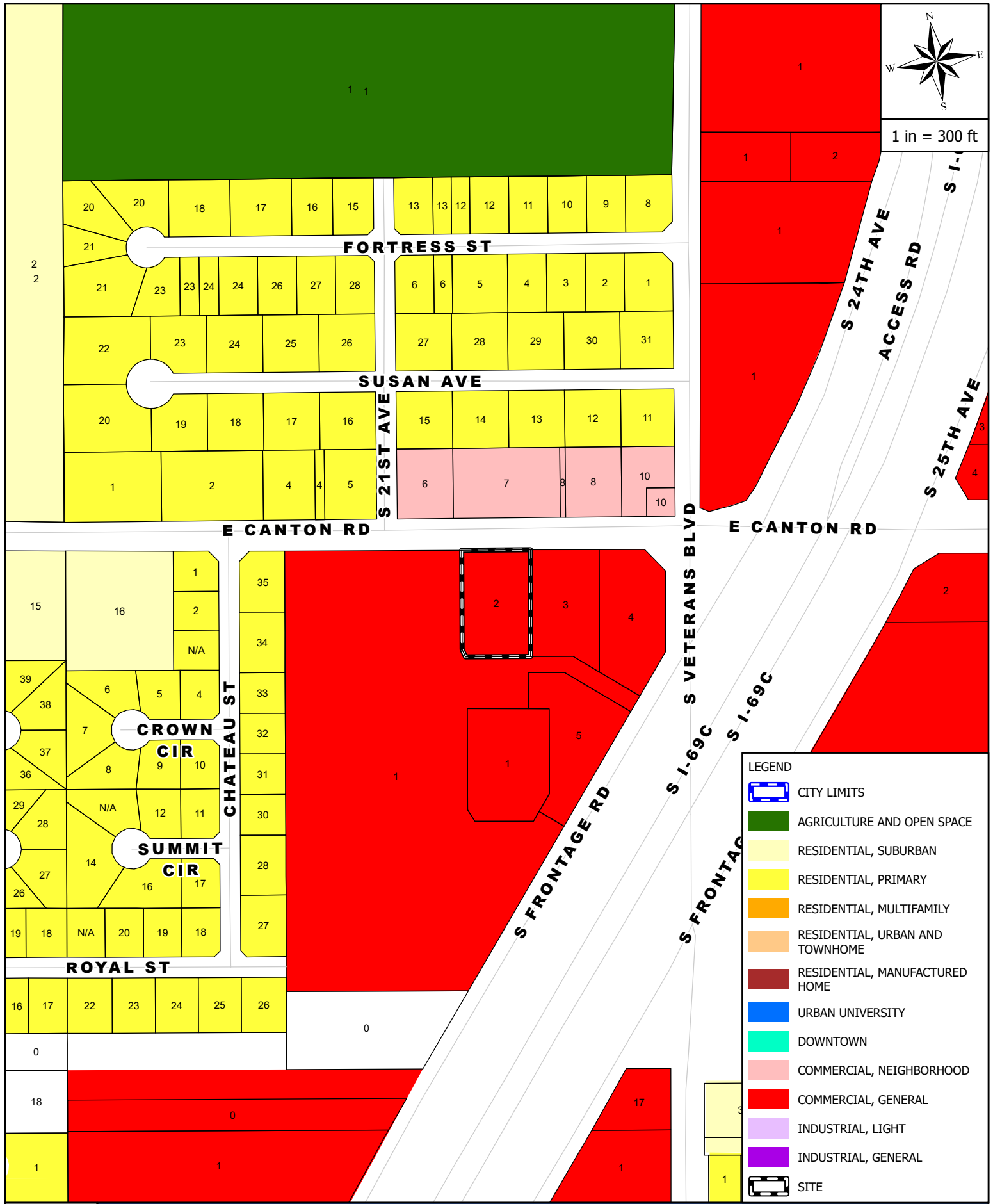
-  CITY LIMITS
-  SITE



**AERIAL MAP**  
1204 E CANTON RD



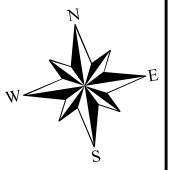
1 in = 300 ft



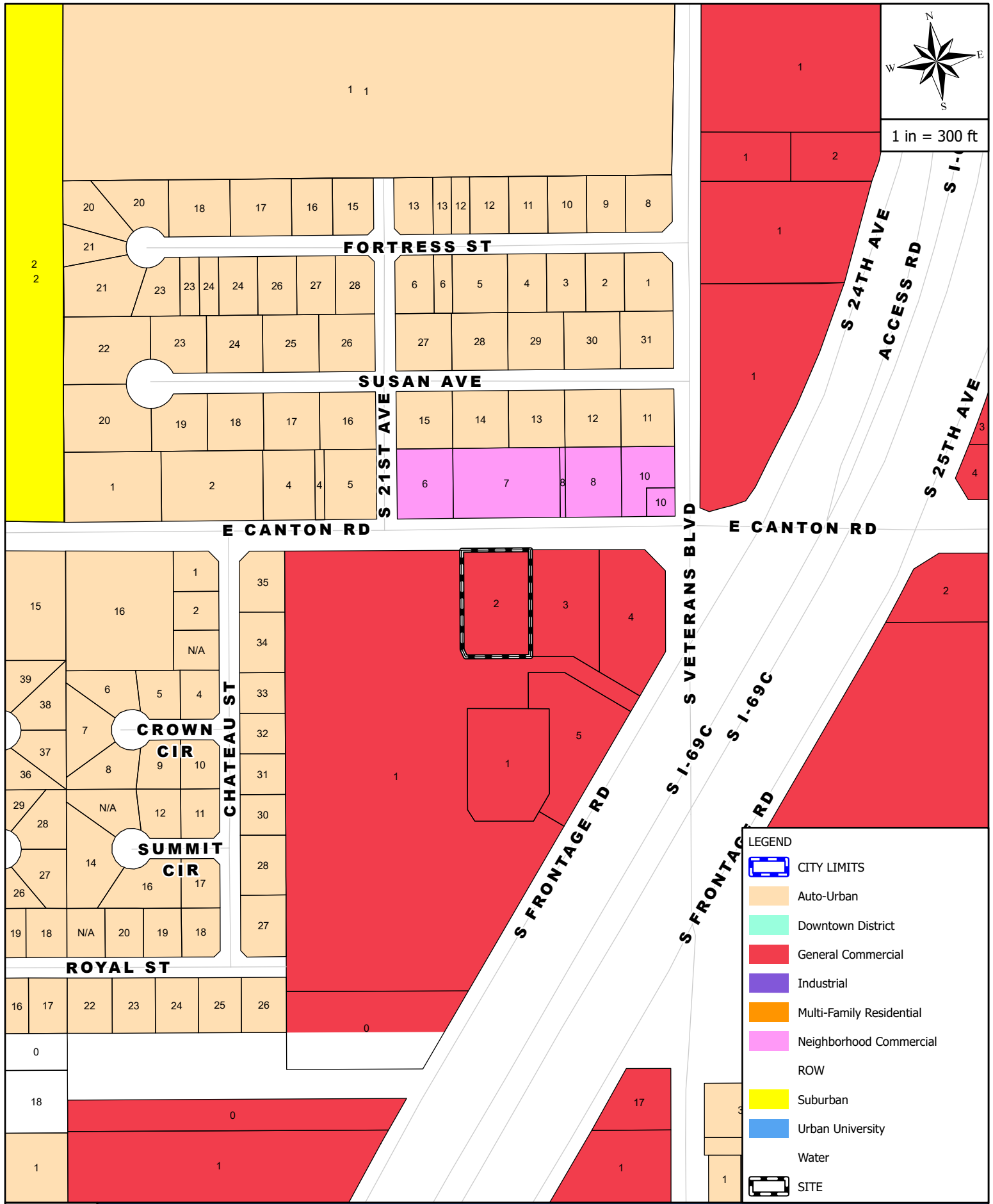
- LEGEND**
- CITY LIMITS
  - AGRICULTURE AND OPEN SPACE
  - RESIDENTIAL, SUBURBAN
  - RESIDENTIAL, PRIMARY
  - RESIDENTIAL, MULTIFAMILY
  - RESIDENTIAL, URBAN AND TOWNHOME
  - RESIDENTIAL, MANUFACTURED HOME
  - URBAN UNIVERSITY
  - DOWNTOWN
  - COMMERCIAL, NEIGHBORHOOD
  - COMMERCIAL, GENERAL
  - INDUSTRIAL, LIGHT
  - INDUSTRIAL, GENERAL
  - SITE



**ZONING MAP**  
1204 E CANTON RD



1 in = 300 ft

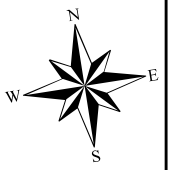


- LEGEND**
- CITY LIMITS
  - Auto-Urban
  - Downtown District
  - General Commercial
  - Industrial
  - Multi-Family Residential
  - Neighborhood Commercial
  - ROW
  - Suburban
  - Urban University
  - Water
  - SITE

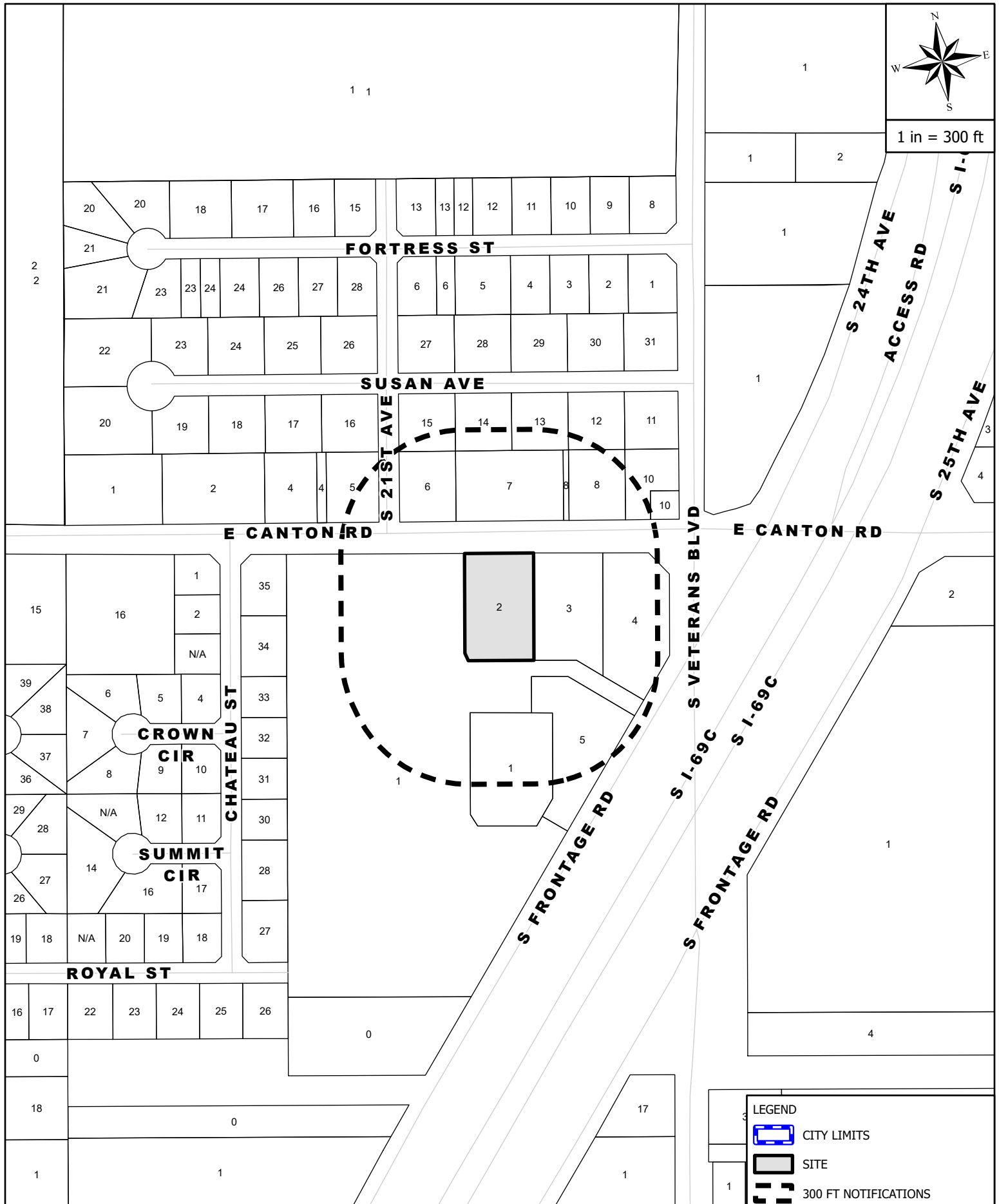


### FUTURE LANDUSE MAP




1204 E CANTON RD



1 in = 300 ft



**LEGEND**

-  CITY LIMITS
-  SITE
-  300 FT NOTIFICATIONS



### MAILOUT AND SITE MAP

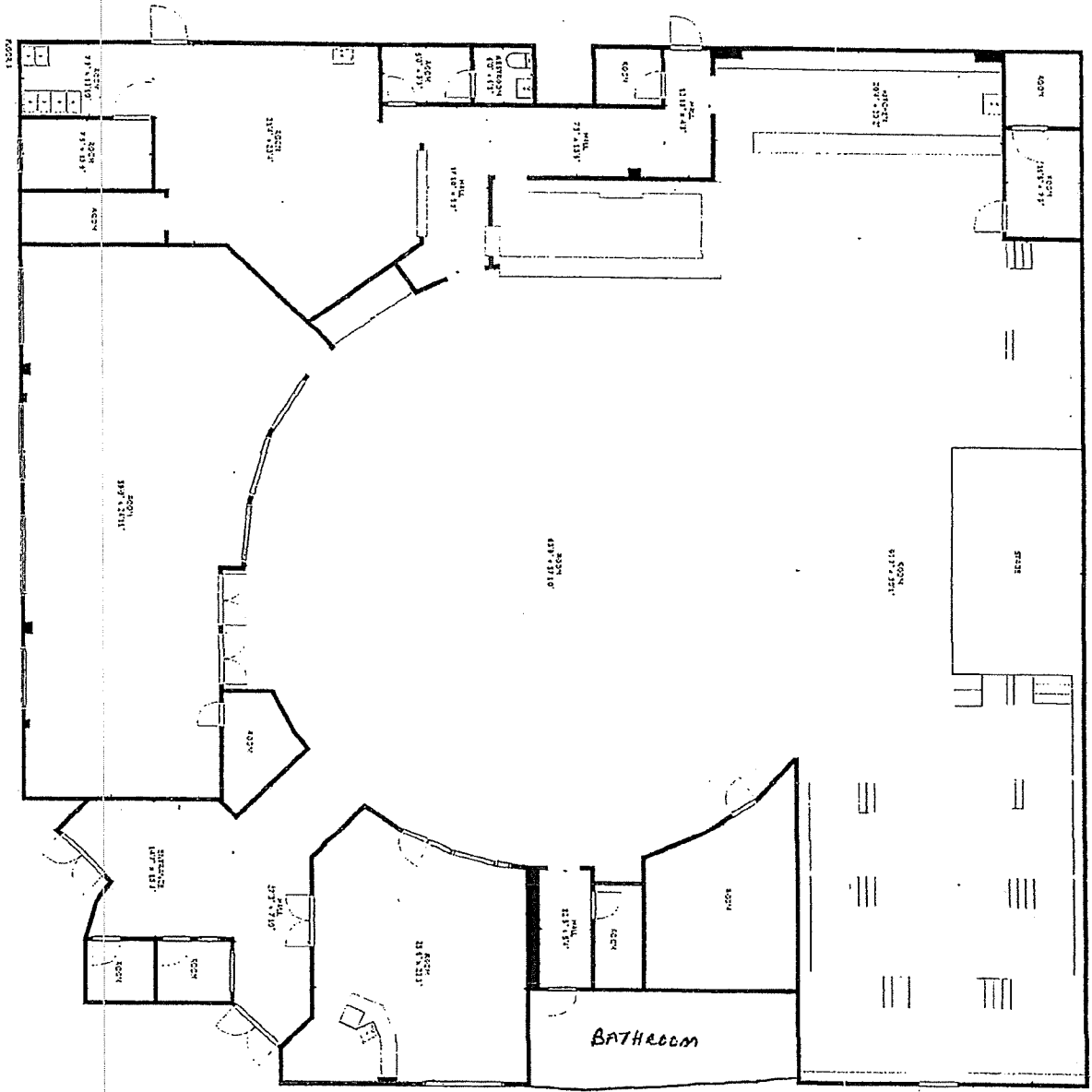
1204 E CANTON RD



# Special Use Permit Site Photo

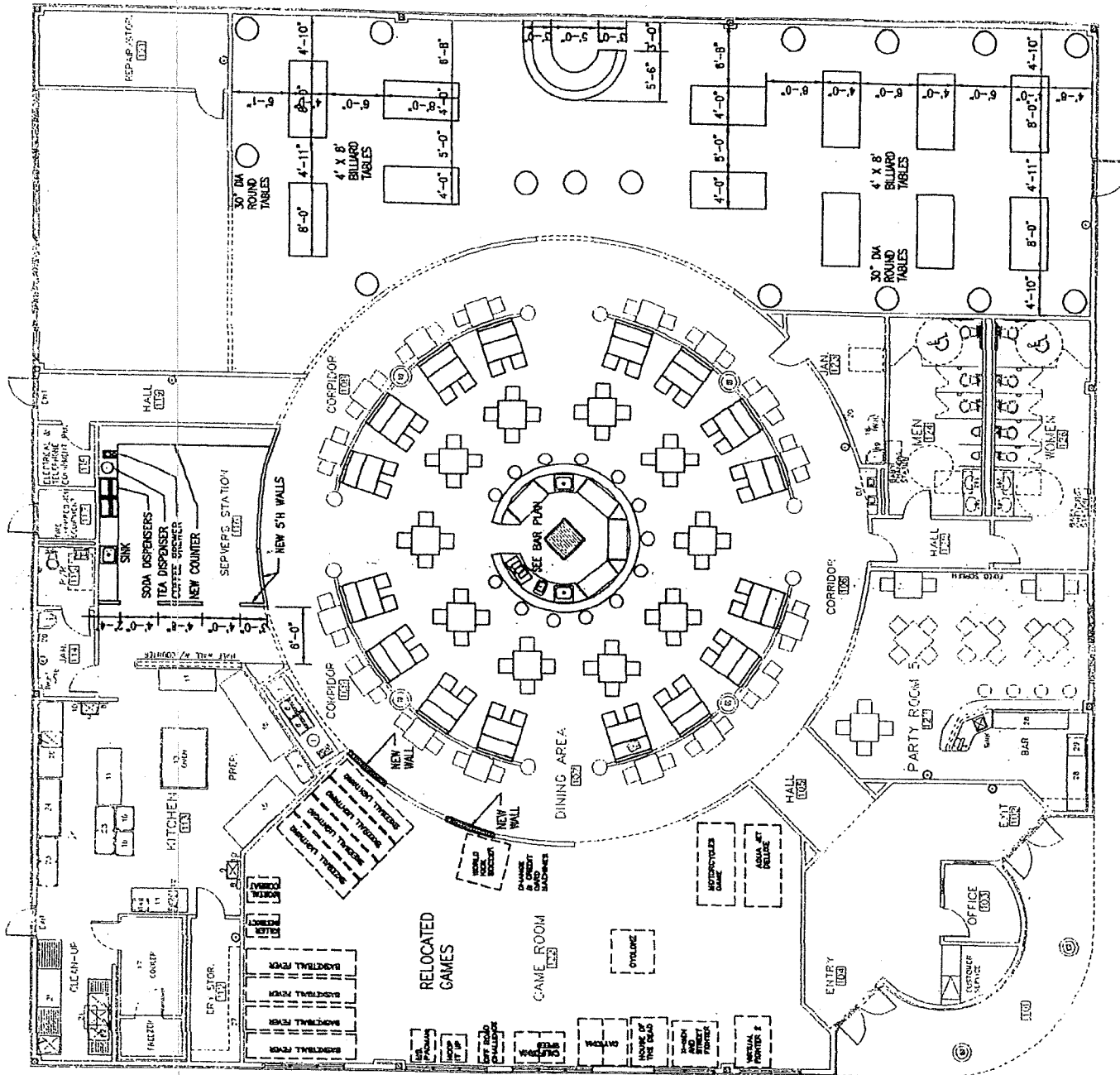
Space Monkey Barrcade, LLC.  
1204 E Canton Road





GROSS INTERNAL AREA  
 FLOOR 1 : ~~12,700~~  
 TOTAL : ~~12,700~~  
 SIZES AND DIMENSIONS ARE APPROXIMATE. ACTUAL MAY VARY.  
 12,700 sq. ft.







**CITY OF EDINBURG - NOTICE AND AGENDA  
PLANNING AND ZONING COMMISSION**

Meeting Date: July 9, 2026

PUBLIC HEARINGS

Agenda Item No: 8.G.

Public Hearing - Proposed Unified Development Code Changes

**1. Agenda Item:**

Consider the Proposed Changes to the City of Edinburg Unified Development Code.

**2. Description:**

Following a year-long collaborative process, the Edinburg Planning and Zoning Department and the Unified Development Code (UDC) Steering Committee have proposed updates to the city's development regulations. Informed by regional research and market trends, these changes were developed through extensive meetings with City Council, the Planning and Zoning Commission, the Zoning Board of Adjustment, and staff. These updates consolidate all development requirements for the city and its Extraterritorial Jurisdiction (ETJ) into a single, cohesive document.

**3. Staff's Recommendation:**

Staff recommends approval of the proposed changes to the City's Unified Development Code.

Approval of the proposed amendments will update current code requirements allowing for a more effective and efficient development process.

**Reviewed by:**

**Prepared by:**

Jaime Acevedo, Director of  
Planning and Zoning

**Attachments:**

A. Planning and Zoning Agenda Packet Attachments

# Proposed City of Edinburg Unified Development Code Changes

	Currently on the UDC	Proposition	Intent
<b>Article 2</b>	Food Truck Park regulations as permitted use	Require a SUP for Food Truck Parks	Better regulate Food Truck Park
	No Fire and Health Dept. review for Food Truck Parks	Require an electrical and plumbing pre-approval from Fire and Health Dept. for Food Trucks' grease traps	Improve Fire and Health Dept. interaction on Food Truck Park regulations
	No Fire Dept. compliance from Food Truck Park	Require language for Food Truck Park to comply with International Fire Code (IFC)	Improve Food Truck Park fire safety
	No flea market regulations	Include flea market in use table with limited uses and definition	Regulate flea markets
	No vape shops specific regulations	Limited use on zoning with regulations on location and distance to other vape shops or relevant locations (schools, hospitals, etc.)	Regulate vape shop proximity to relevant locations like schools, hospitals, etc. (Similar requirements as of alcohol sales)
	No specific regulation for pop-up markets	Include Ordinance, permitted use zonings and duration for pop-up market	Regulate por-up markets with ordinance
	Telecommunication Tower requires a 2-mile separation from other tower no matter the jurisdiction	Telecommunication Tower to be spaced 1.5 mile from others, but just within city limits	More flexibility for communication towers within city limits
	Fences on golf courses are not allowed per ordinance	Include wording on UDC to allow see-through fences on golf courses, not opaque materials and maximum 6 feet height	Provide citizens with privacy and security along a golf course
	Institutional residential uses do not require a special use or a spacing restriction	Institutional residential uses require a special use permit (except for churches and schools) and a spacing restriction of one-half mile between each other	Regulate institutional residential uses
	Group Living uses does not have a spacing regulation	Require a one-half mile spacing between group living uses	Regulate group living uses
	Telecommunication Towers requires different height depending on zoning	Make a standard height for all zonings for Telecommunication Towers to 150ft	Keep a standard for height for communication towers
	Telecommunication setbacks requires a 110% dependent on tower's height	Reduce setback to 80% of tower's height	Allow more accessible setbacks for telecommunication towers
	No limitation on telecommunication towers proximity to residential houses	No telecommunication towers in a 500 feet radius from any residential house	Provide residence with a clearer separation from telecommunication towers
	No special use permit required for Data Centers	Require a Special Use Permit for Data Centers	Regulate data centers within the city
	Special allowance gives alleys a garage setback of 15 feet	Remove special allowance to have general garage setback of 18 feet	Remove issue of car sticking into the alley/ROW obstructing viability
	Don't allow Accessory Structure on a Side Yard	Permit Accessory Structures on Side Yard following building setbacks	Give more freedom to citizens to build on Side Yard
	Accessory Dwelling Unit (ADU) has not specific rear setbacks (general setback apply)	Detached Accessory Dwelling Unit (ADU) with a 6-foot rear setback, or easement whichever is greater	Give more freedom to citizens to build Accessory Dwelling Unit (ADU) at the Rear Yard
	Habitable and non-habitable ADU follows Adopted International Code	Accessory Dwelling Unit (ADU) to follow International Residential Code and International Commercial Code	Provide a more standardized code to follow on ADUs
	Corner lots' fence cannot be built along the property line on the Street Side Yard	Allow for corner lots to build a fence along property line on Street Side Yard	Give more space to be fenced on corner lots
	Carpports allowed in Residential Multifamily	Allow carpports in Residential & Multifamily just if other carpports are located in the area (Create carport district on GIS)	Keep the aesthetic of a neighborhood if there are existing carpports or not

	Carport's overhang cannot be over easements for Residential Multifamily, and posts cannot be over setbacks/easements	Carport's overhang to be over easement up to 6 feet and posts can be over setback but not easements, for all Residential (Multi-family to have a separation of trash bins)	Allow more flexibility on carports in Multifamily developments
	Only fences on Rear Yard have the option to fill an application (with conditions) instead of permit to be built	Allow Street Side Yard fences to have the option (under conditions) to submit an application instead of a permit	Give more flexibility on standard fencing (Wood-6 feet) of properties
	Residential Accessory Structure floor area limited to 30% of principal structure	Set Residential Accessory Structure floor area dependent on lot area: lots smaller than 0.5 acres to limit size to 30% of main structure, and lots bigger than 0.5 acres to limit size to 50% of main structure	More flexibility for accessory structures for bigger lots
Article 3	No requirement for new developments to provide a convenience 50 AMP outlet	EV Ready (Conduct Only) to be in all single-family residential dwellings	Provide community with charging options along city
	Rear setback for Residential Primary is 20ft	Reduce rear setback for Residential Primary to 10ft	Give more flexibility on rear yard to build for residential
	Parking lot setback from back of curb of street is 8ft	Reduce parking lot from curb of street to 2ft	Give flexibility on parking location
	No emergency access is properly addressed for Residentials	Define to follow International Fire Code (IFC) for emergency accesses	Provide a safe access for emergency services on Residential Areas
	Residential zonings can reduce Side Yard setback if approved by Fire Dept.	Remove note of Side Yard setback reduction by Fire Dept. approval	Limit the reduction of setbacks in residential areas
	Side Yard setbacks for Residential Urban (RU) & Townhomes is 6 feet	Allow residential urban detached houses to have a zero-foot side yard setback as long as a 12 feet separation between structures is provided	More flexibility on setbacks for urban residential properties
	One zoning district for Residential Urban & Townhome	Create two zoning, Residential Urban, and Residential Townhome, separating high-density single residentials into detached units and attach ones	Provide more specific criteria to two different kinds of single -family dwellings
	New zoning for Residential Urban will require 4,000 sq-ft of minimum lot area	Allow for 3,500 sq-ft of lot area for new zoning Residential Urban	Give more flexibility on smaller lots
	New zoning for Residential Urban will require 40 feet lot width	Allow for 36 feet of lot width for new zoning Residential Urban	Give more flexibility on smaller lots
	Duplex uses require 8,000 sq-ft minimum lot area and 80 feet lot width, as multifamily uses	Allow duplexes to require a minimum 4,000 sq-ft lot area and 40 feet lot width (half of a multiplex)	Allow for smaller lots for smaller buildings
	Residential Multifamily building separation is 12 feet, unless reduced distance approved by Fire Dept.	Residential Multifamily building separation up to International Building Code (IBC) and International Fire Code (IFC)	Restrict building separation with conveyed standards from Fire and Building Dept.
	Townhomes does not address emergency accesses	Include table note to prohibit major throughfares as an emergency access to townhomes, specifying wording for access easement on plats	Creates a higher standard for emergency accesses in townhomes
	A single table for Duplex and Multiplex requirements	Make a separate table for Duplex and Multiplex requirements	Allow for different regulations in each scenario
	Commercial Neighborhood's Landscape Surface Area (LSA) is 0.40 (0.50 for offices and services)	Reduce Commercial Neighborhood's Landscape Surface Area (LSA) by 10% for all uses	Give more flexibility for Commercial Neighborhood lots
	Self-Storage units have a Floor Area Ratio (FAR) of 0.317	Increase Self-Storage units have a Floor Area Ratio (FAR) to 0.60	Allow more buildable area to storage due to space requirement
	Hotel for Commercial General have a Floor Area Ratio (FAR) of 0.320	Increase the Hotel for Commercial General have a Floor Area Ratio (FAR) to 0.500	Allow more buildable area to big scale commercial projects
	Commercial Street Side Yard setback is 25 feet	Reduce Commercial Street Side Yard setback to 10 feet	Give more flexibility to Corner Lots

	Commercial Front Yard setback is 25 feet	Reduce Commercial Front Yard setback to 20 feet	Give more flexibility to Commercial Lots
Article 4	Allows for 1 parking in multifamily building for a studio and a bedroom unit together	Require 1 parking for a studio and a bedroom separately	Accommodate parking lot requirements for bedroom and studios as equals
	Limit LED signage along Right-of-Way by space between signs	Remove limitation and allow LED signage as long as it follows all other requirements	Provide more flexibility for trend in LED signage
	No permit required for temporary signs	Require a permit for temporary signs, to be enforced by Code Enforcement Department	Better enforcement of temporary signs, and provide a cleaner view of businesses
	Required bypass of 12ft for drive thru services	Remove bypass requirement and make it optional	Allow extra space for development/parking/access
	No limitation in artificial grass	Interpret artificial turf as an impervious surface	Limit artificial grass options to natural ones
	No planting and tree maintenance standards	Follow ANSI 300 Manual for tree planting and maintenance	Have a more standardized process for trees in the city
	Technical Tree Manual is reference in UDC for not shown	Include Technical Tree Manual as reference in Appendix	Have standards to follow with its reference
	Limited native/drought tolerant species for landscaping	Implement more native/drought tolerant species for landscaping	Have more variety of species allowed for landscaping
	No Tree Fund payment option for developmental landscaping requirements	Include Tree Fund payment option for developmental landscaping requirements	More flexibility for landscape developments
	Interchangeable landscape requirement from large category to smaller	Include interchangeable landscape requirements from small category to larger, and include option for mitigation	More flexibility on landscaping options and mitigation
	No regulations of distance from large trees to power lines	Include Power Line City distance regulations for planting large trees	Regulation for large trees to don't generate a safety risk
	Buffer does not apply if zoning district is separated by Right-of-Way	Remove wording to allow buffer between zoning districts no matter if divided by a Right-of Way	Provide a buffer without limiting if there are streets in the middle
	Masonry wall required when multifamily is adjacent to residential primary when adjacent length exceeds 200ft	Remove masonry wall requirement for adjacent residential developments, and require a CMU wall between higher zoning levels without restricting to 200 ft	Keep a standard minimal buffer between residential uses
	No Landscape Surface Ratio for Residential Multifamily and Manufacture Homes	Include a Landscape Surface Ratio for Residential Multifamily and Manufacture Homes to 0.20	Provide a minimum required of landscape on residential zonings
	No landscape requirements for Industrial Light	Include Industrial Light into landscape requirement table (6 Large Trees/acre, 10 Small Trees/acre, and 90 Shrubs/acre)	Provide landscape regulations for Industrial Light zoning
	Street trees' spacing is not regulated by their size	Provide a more detailed separation for Street Trees depending on their size (50 feet to Large Trees & Palm Trees, and 25 feet for Small Trees)	Have more specialized separation of trees
	No buffer yard required from residential development to commercial and industrial abutting uses	Include a buffer yard from residential development to commercial and industrial abutting uses	Include a buffer yard for residential that are being developed abutting an existing commercial or industrial use
	No specific penalty or "estimated cost" for Champion and Heritage Trees	Include a price per Diameter at Breast Height (DBH) on Champion and Heritage trees.	Make our Champion and Heritage trees more valued to be respected
	No equivalency on Diameter at Breast Height (DBH) and Diameter Root Collars (DRC)	Make Diameter Root Collars (DRC) equivalent to Diameter at Breast Height (DBH)	Create a standard measure of trees
	Allow for 50% of wall sign to be an Electronic Message Center (EMC)	Allow for a 66.7% of existing wall sign to be an Electronic Message Center (EMC), or 20% of the wall	Give more flexibility on EMC signage on walls
Prohibited signs are not except to be waived	Add wording to not allow waivers to be used for prohibited signs	Leave the prohibited material, prohibited	

	Minimum height on canopy signage	Correct grammar to Maximum height on canopy signage	Correct grammar mistake
	Pole sign size limited for 3.5 sf per 1 linear foot of frontage	Allow 1 sf per 1 linear foot of frontage	Provide more flexibility on signs sizes
	No table addresses multi-tenant signs	Include table section with multi-tenant signs with its regulations	Have a multi-tenant sign regulation
	No limitation on multi-tenant sign for downtown	Signs on Downtown district to be limited to monument signs, not pole signs	Provide a more standardized signage in the downtown district
	Signs are not specifically prohibited to be placed over easements	Add table not to not allow sign over any easements	No permanent structures to be over any easements
Article 5	Certificate of compliance not defined properly with its requirements	Re-word Certificate of Compliance section for better interpretation and move in its requirements	Clarify the Certificate of Compliance and its requirements
	No mandatory cul-de-sacs is addressed	Make cul-de-sac mandatory when requested by City Engineer	Make street safer with requested cul-de-sacs where needed
	No Internal Connectivity is addressed	Include subsection about Internal Connectivity conditions for new developments	Improve traffic and connectivity in new developments
	Minimum Right-of-Way for Minor Streets is 50 feet / 60 feet for Residential urban & townhome developments	Allow for Residential Urban(low-density) for a minimum 50 feet ROW, and for Residential Townhomes (high-density) to be minimum of 60 feet ROW	Provide requirement for bigger streets on high density residential developments
	Requires panhandle lots for residential property to connect to minor streets, instead of arterial or collector streets	Allow exceptions for residential lots to have access to arterial and collector streets approved by City Engineer and Planning and Zoning Administrator	Allow for existing residential with access to arterial or collector streets to have a driveway/access
	Street name standards do not specify for private streets	Re-wording subsection to mention explicitly the regulation on private and public streets	Have a more specific regulation on street naming
	No Lot Layout Grading addressed	Include a subsection referring to Engineering Standards	Have a reference on lot layout grading
	Minimum utility easement of 10 feet	Increase minimum utility easement to 15 feet or 10 feet exclusive City of Edinburg and 5 feet utility easement	Provide more space for utilities to run along properties
	Maximum access width for single-family residential dependent on garage capacity	Set a standard 24 feet access width for residential	Provide a single measure for all residential accesses
	No parkland fees charged for Residential Multifamily on ETJs	Include parkland fees for Residential Multifamily on ETJs	Improvement of parks used by the community
	Not specific language for escrow	Remove letter of credit and performance bonds options, and don't allow for building permits to be issued with out completed public improvements	Record a plat when work is substantially complete. Eliminates plats recorded with no work at all.
Article 6	Vague reference and standards for Stormwater Management	Provide a Stormwater Management section with more details, specifics and in accordance with codes.	Make Stormwater Management more in accordance with international codes
	Noise for construction hours not complying with current ordinance	Adjust Unified Development Code to follow Noise Ordinance ORD. 2023-4817	More accurate construction hours schedule, and make UDC and city's ordinance to match
	Vague description of dust control section	Re-word dust control section with a more detailed interpretation	More precise restrictions on dust control in new developments
Article 9	No mention of changes in plans after planning and Zoning Commission and before City Council	Item scheduled for City Council that gets changes shall go back to Planning and Zoning Commission	Any change during review process shall be reviewed prior to presenting to the Commission and Council
	No specific fee charge for variance applications	Provide a scaled fee structure (Ex. 2-10 lots = \$1,500; 11-20 lots = \$2,500; 21-30 lots = \$3,000; 40+ lots = 4,500)	Reduce out of code requests, and reduce variances
	No administrative adjustment for variances	Allow an administrative adjustment for 10% clearance on variances	Intent to reduce number of variances on small matters

	Subdivision shot clock allows 5 years to expire	Reduce subdivision shot clock to 1 year	Reduce amount of abandoned processing subdivisions
	Public notice required for Preliminary Plats	Remove public notice required for Preliminary Plats	Notice not required by law
	Not requirement for Minor Plat to follow preliminary phase for utility extension	Minor plat requires utility extension to follow into preliminary phase	Assure utilities are provided in the property
	Public Hearing required for preliminary plat	Remove public hearing required for preliminary plat	Hearing not required by law
	No specific criteria for subdivisions to transfer from private to public	Add wording from the state regulations to implement a process for subdivisions to transfer from private to public	Allow private subdivisions to transfer into public
	Not addressing ETJs opt Outs	Include wording addressing ETJ opt Outs for the Utility Service Area requirements within city's CCN	Provide better regulation with utilities in ETJ opt Outs



**CITY OF EDINBURG - NOTICE AND AGENDA  
PLANNING AND ZONING COMMISSION**

Meeting Date: July 9, 2026  
SUBDIVISION VARIANCE

Agenda Item No: 9.A.

Variance Request, Villages on Closner Subdivision, Tribute Engineering

**1. Agenda Item:**

Consider Variance Request to the City's Unified Development Code, 1.) Article 4, Section 4.204 Bufferyards, Table 4.204-1 Bufferyard Classifications, for the Proposed Villages on Closner Subdivision, Being a 76.687 Acres Tract of Land Out of Lots 1 & 2, Section 241, Texas-Mexican Railway Company's Survey, Hidalgo County, Texas, Located at 500 E. Russell Road, as Requested by Tribute Engineering.

**2. Description:**

The property is located at the southeast corner of N. Closner Blvd. and south of Russell Rd intersection, and is within the City of Edinburg, City Limits. This project is currently going through subdivision process with the Planning and Zoning Department. Tribute Engineering, on behalf of the developer, is requesting a variance to the City's Unified Development Code (UDC) for the aforementioned subdivision.

1.) Variance Request: Article 4, Section 4.204, Bufferyards, Table 4.204-1 Bufferyard Classifications The requested variance is to Article 4, Section 4.204, Bufferyards, Table 4.204-1 Bufferyard Classifications, Table Note 1. City of Edinburg Unified Development Code states a lot that is 200 feet or less in depth may provide a wood fence. A lot greater than 200 feet in depth shall provide a wall. The developer is requesting a variance to not build a wall between their multi-family development and the existing single family development. The developer states that there is an established cedar fence with integrated CMU columns and constructing a new CMU wall would require demolition of the existing fence.

**3. Staff's Recommendation:**

Staff recommends approval of the variance requests and asks that the applicant comply all other requirements that it calls for.

**Reviewed by:**

Erika Monreal, Administrative Assistant  
Rita Guerrero, Assistant Director of Planning and Zoning  
Jaime Acevedo, Director of Planning and Zoning

**Prepared by:**

Claudia Mariscal, Planner I

**Attachments:**

A. VILLAGES ON CLOSNER VARIANCE PACKET

## Division 4.200, Landscaping and Buffering

### Sec. 4.204, Bufferyards

A. **Bufferyard Classifications.** Bufferyards are classified as requiring a wall or fence only (Class A) or requiring a wall or fence and plantings (Class B). The width and composition of bufferyards shall be as set out in Table 4.204-1, *Bufferyard Classifications* and are in addition to required setbacks.

Classification	Width	Large Trees	Small Trees	Berm or Opaque Wall or Fence
Class A	10 ft.	N/A	N/A	6-foot high wall (masonry, brick, stone, or equivalent material) or wood fence <sup>1</sup>
Class B	20 ft.	1 / 100 linear ft.	2 / 100 linear ft.	6-foot high wall (masonry, brick, stone, or equivalent material) or wood fence <sup>1</sup>

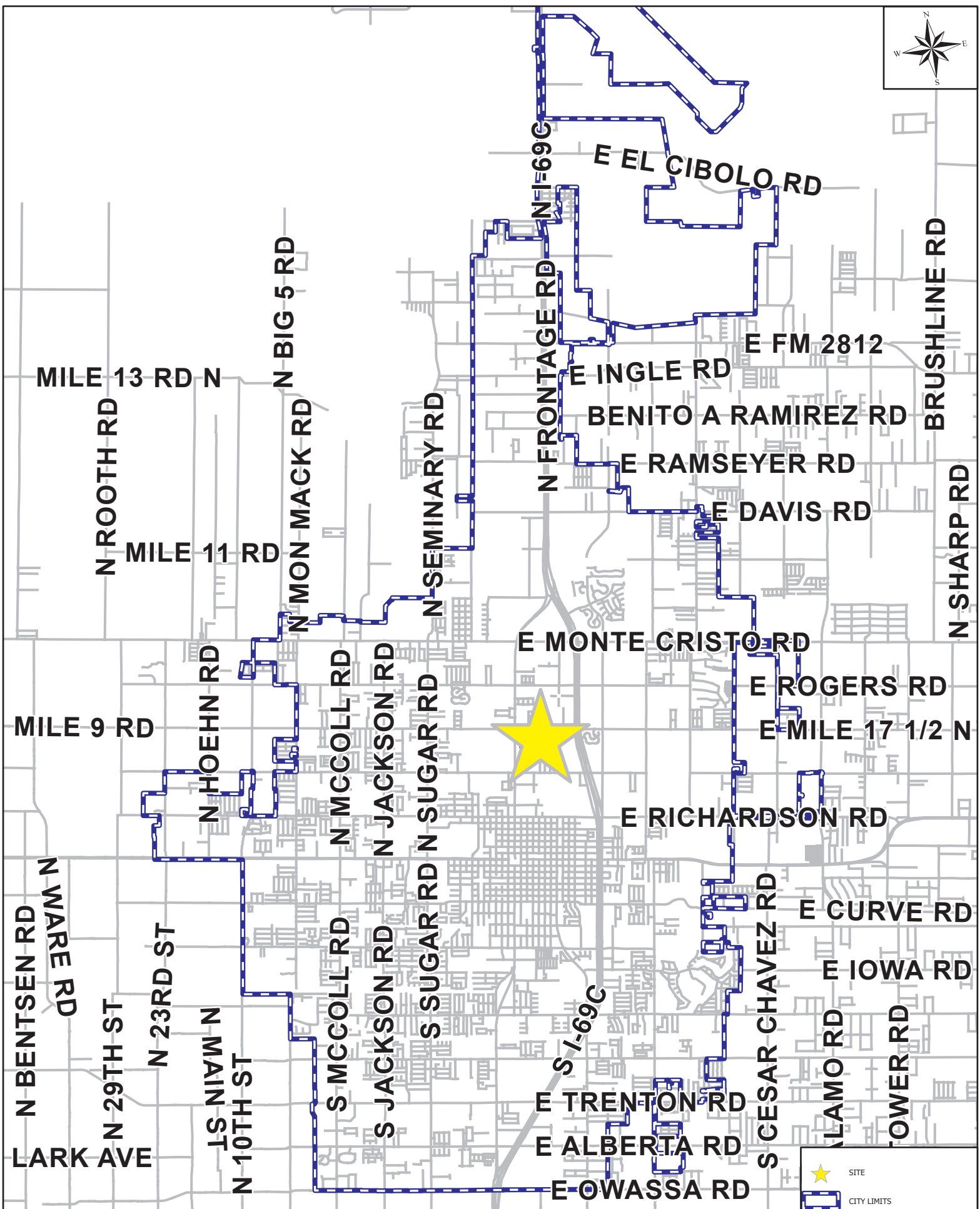
**TABLE NOTES:**



<sup>1</sup>A lot that is 200 feet or less in depth may provide a wood fence. A lot that is greater than 200 feet in depth shall provide a wall.

B. **District Bufferyard Standards.**

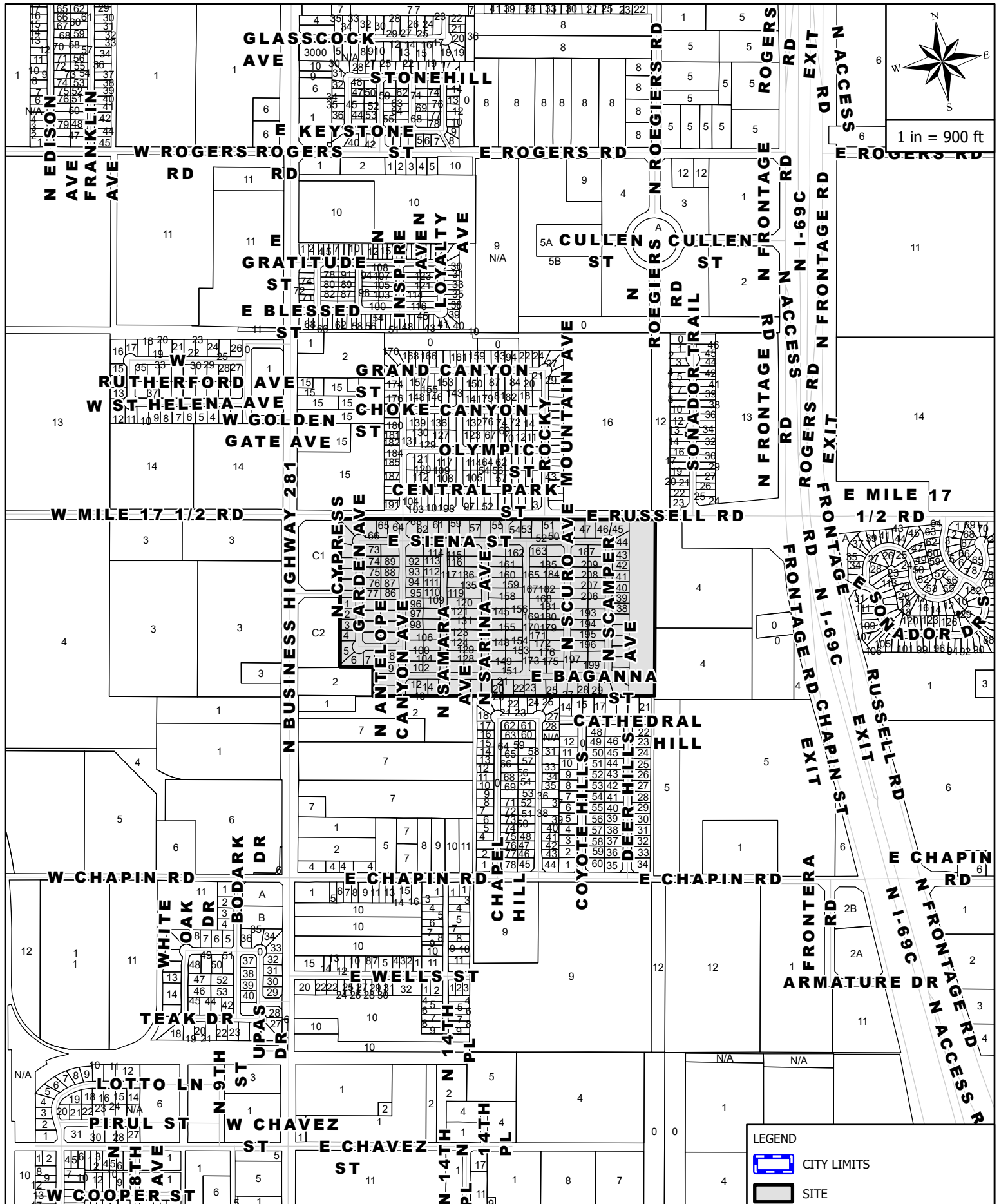
1. *General.* Table 4.204-2, *District Boundary Bufferyard Standards*, sets out the classification of bufferyard that is required for nonresidential or multi-family uses between zoning districts that are not separated by a public street. The table is a matrix in which all districts are shown -- the columns being the zoning of the adjoining land; the rows being the zoning of the lot that is proposed for development. The grey cells are where both properties have the same zoning classification. A "-" means that no bufferyard is required.

Zoning of Proposed Nonresidential or Multi-Family Development	Adjoining District									
	AO	RS	RP	RU	RM	UU	CN	CG	DT	IL / IG
Agriculture and Open Space (AO)	-	-	-	-	-	-	-	-	-	-
Residential, Suburban (RS)	-	-	-	-	-	-	-	-	-	-
Residential, Primary (RP)	-	A	-	-	-	-	-	-	-	-
Residential, Urban and Townhome (RU)	-	A	-	-	-	-	-	-	-	-
Residential, Multifamily (RM)	-	A	A	A	-	-	-	-	-	-
Urban University (UU)	-	A	A	A	A	-	-	-	-	-
Commercial Neighborhood (CN)	-	A	A	A	A	A	-	-	-	-
Commercial, General (CG)	-	B	B	B	B	B	B	-	-	-
Downtown (DT)	-	-	-	-	-	-	-	-	-	-
Industrial, Light (IL) / Industrial, General (IG)	B	B	B	B	B	B	B	B	B	-



 SITE  
 CITY LIMITS

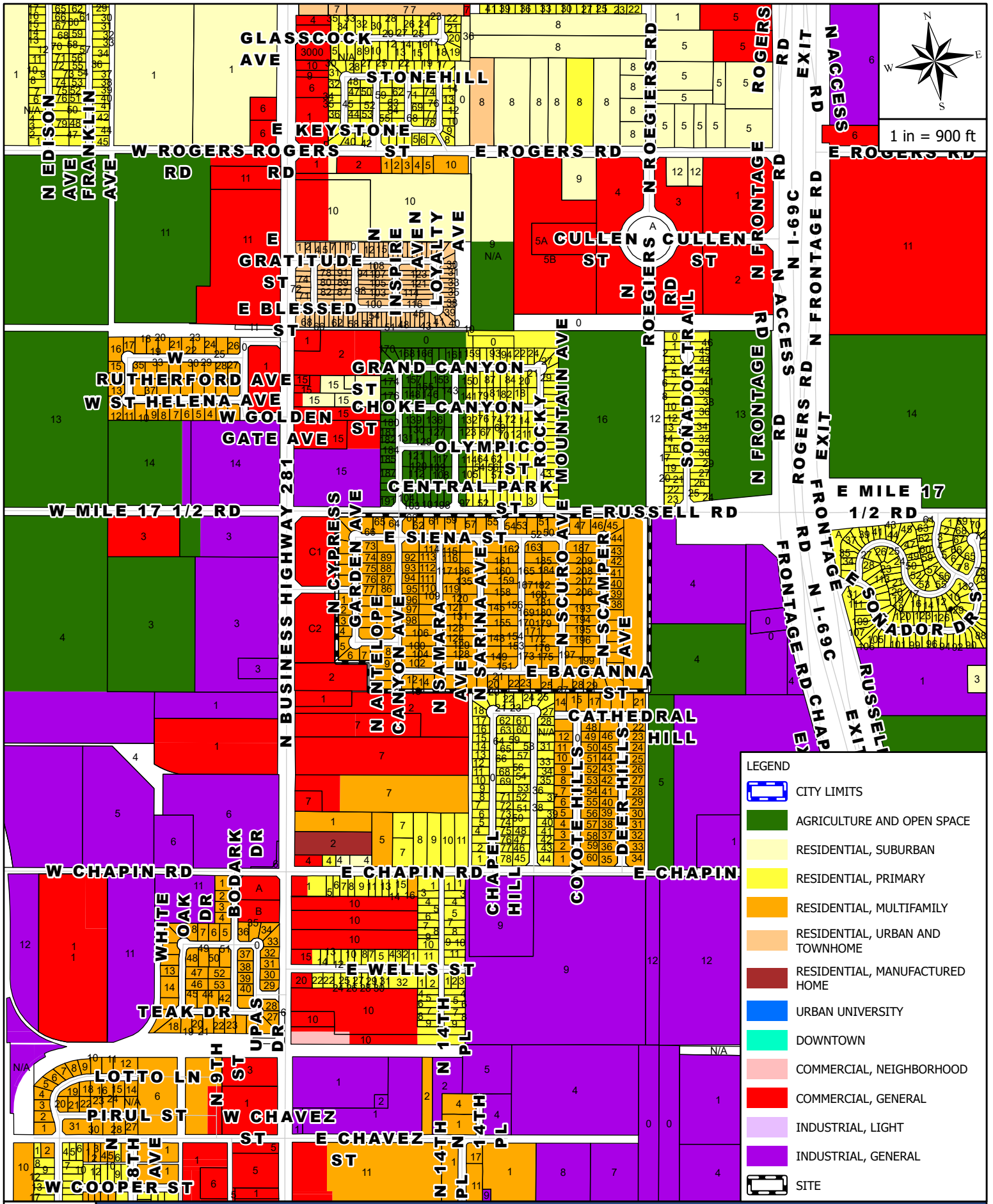

















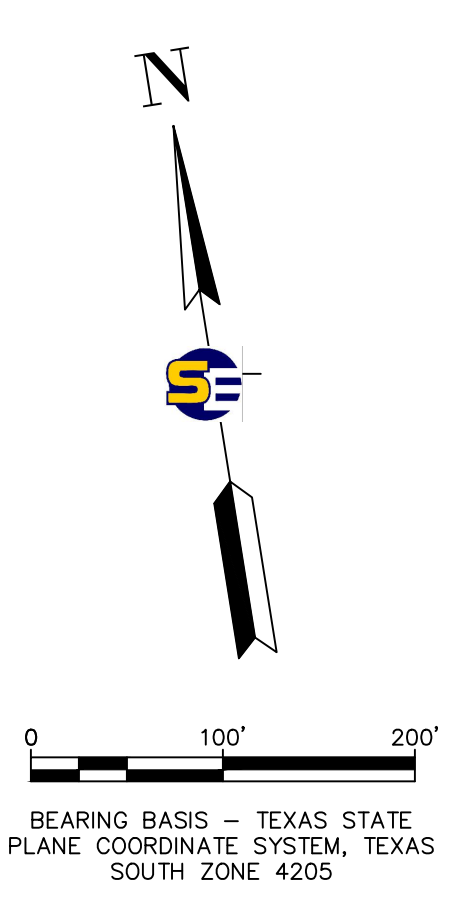
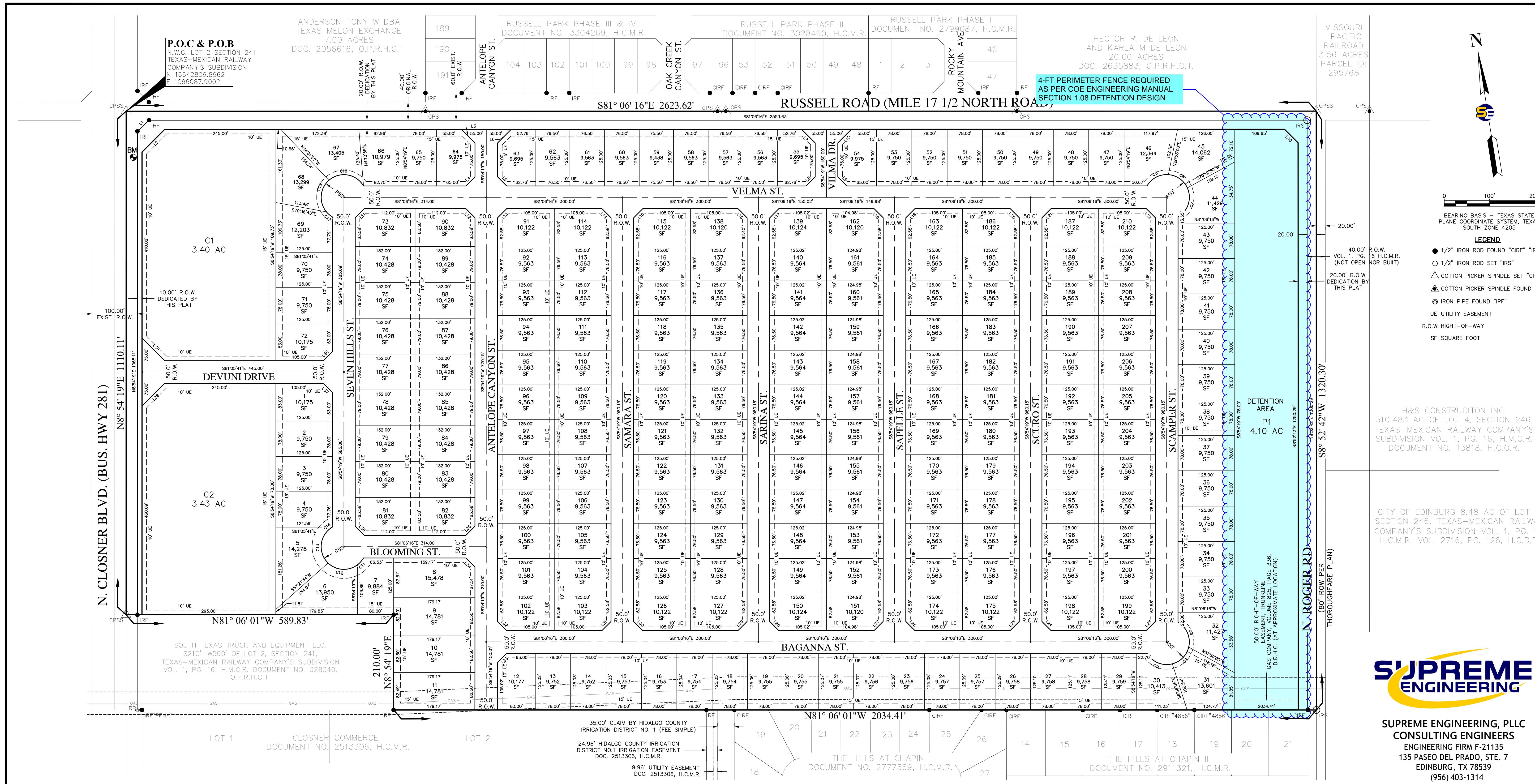
**MAILOUT AND SITE MAP**

500 E RUSSELL RD





- LEGEND
-  CITY LIMITS
  -  AGRICULTURE AND OPEN SPACE
  -  RESIDENTIAL, SUBURBAN
  -  RESIDENTIAL, PRIMARY
  -  RESIDENTIAL, MULTIFAMILY
  -  RESIDENTIAL, URBAN AND TOWNHOME
  -  RESIDENTIAL, MANUFACTURED HOME
  -  URBAN UNIVERSITY
  -  DOWNTOWN
  -  COMMERCIAL, NEIGHBORHOOD
  -  COMMERCIAL, GENERAL
  -  INDUSTRIAL, LIGHT
  -  INDUSTRIAL, GENERAL
  -  SITE



- BEARING BASIS - TEXAS STATE PLANE COORDINATE SYSTEM, TEXAS SOUTH ZONE 4205
- LEGEND**
- 1/2" IRON ROD FOUND "CIRF" "IRF"
  - 1/2" IRON ROD SET "IRS"
  - △ COTTON PICKER SPINDLE SET "CPSS"
  - ▲ COTTON PICKER SPINDLE FOUND "CPS"
  - ◎ IRON PIPE FOUND "IPF"
  - UE UTILITY EASEMENT
  - R.O.W. RIGHT-OF-WAY
  - SF SQUARE FOOT

H&S CONSTRUCTION INC.  
310.483 AC OF LOT 4, SECTION 246,  
TEXAS-MEXICAN RAILWAY COMPANY'S  
SUBDIVISION VOL. 1, PG. 16, H.C.M.R.  
DOCUMENT NO. 13818, H.C.O.R.

CITY OF EDINBURG 8.48 AC OF LOT 4,  
SECTION 246, TEXAS-MEXICAN RAILWAY  
COMPANY'S SUBDIVISION VOL. 1, PG. 16,  
H.C.M.R. VOL. 2716, PG. 126, H.C.D.R.



**SUPREME ENGINEERING, PLLC**  
CONSULTING ENGINEERS  
ENGINEERING FIRM F-21135  
135 PASEO DEL PRADO, STE. 7  
EDINBURG, TX 78539  
(956) 403-1314

CURVE DATA						
Curve #	Radius	Tangent	Delta	Arc Length	Chord Bearing	Chord Distance
C5	50.00'	31.37'	64°12'44"	56.04'	S71°00'06"W	53.15'
C6	50.00'	29.63'	61°18'12"	53.50'	N46°14'25"W	50.98'
C7	50.00'	45.41'	84°29'38"	73.73'	N26°39'30"E	67.23'
C8	50.00'	37.19'	73°16'37"	63.95'	N14°27'23"W	59.68'
C9	50.00'	30.19'	62°14'50"	54.32'	N53°18'21"E	51.69'
C10	50.00'	38.00'	74°27'58"	64.98'	S58°20'15"E	60.51'
C11	50.00'	10.34'	23°22'41"	20.40'	S50°35'05"W	20.26'
C12	50.00'	42.37'	80°33'36"	70.30'	N77°26'47"W	64.65'
C13	50.00'	65.79'	105°31'38"	92.09'	N15°35'50"E	79.61'
C14	50.00'	65.79'	105°31'38"	92.09'	N15°35'50"E	79.61'

LINE DATA		
Line #	Bearing	Distance
L1	N53°54'02"E	35.36'
L2	S53°54'02"W	70.72'
L3	S36°05'58"E	42.42'
L4	S53°54'02"W	28.29'
L5	S36°05'58"E	28.28'
L6	S53°54'02"W	42.43'
L7	N36°05'58"W	42.42'
L8	N53°54'02"E	28.29'
L9	N36°05'58"W	28.28'
L10	N53°54'02"E	42.43'
L11	S53°54'02"W	28.29'

LINE DATA		
Line #	Bearing	Distance
L12	N36°05'58"W	28.28'
L13	N53°54'02"E	28.29'
L14	S36°05'58"E	28.28'
L15	S53°54'02"W	28.29'
L16	N35°50'33"W	28.41'
L17	N53°54'02"E	28.29'
L18	N36°05'58"W	28.28'
L19	N53°54'02"E	28.29'
L20	S36°05'58"E	28.28'
L21	N53°54'02"E	28.29'
L22	S36°05'58"E	28.28'

LINE DATA		
Line #	Bearing	Distance
L23	S53°54'02"W	28.29'
L24	N36°05'58"W	28.28'
L25	S53°54'02"W	28.29'
L26	N36°05'58"W	28.28'
L27	S53°54'02"W	28.29'
L28	N36°05'58"W	28.28'
L29	N53°54'02"E	28.29'
L30	S36°05'58"E	28.28'
L31	S53°54'02"W	28.29'
L32	N36°05'58"W	28.28'
L33	N53°54'02"E	28.29'

LINE DATA		
Line #	Bearing	Distance
L34	N36°05'58"W	28.28'
L35	N53°54'02"E	28.29'
L36	S36°05'58"E	28.28'
L37	N36°05'41"W	28.28'
L38	S53°54'19"W	70.71'
L39	N36°05'41"W	70.71'
L40	N36°06'37"W	42.43'

# PLAT OF VILLAGES ON CLOSNER SUBDIVISION

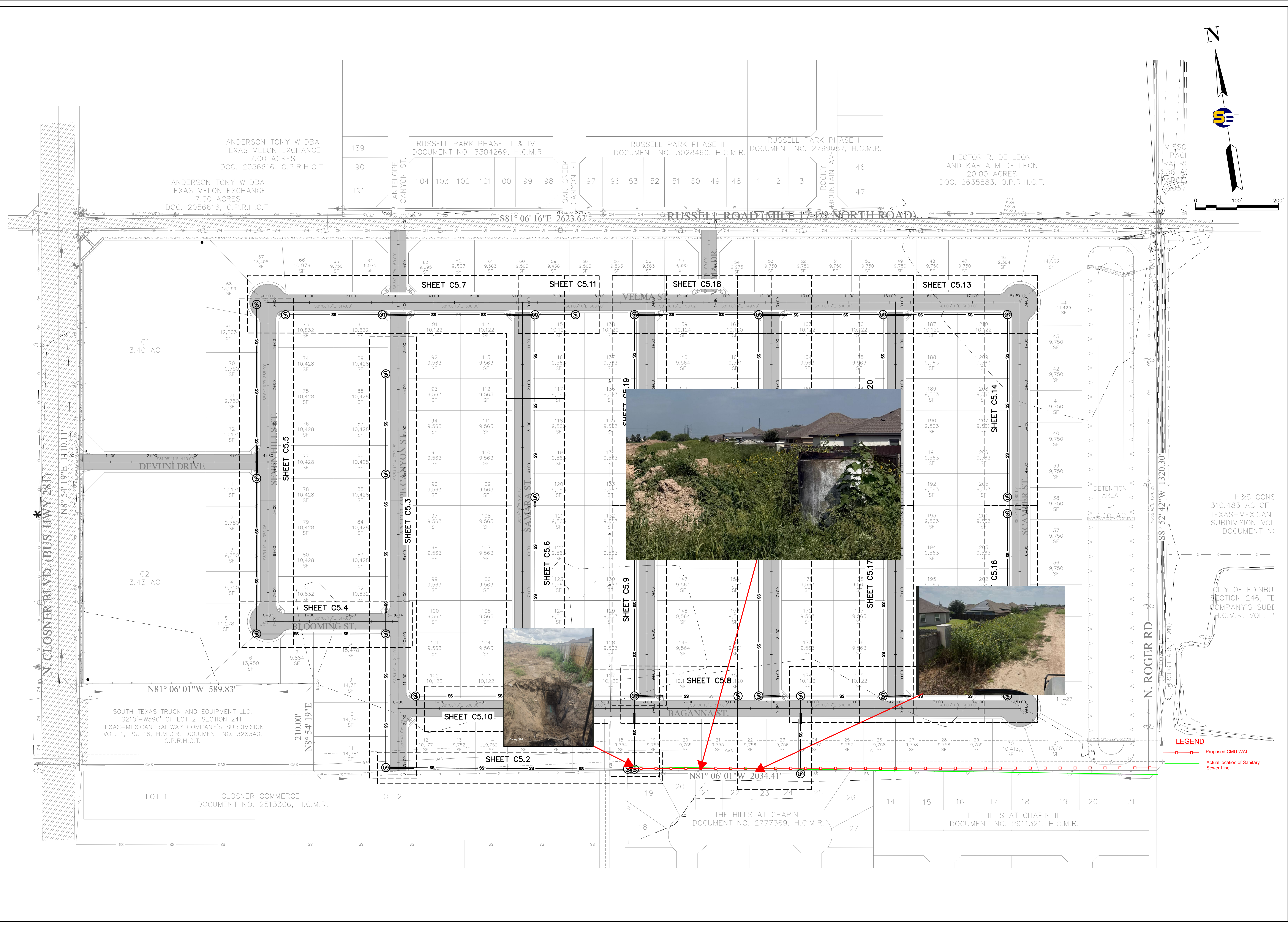
BEING 76.682 ACRES CONSISTING OF 36.674 ACRES OF LOT 2 AND ALL OF LOT 1, SECTION 241, TEXAS MEXICAN RAILWAY COMPANY'S SUBDIVISION, VOLUME 1, PAGE 16, MAP RECORDS OF HIDALGO COUNTY, TEXAS, SAME BEING DESCRIBED IN A SPECIAL WARRANTY DEED WITH VENDOR'S LIEN TO LATITUDE INVESTMENT GROUP LLC., RECORDED IN DOCUMENT NO. 3357214, OFFICIAL PUBLIC RECORDS OF HIDALGO COUNTY, TEXAS.

PREPARED FOR:  
LATITUDE INVESTMENT, LLC  
601 PECAN, STE. 180 McALLEN, TEXAS 78501  
DATE: AUGUST 2023

###

C5.0 - SANITARY SEWER INDEX SHEET.DWG

--- PLOTTED 10/13/2023



**SUPREME ENGINEERING**  
 TPELS FIRM No. F-21135  
 SUPREME ENGINEERING, PLLC  
 135 PASCO DEL PRADO, STE. 7  
 EDINBURG, TX 78539  
 PH: (956) 403-1314

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY OMAR CANO, P.E. ON 10/3/2023. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

PROJECT NO. ##	DESIGN TEAM	DESIGN BY:	DRAWN BY:	CHECKED BY:	APPROVED BY:	REV. DESCRIPTION	DATE	APPROVED BY:
	O.C.	O.C.	J.L.G. & H.G.	O.C.	O.C.			

PREPARED FOR:  
 LATITUDE INVESTMENT, LLC  
 601 PECAN, STE. 180  
 MCALLEN, TEXAS 78501

VILLAGES ON CLOSNER  
 SANITARY SEWER INDEX

C5



**CITY OF EDINBURG - NOTICE AND AGENDA  
PLANNING AND ZONING COMMISSION**

Meeting Date: July 9, 2026  
SUBDIVISION VARIANCE

Agenda Item No: 9.B.

Variance Request, The Townhomes at Ebony Subdivision, Eliseo Garza

**1. Agenda Item:**

Consider Variance Request to the City's Unified Development Code, Article 3, Table 3.102-3, Townhouse and Weak-Link Townhouse Lot and Building Standards, Townhouse Lot Area for the Proposed The Townhomes at Ebony Subdivision, being a 0.68 Acre Tract of Land, Out of Lot 1, Lot 2 and the East 39 Feet of Lot 3, Block 8, Enfield Estates Subdivision, Located at 198 W. Southland Avenue, as Requested by Eliseo Garza.

**2. Description:**

The property is located at the intersection of Tourist Drive and south of Hollywood Drive, and is within the City of Edinburg city limits. The proposed development consists of 10 single-family residential lots. The developer is requesting a variance to the City's Unified Development Code (UDC) for the aforementioned subdivision.

**Variance Request: Table 3.102-3**

This requested variance is to Article 3, Table 3.102-3 as it applies to minimum lot area of the properties zoned Residential, Urban and Townhome District. The developer is proposing a lot area of 2,158 square feet. As per the Unified Development Code requires for the lot area to be 2,500 square feet.

**3. Staff's Recommendation:**

Staff recommends denial of the variance request as the Unified Development Code requires a lot area of 2,500 square feet. If approved, the applicant would need to comply with all other requirements during the permitting process.

**Reviewed by:**

Erika Monreal, Administrative Assistant  
Rita Guerrero, Assistant Director of Planning and Zoning  
Jaime Acevedo, Director of Planning and Zoning

**Prepared by:**

Claudia Mariscal, Planner I

**Attachments:**

A. TOWNHOMES AT EBONY VARIANCE CIVIC CLERK

**Table 3.102-3  
Townhouse and Weak-Link Townhouse Lot and Building Standards**

Development Type	Minimum*							Maximum	
	Site Area / group (sf.)	Lot Area / du. (sf.)	Lot Width / du.(ft.)	Street Yard (ft.)	Side Yard (ft.)	Rear Yard (ft.)	No. of Attached du.'s	Height (ft)	Attached du.'s <sup>3</sup>
Weak-Link Townhouse	10,000	3,300	33	10 / 18 <sup>1</sup>	0 / 6 <sup>2</sup>	10 / 18 <sup>1</sup>	3	35	8
Townhouse	8,000 → 2,500	2,500	25	10 / 18 <sup>1</sup>	0 / 6 <sup>2</sup>	10 / 18 <sup>1</sup>	3	35	8

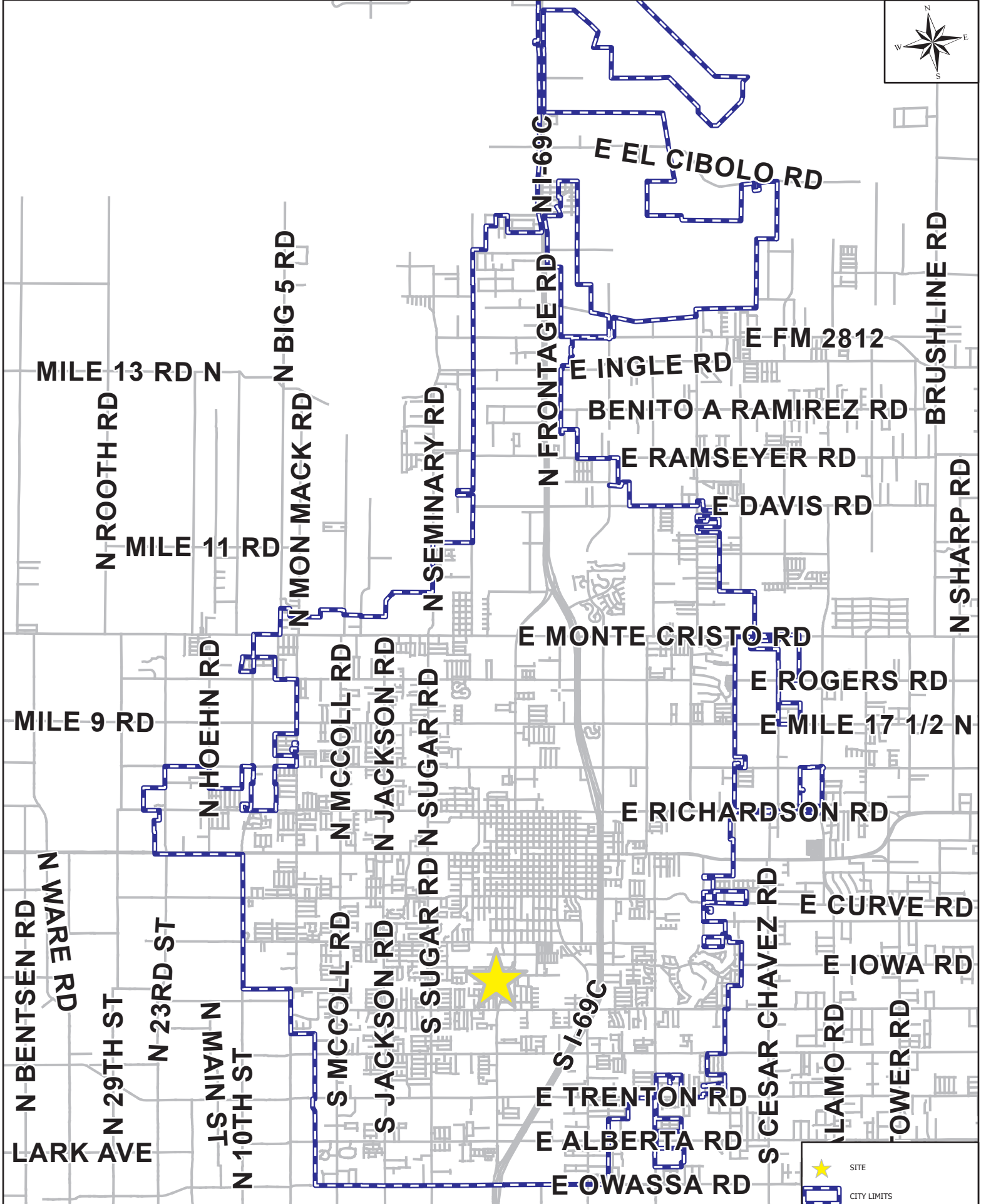
**TABLE NOTES:**



<sup>1</sup>The first number is the house setback; the second is the setback for a front load garage. Street yard refers to front yard of lot.

<sup>2</sup>A minimum building separation of 12 feet is required, but may be reduced to 10 feet if approved by Fire Marshal.

<sup>3</sup>More than eight units may be attached if the project is configured along a block face of a public street and adequate access exists to the rear of the building for the provision of emergency services.

\*If a larger bufferyard is required, the setback shall be the width of the bufferyard; see Section 4.204.

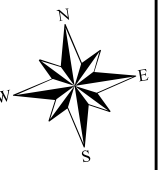


 SITE  
 CITY LIMITS

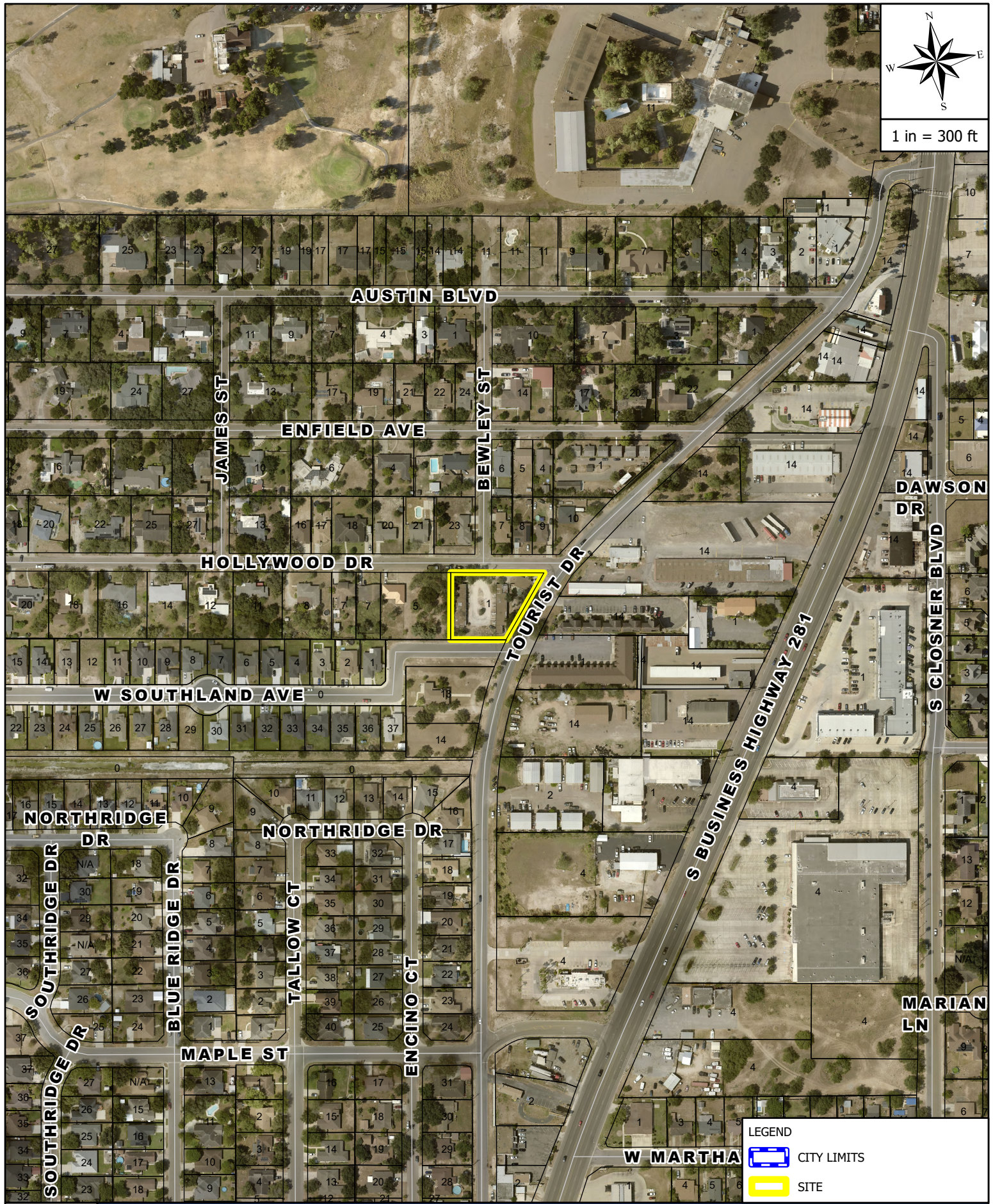


**EDINBURG NEW DEVELOPMENT MAP**

198 W SOUTHLAND AVE



1 in = 300 ft

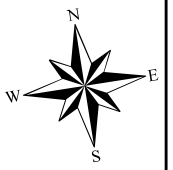


LEGEND

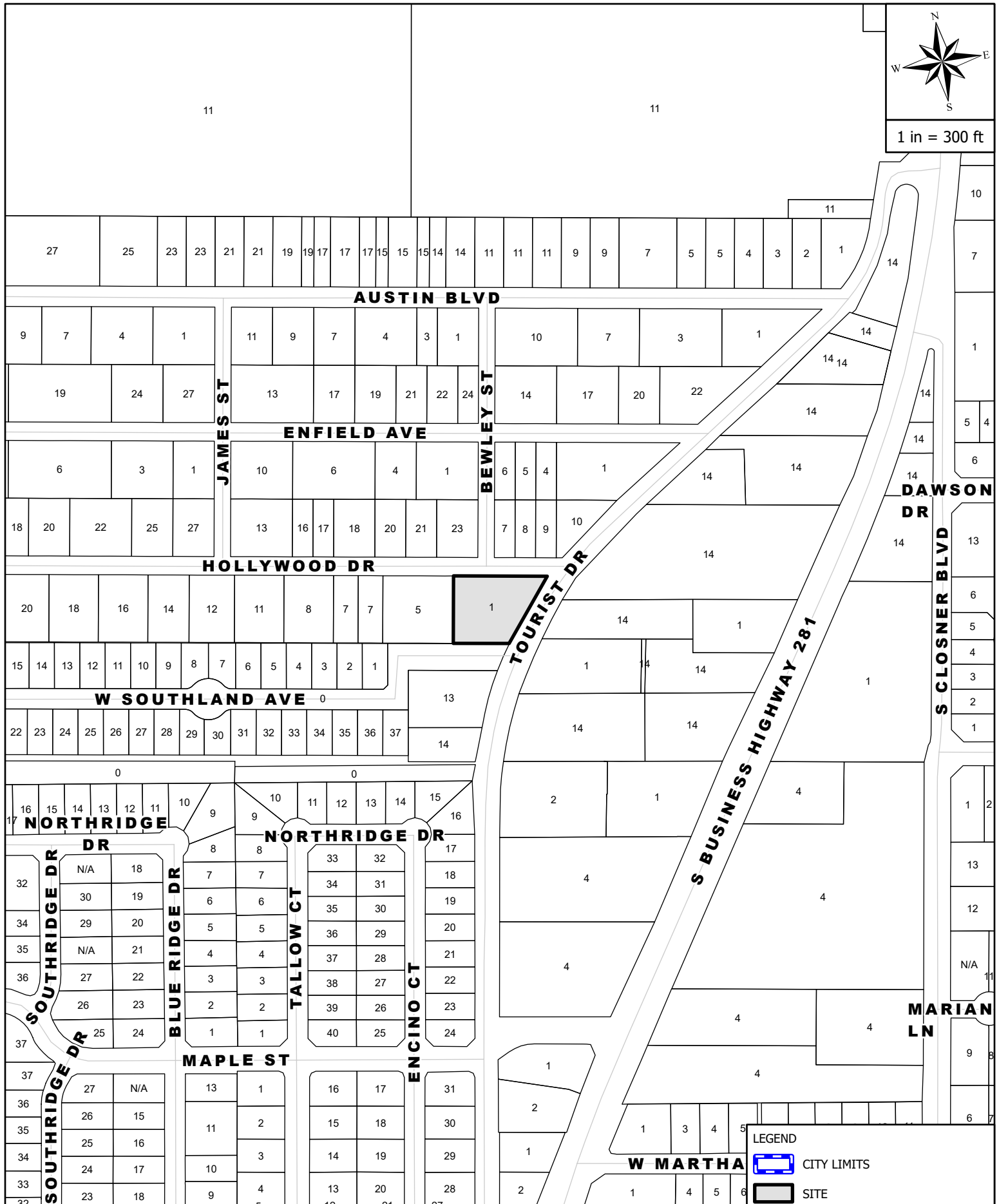
- CITY LIMITS
- SITE



**AERIAL MAP**  
198 W SOUTHLAND AVE



1 in = 300 ft



LEGEND

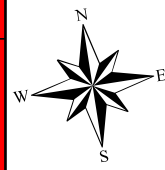
 CITY LIMITS

 SITE

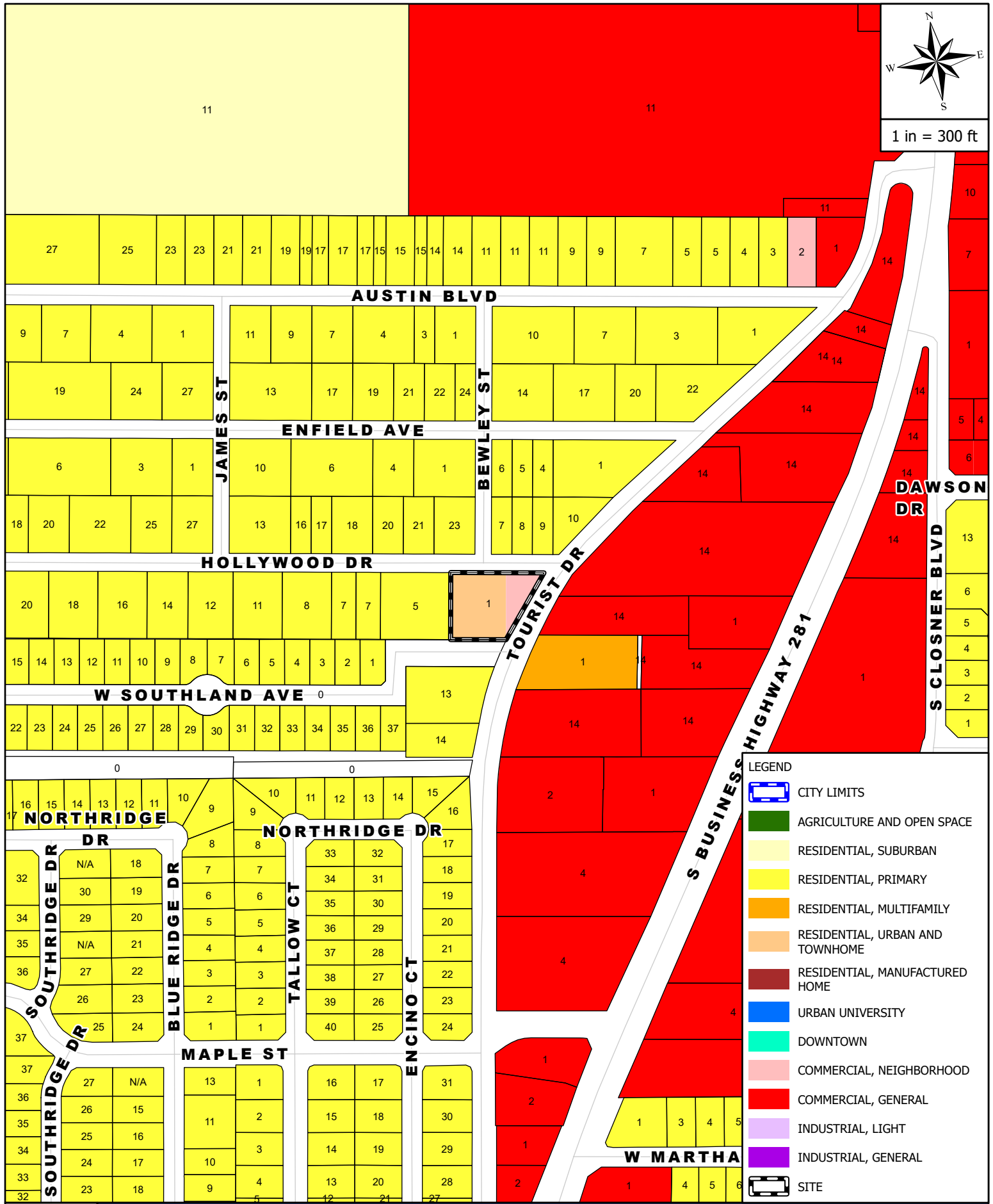


### MAILOUT AND SITE MAP

198 W SOUTHLAND AVE



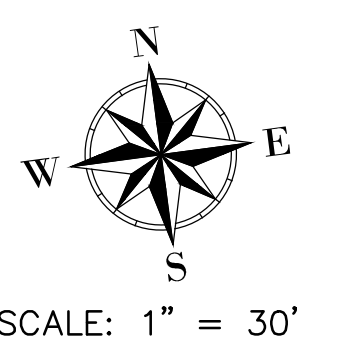
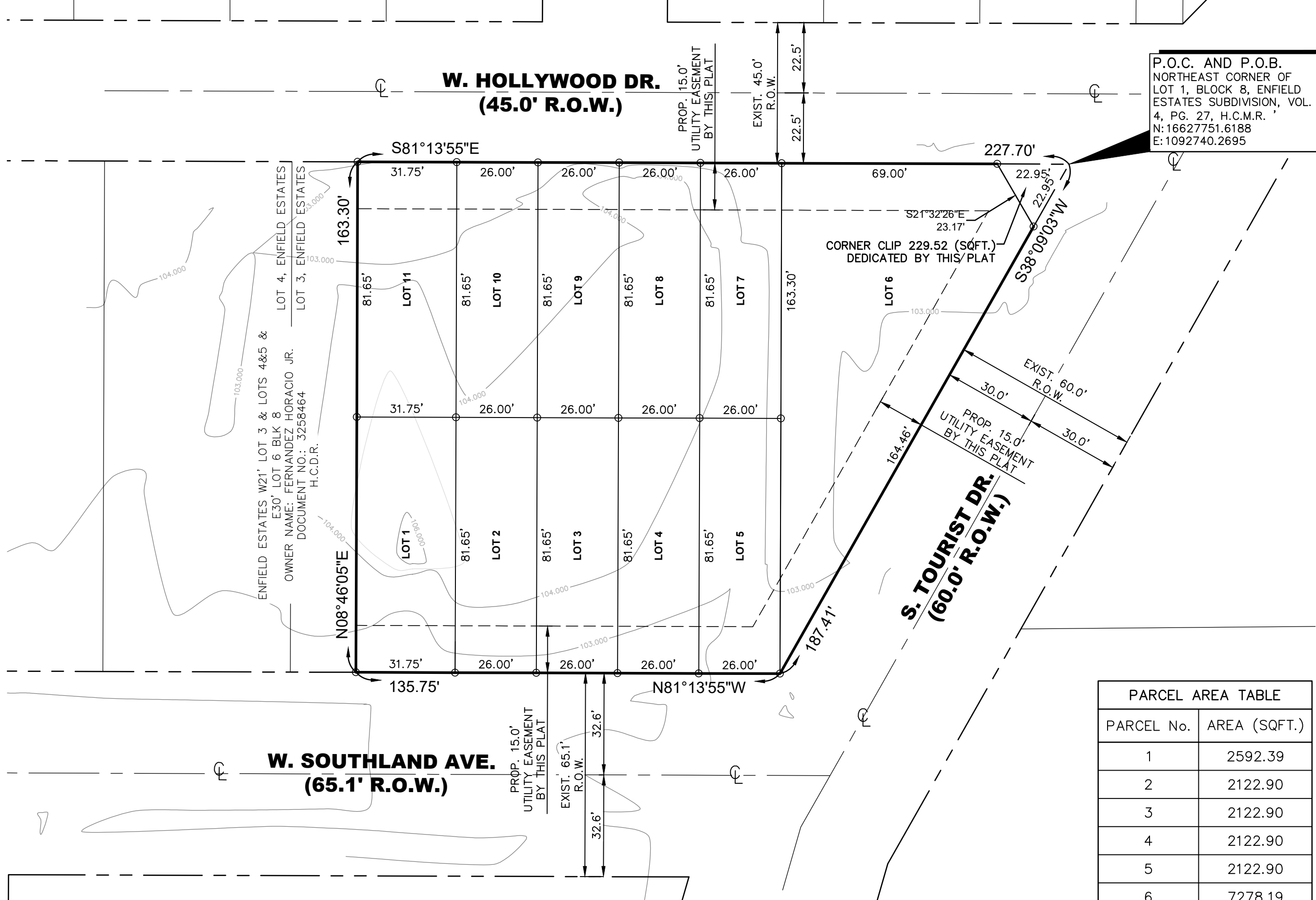
1 in = 300 ft



- LEGEND**
- CITY LIMITS
  - AGRICULTURE AND OPEN SPACE
  - RESIDENTIAL, SUBURBAN
  - RESIDENTIAL, PRIMARY
  - RESIDENTIAL, MULTIFAMILY
  - RESIDENTIAL, URBAN AND TOWNHOME
  - RESIDENTIAL, MANUFACTURED HOME
  - URBAN UNIVERSITY
  - DOWNTOWN
  - COMMERCIAL, NEIGHBORHOOD
  - COMMERCIAL, GENERAL
  - INDUSTRIAL, LIGHT
  - INDUSTRIAL, GENERAL
  - SITE



**ZONING MAP**  
198 W SOUTHLAND AVE



LEGEND	
●	- FND. 1/2" IRON ROD
○	- SET 1/2" IRON ROD W/CAP STAMPED "SAMES"
⊕	- ON-SITE BENCHMARK
○	- CENTER LINE
—	- LOT LINE
—	- H.C.M.R. - HIDALGO COUNTY MAP RECORDS
○	- P.O.C. - POINT OF COMMENCEMENT
○	- P.O.B. - POINT OF BEGINNING
—	- EXIST. - EXISTING
—	- PROP. - PROPOSED
—	- R.O.W. - RIGHT OF WAY
—	- FND. - FOUND
—	- SF - SQUARE FEET
—	- VOL. - VOLUME
—	- PG. - PAGE
—	- D.B.T.P. - DEDICATED BY THIS PLAT
—	- U.E. - UTILITY EASEMENT

**SURVEY NOTES:**  
 1. BEARINGS SHOWN ARE BASED ON SOUTH RIGHT OF WAY OF HOLLYWOOD DRIVE, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 4, PAGE 27, MAP RECORDS OF HIDALGO COUNTY, TEXAS.  
 2. ALL COORDINATES, BEARINGS, AND DISTANCES ARE BASED ON THE TEXAS COORDINATE SYSTEM, (NAD 83), TEXAS STATE PLANES, SOUTH ZONE, US SURVEY FEET, GRID, BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE BASED ON RECORDED DOCUMENT.  
 3. ALL HORIZONTAL CONTROL ON THIS PROJECT WAS ESTABLISHED UTILIZING RTK GPS METHODS.

**GENERAL NOTES:**  
 1. NO PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN UTILITY EASEMENTS, GAS EASEMENTS, IRRIGATION EASEMENTS OR LOT LINES.  
 2. SETBACK AS PER CITY OF EDINBURG ORDINANCE FOR ZONE CLASSIFICATION LOTS 1-5 AND 7-11 ARE RESIDENTIAL URBAN AND TOWNHOME DISTRICT.  
 FRONT SETBACK: 10.00 FT  
 SIDE SETBACK: 0/0 FT  
 REAR SETBACK: 10.00 FT  
 GARAGE: 18.00 FT  
 OR EASEMENT; WHICHEVER IS GREATER FOR ALL CASES.  
 COMMERCIAL NEIGHBORHOOD ZONE FOR LOT 6 REFER TO TABLE 3.202-2 LOT AREA: 10,000 SF. WIDTH 50 FT. AND MAXIMUM HEIGHT 35 FT.  
 FRONT SETBACK: 25.00 FT. ALONG S. TOURIST DR.  
 FRONT SETBACK: 15.00 FT. ALONG W. HOLLYWOOD DR  
 SIDE SETBACK: 5.00 FT.  
 REAR SETBACK: 10.00 FT.  
 OR EASEMENT; WHICHEVER IS GREATER FOR ALL CASES.  
 3. FLOOD INSURANCE RATING:  
 COMMUNITY PANEL NUMBER 480338 0030 E,  
 REVISED JUNE 6, 2000,  
 FLOOD ZONE DESIGNATION: "ZONE X" (UNSHADED)- IS DESCRIBED TO BE AREAS OUTSIDE OF THE 500-YEAR FLOOD-PLAIN

PARCEL AREA TABLE	
PARCEL No.	AREA (SQFT.)
1	2592.39
2	2122.90
3	2122.90
4	2122.90
5	2122.90
6	7278.19
7	2122.90
8	2122.90
9	2122.90
10	2122.90
11	2592.39

**APPROVED BY DRAINAGE DISTRICT:**  
 HIDALGO COUNTY DRAINAGE DISTRICT No. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.  
 HIDALGO COUNTY DRAINAGE DISTRICT No. 1

RAUL E. SESIN, P.E. DATE  
 GENERAL MANAGER

**STATE OF TEXAS COUNTY OF HIDALGO**  
 I, ELISEO GARZA JR. AND JUDITH MICHELLE BENAVIDES, THE UNDERSIGNED OWNERS OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS **THE TOWNHOMES AT EBONY** DO HEREBY GRANT AN EASEMENT TO THE CITY OF EDINBURG AND THOSE WHO MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY, THE STREETS, STREET LIGHTS, TRAFFIC CONTROL DEVICES, SIDEWALKS AND OTHER IMPROVEMENTS SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION WITHIN THE SUBDIVISION. THE STREETS SHALL ALWAYS BE OPEN TO EMERGENCY VEHICLES, PUBLIC AND PRIVATE UTILITY SERVICE PERSONNEL, THE U.S. POSTAL SERVICE AND GOVERNMENTAL EMPLOYEES IN PURSUIT OF THEIR OFFICIAL DUTIES.

THE STREETS, AS REFLECTED UPON THE SUBDIVISION PLAT, HAVE NOT BEEN DEDICATED TO THE PUBLIC FOR PUBLIC ACCESS NOR HAVE BEEN ACCEPTED BY THE CITY AS PUBLIC IMPROVEMENTS, AND THE STREETS, STREET LIGHTS, TRAFFIC CONTROL DEVICES, SIDEWALKS AND OTHER IMPROVEMENTS SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION WITHIN THE SUBDIVISION. THE STREETS SHALL ALWAYS BE OPEN TO EMERGENCY VEHICLES, PUBLIC AND PRIVATE UTILITY SERVICE PERSONNEL, THE U.S. POSTAL SERVICE AND GOVERNMENTAL EMPLOYEES IN PURSUIT OF THEIR OFFICIAL DUTIES.  
 THE OWNERS OF LOTS SERVED BY THE PRIVATE STREETS, ALLEYS, AND ACCESS EASEMENTS WITHIN THIS PLAT AGREE TO RELEASE, INDEMNIFY, DEFEND AND HOLD HARMLESS ANY GOVERNMENTAL ENTITY FOR DAMAGES TO THE PRIVATE STREETS, ALLEYS, AND ACCESS EASEMENTS OCCASIONED BY THE REASONABLE USE THEREOF BY THE GOVERNMENT ENTITY FOR GOVERNMENTAL PURPOSES, AND TO RELEASE, INDEMNIFY, DEFEND AND HOLD HARMLESS ANY GOVERNMENTAL ENTITY FOR DAMAGES ARISING FROM THE CONDITION OF THE PRIVATE STREETS, ALLEYS, OR PRIVATE ACCESS EASEMENTS. THE MAINTENANCE OF PRIVATE STREET SIGNS SHALL NOT BE THE RESPONSIBILITY OF THE CITY OF EDINBURG.

OWNER: ELISEO GARZA JR.  
 ADDRESS: 1111 S. 15TH AVE. EDINBURG, TEXAS 78539

OWNER: JUDITH MICHELLE BENAVIDES  
 ADDRESS: 1111 S. 15TH AVE. EDINBURG, TEXAS 78539

**STATE OF TEXAS COUNTY OF HIDALGO**  
 BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ELISEO GARZA JR. AND JUDITH MICHELLE BENAVIDES, KNOWN TO ME TO BE THE PERSONS WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN STATED.  
 GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS  
 MY COMMISSION EXPIRES:

**STATE OF TEXAS HIDALGO COUNTY IRRIGATION DISTRICT No. 1**  
 THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT No. 1 ON THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT No. 2 RIGHTS-OF-WAY OR EASEMENTS.

ATTEST:  
 PRESIDENT SECRETARY

**STATE OF TEXAS COUNTY OF HIDALGO**  
 I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.  
 I CERTIFY THAT THE WATER AND SEWER SERVICE FACILITIES FOR LOTS INTENDED FOR COMMERCIAL PURPOSES DESCRIBED ABOVE ARE IN COMPLIANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 16.343, WATER CODE. THE ESTIMATED COST TO INSTALL UNCONSTRUCTED WATER AND SEWAGE FACILITIES DESCRIBED ABOVE ARE AS FOLLOWS: WATER FACILITIES: THESE FACILITIES WILL BE CONSTRUCTED.  
 DATED THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

SAUL D. MALDONADO, PE  
 NO. 100320, STATE OF TEXAS

**STATE OF TEXAS COUNTY OF HIDALGO**  
 I, SAMUEL D. MALDONADO, REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OR OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF EDINBURG, TEXAS.  
 DATED THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

SAMUEL D. MALDONADO, RPLS  
 NO. 6027, STATE OF TEXAS

**PRINCIPAL CONTACTS:**

NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER: ELISEO GARZA JR. / JUDITH MICHELLE BENAVIDES	1111 S. 15TH AVE.	EDINBURG, TEXAS 78539		
ENGINEER: SAUL D. MALDONADO, PE	200 S. 10TH ST, SUITE 108	McALLEN, TEXAS 78501	(956) 702-8880	(956) 702-8883
SURVEYOR: SAMUEL D. MALDONADO, RPLS	200 S. 10TH ST, SUITE 108	McALLEN, TEXAS 78501	(956) 702-8880	(956) 702-8883

**STATE OF TEXAS COUNTY OF HIDALGO**  
 I, THE UNDERSIGNED, CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT KNOWN AS **THE TOWNHOMES AT EBONY** CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED AND HAS BEEN APPROVED FOR RECORDING  
 ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
 CHAIRPERSON, PLANNING AND ZONING COMMISSION

**PRELIMINARY PLAT SUBMITTAL FOR REVIEW ONLY 6/18/2026 THIS DOCUMENT SHALL NOT BE RELIED ON FOR RECORDING OR ANY OTHER INTENDED USE**

FILED FOR RECORD IN HIDALGO COUNTY ARTURO GUJARDO JR. HIDALGO COUNTY CLERK  
 ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM.  
 INSTRUMENT NUMBER \_\_\_\_\_ OF MAP RECORD OF HIDALGO COUNTY TEXAS.  
 BY: \_\_\_\_\_ DEPUTY.



LOCATION MAP SCALE: 1"=1000'

# THE TOWNHOMES AT EBONY

A 0.68 (29,675.6925 SQ FT) ACRE TRACT OF LAND OUT OF LOT 1, LOT 2 AND THE EAST 39 FEET OF LOT 3, BLOCK 8, ENFIELD ESTATES SUBDIVISION, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 4, PAGE 27, DEED RECORDS OF HIDALGO COUNTY, TEXAS.

## METES AND BOUNDS

BEING A 0.68 (29,675.6925 SQ FT) ACRE TRACT OF LAND OUT OF LOT 1, LOT 2, AND THE EAST 39 FEET, BLOCK 8, ENFIELD ESTATES SUBDIVISION, AS CONVEYED TO ELISEO GARZA JR. AND JUDITH MICHELLE BENAVIDES, AS SHOWN IN DOCUMENT NUMBER 3504973, DEED RECORDS, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 4, PAGE 27, DEED RECORDS OF HIDALGO COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS, AS FOLLOWS:  
 BEGINNING; AT THE NORTHEAST CORNER OF LOT 1, BLOCK 8, ENFIELD ESTATES SUBDIVISION, AS RECORDED IN VOLUME 4, PG. 27, HIDALGO COUNTY MAP RECORDS, SAID POINT BEING AT THE INTERSECTION OF W. HOLLYWOOD DRIVE AND S. TOURIST DRIVE, FOR THE POINT OF BEGINNING, HAVING A GRID COORDINATE OF N:16627757.6188', E:1092740.2695';

THENCE; CONTINUING SOUTH 38°09'03" WEST, ALONG THE SOUTH LINE OF SAID LOT 1, BLOCK 8 OF SAID SUBDIVISION ALSO BEING THE NORTH RIGHT OF WAY LINE OF W. S. TOURIST DR. A DISTANCE OF 187.41 FEET, TO A SET 1/2" IRON ROD WITH A PLASTIC CAP STAMPED "SAMES", FOR THE SOUTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT OF LAND;

THENCE; NORTH 81°13'55" WEST, ALONG THE SOUTH LINE OF BLOCK 8 OF SAID SUBDIVISION ALSO BEING THE NORTH RIGHT OF WAY OF W. SOUTHLAND AVE. A DISTANCE OF 135.75 FEET, TO A SET 1/2" IRON ROD WITH A PLASTIC CAP STAMPED "SAMES", FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT OF LAND;

THENCE; NORTH 08°46'05" EAST, PARALLEL TO THE EAST LINE OF LOT 3, BLOCK 8, OF SAID ENFIELD ESTATES SUBDIVISION, A DISTANCE OF 163.30 FEET, TO A SET 1/2" IRON ROD WITH A PLASTIC CAP STAMPED "SAMES", LYING ON THE SOUTH RIGHT OF WAY OF W. HOLLYWOOD DR. ALSO BEING THE NORTH LINE OF BLOCK 8 OF SAID SUBDIVISION, FOR THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT OF LAND;

THENCE; SOUTH 81°13'55" EAST, ALONG THE SOUTH RIGHT OF WAY OF SAID W. HOLLYWOOD DR. ALSO BEING THE NORTH LINE OF BLOCK 8 OF SAID SUBDIVISION, A DISTANCE OF 227.70 FEET, TO THE POINT OF BEGINNING, CONTAINING A 0.68 (29,675.6925 SQ FT) ACRE TRACT OF LAND MORE OR LESS.

**SAMES** 4943 S. JACKSON RD. STE.101 TEL. (956) 702-8880  
 EDINBURG, TEXAS 78589 FAX: (956) 702-8883  
 TEX. REG. ENGINEERING FIRM F-10602  
 TEX. REG. SURVEYING FIRM No. 101416-00

**STAFF REPORT: ALBERTA PARK SUBDIVISION**

Date Prepared: June 26, 2026  
Planning and Zoning Meeting: July 9, 2026  
Preliminary Plat Approval

---

**Subject:** Consider the Preliminary Plat Approval of Alberta Park Subdivision, being the East one half (E ½) of the West one half (W ½) of Lots Two (2), Four (4), Six (6), and Eight (8) Fife’s Resubdivision of Lots in Block 51, Alamo Land and Sugar Company’s of Land Porcion 72, Los Torritos, Santa Ana and El Gato Grant’s, Hidalgo County, Texas, Located at 3399 E. Alberta Road, as Requested by Barrera Infrastructure Group, LLC.

**Location:** The property is located on the north side of E. Alberta Road and approximately 3,200 feet east of S. Raul Longoria Road, and within the City of Edinburg City’s Extra-Territorial Jurisdiction (ETJ).

**Zoning:** Extra-Territorial Jursidiction (ETJ); Not Applicable

**Analysis:** The Preliminary Plat development consists of 15 Single-Family residential lots averaging approximately from 22,176.00 to 25,592.50 square feet.

**Utilities:** North Alamo Water Supply Corporation will provide Water Distribution Supply System and On-Site Sewage Facilities will cover the Sanitary Sewer Collection System. All utility improvements within the proposed subdivision that are not limited to water system, sewer system, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2021 Standards Manual.

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**Recommendations:**

**City of Edinburg Planning & Zoning Department:**

Staff recommends approval of the Preliminary Plat, subject to compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.



# SUBMITTAL SUMMARY REPORT (PLAT-2026-0384) FOR THE CITY OF EDINBURG

<b>PERMIT ADDRESS:</b> 3399 E ALBERTA Edinburg, TX 78542	<b>PARCEL:</b> F3150-00-000-0002-01	
<b>APPLICATION DATE:</b> 05/18/2026	<b>SQUARE FEET:</b> 0	<b>DESCRIPTION:</b> ALBERTA PARK SUBD - A 10.00 ACRE TRACT OF LAND, MORE OR LESS, BEING THE EAST ONE HALF OF THE WEST ONE HALF OF LOTS TWO, FOUR, SIX, AND EIGHT FIFE'S RESUBDIVISION OF LOTS IN BLOCK FIFTY ONE, ALAMO LAND AND SUGAR COMPANY;S OF LAND PORTION 72, LOS TORRITOS, SANTA ANA AND EL GATO GRANT'S, HIDALGO COUNTY TEXAS
<b>EXPIRATION DATE:</b> 11/14/2026	<b>VALUATION:</b> \$0.00	

CONTACTS	NAME	COMPANY	ADDRESS
Applicant	RENE BARRERA	BARRERA INFRASTRUCTURE GROUP INC.	3525 W FREDDY GONZALEZ ste B2 Edinburg, TX 78539
Authorized Agent	RENE BARRERA	BARRERA INFRASTRUCTURE GROUP INC.	3525 W FREDDY GONZALEZ ste B2 Edinburg, TX 78539
Owner	Mauricio Martinez	316 Investments LP	5406 E Curve RD Edinburg, TX 78542

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
Planning & Zoning Review (PZ, Eng, Fire, Util, SW) v.1	06/04/2026	06/17/2026		Approved
Planning & Zoning Review (PZ, Eng, Fire, Util, SW) v.1				Not Received

## SUBMITTAL DETAILS

### Planning & Zoning Review (PZ, Eng, Fire, Util, SW) v.1

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Engineering (Engineering)	Reyna Martinez	06/17/2026	06/19/2026	Complete
<i>Comments</i>	See attachment			
Fire (Fire)	Anthony Riojas	06/17/2026	06/17/2026	Complete
<i>Comments</i>	GENERAL COMMENTS: 1. STREET DETAILS: Shall meet IFC 2018, UDC 2022, and COESM 2021 (i.e. street name, width, block length, cul-de-sac r=96ft minimum) 2. PROPERTY DIMENSIONS: Shall meet IFC 2018 and UDC 2022 (i.e. building separation, property line setbacks, lot width and length details) 3. BUILDING SEPARATION: Shall meet IFC/IBC 2018, UDC 2022, and COESM 2021 (i.e. building separation, lot standards, access roads, fire rating) 4. WATER DISTRIBUTION: Need to provide minimum 8-inch looped waterlines for distribution systems serving fire hydrants. Shall meet UDC 2022 and COESM 2021 standards. 5. FIRE PROTECTION FEATURE SITE PLAN: Shall meet IFC 2018 and UDC 2022 (i.e. FDC, hydrant, fire department access road, and dedicated fire protection water line locations/details) 6. CUL-DE-SAC: Need to provide r = 96ft cul-de-sac radius for fire department access road(s) and shall meet IFC 2018 reequipments 7. FIRE HYDRANTS - RESIDENTIAL: Need to provide fire hydrant(s); shall begin installation nearest the subdivisions main entrance and shall be spaced out every 600'; shall be installed in-between lot lines. Shall meet IFC 2018/UDC 2022/EOCSM 2021 (i.e. Minimum 1000gpm @30psi, looped 8-inch waterline, spacing at 600ft based on designated zoning district, 30-inch setbacks) 8. FIRE HYDRANT MARKING: Need to provide fire hydrant markings: 15ft red fire lane (white lettering "NO PARKING FIRE LANE") and blue reflective street markers (installed on roadway centerline). 9. BUILDING PERMIT PHASE: Property will be subject to additional fire code requirements at Building Permit phase and will be based on occupancy classification(s). 10. PLAT NOTE REQUIREMENT: Pursuant to applicable fire safety regulations, the installation of additional fire hydrants, fire department access road(s), fire rated construction, and other fire protection equipment may be mandated during the Site Plan or Building Permit process.			
Planning & Zoning (Planning & Zoning)	Leonel Duran	06/17/2026	06/09/2026	Complete
<i>Comments</i>	Outside city limits			
Planning & Zoning (Planning & Zoning)	Juan Carlos Rodriguez	06/17/2026	06/19/2026	Complete
Public Works (Public Works)	David De La Fuente	06/17/2026	06/17/2026	Complete

# SUBMITTAL SUMMARY REPORT (PLAT-2026-0384)

<i>Comments</i>	SW3P, NOI, Large Construction Site Notice, Erosion Control Plan			
Solid Waste (Solid Waste)	Laura Olivarez	06/17/2026	06/04/2026	Complete
<i>Comments</i>	Submittal Requirement and Site Development Guidelines sent. (ET)			
Utilities (Utilities)	Alejandro Mercado	06/17/2026	06/05/2026	Approved
<i>Comments</i>	<p>The preliminary utility fees are as follows:</p> <ol style="list-style-type: none"> <li>1. Water Tap Fees -</li> <li>2. Sewer Fees -</li> <li>3. Water Rights -</li> <li>4. Transfer Fees -</li> </ol> <p>Please note that these fees are preliminary and are subject to change based on the final plat. Final fees must be requested from the City and must be paid prior to recording of the plat.</p> <p>Will submit comments to Engineering and Planning &amp; Zoning. The preliminary utility fees are as follows:</p> <ol style="list-style-type: none"> <li>1. Water Tap Fees - NAWSC</li> <li>2. Sewer Fees - NAWSC or Septic</li> <li>3. Water Rights - N/A</li> <li>4. Transfer Fees - N/A</li> </ol> <p>Please note that these fees are preliminary and are subject to change based on the final plat. Final fees must be requested from the City and must be paid prior to recording of the plat.</p> <p>Will submit comments to Engineering and Planning &amp; Zoning.</p>			
Utilities (Utilities)	Jose Guajardo	06/17/2026	06/09/2026	Complete
<i>Comments</i>	No Comments - NAWSC CCN Water and Sewer			





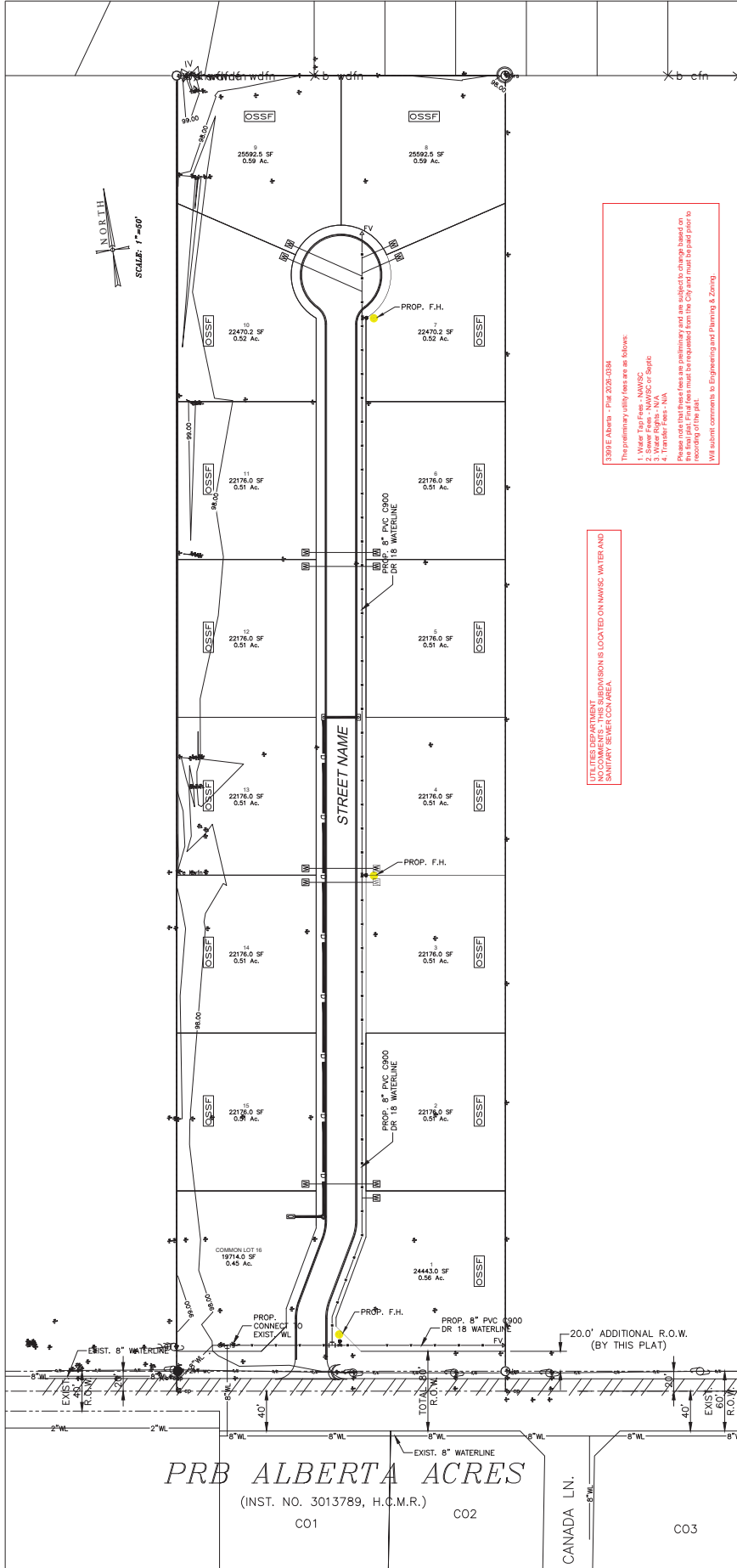
WATER AND SEWER SYSTEM LAYOUT

ALBERTA PARK SUBDIVISION HIDALGO COUNTY, TEXAS



PRB 5-4-26  
 R. B. Roberts  
 Licensed Professional Engineer # 86892

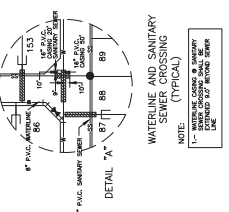
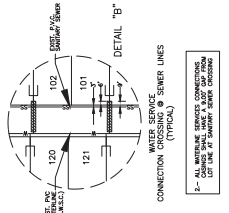
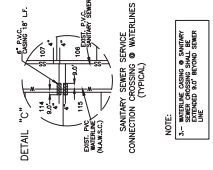
DATE	1"-=50'
DESIGNER	P. R. B.
CHECKED BY	E. E.
DATE	
PROJECT NO.	



**3391E Alberta - Plat 206-038**  
 The preliminary utility lines are as follows:  
 1. Water Tap from AMWSS  
 2. Water Tap from AMWSS  
 3. Water Tap from AMWSS  
 4. Transfer from AMWSS  
 The above utility lines are shown for informational purposes only. Final lines must be requested from the City and must be paid prior to recording of this plat.  
 We will submit comments to Engineering and Planning & Zoning.

**UTILITIES DEPARTMENT**  
 NO COMMENTS - THIS SUBDIVISION IS LOCATED ON AMWSS; WATER AND SANITARY SERVICE CONNECTION.

- GENERAL NOTES:**
1. ALL PROPOSED WATER LINES TO BE C-900 DR-18.
  2. ALL FIRE HYDRANTS SHALL BE MUELLER AND TO BE INSTALLED WITH VALVE & BOX AT 3.0' BEHIND THE CURB. HYDRANT SHALL BE 18" DIA. FLANGE ELEVATION 6" ABOVE TOP OF CURB.
  3. CONNECTION TO LOT.
  4. CONTRACTOR TO NOTIFY ALL UTILITY COMPANIES FOR CONSTRUCTION OF CONFLICTS PRIOR TO CONSTRUCTION ON SITE.
  5. REFER TO SUBDIVISION PLAT FOR LOT DIMENSIONS.
  6. ALL WATER SERVICE LINES CROSSING UNDER ROADWAY SHALL BE ENCASED WITH 2" PVC.
  7. ALL CONNECTIONS TO BE MET TAP.
  8. ALL BENDS WILL CONTAIN MANGROOKS.
  9. ALL CONSTRUCTION TO ADHERE TO CITY OF EDINBURG CONSTRUCTION STANDARDS.



**PRELIMINARY**  
 THIS DOCUMENT HAS BEEN RELEASED FOR REVIEW ONLY. BY THESE DATES: 5-4-26

PRB ALBERTA ACRES  
 (INST. NO. 3013789, H.C.M.R.)

CANADA LN.



PAVING & DRAINAGE  
SYSTEM LAYOUT

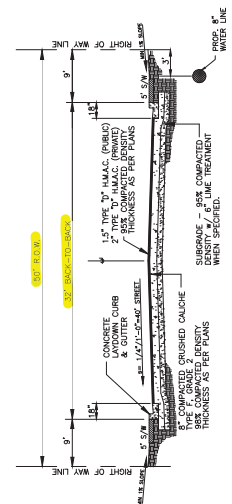
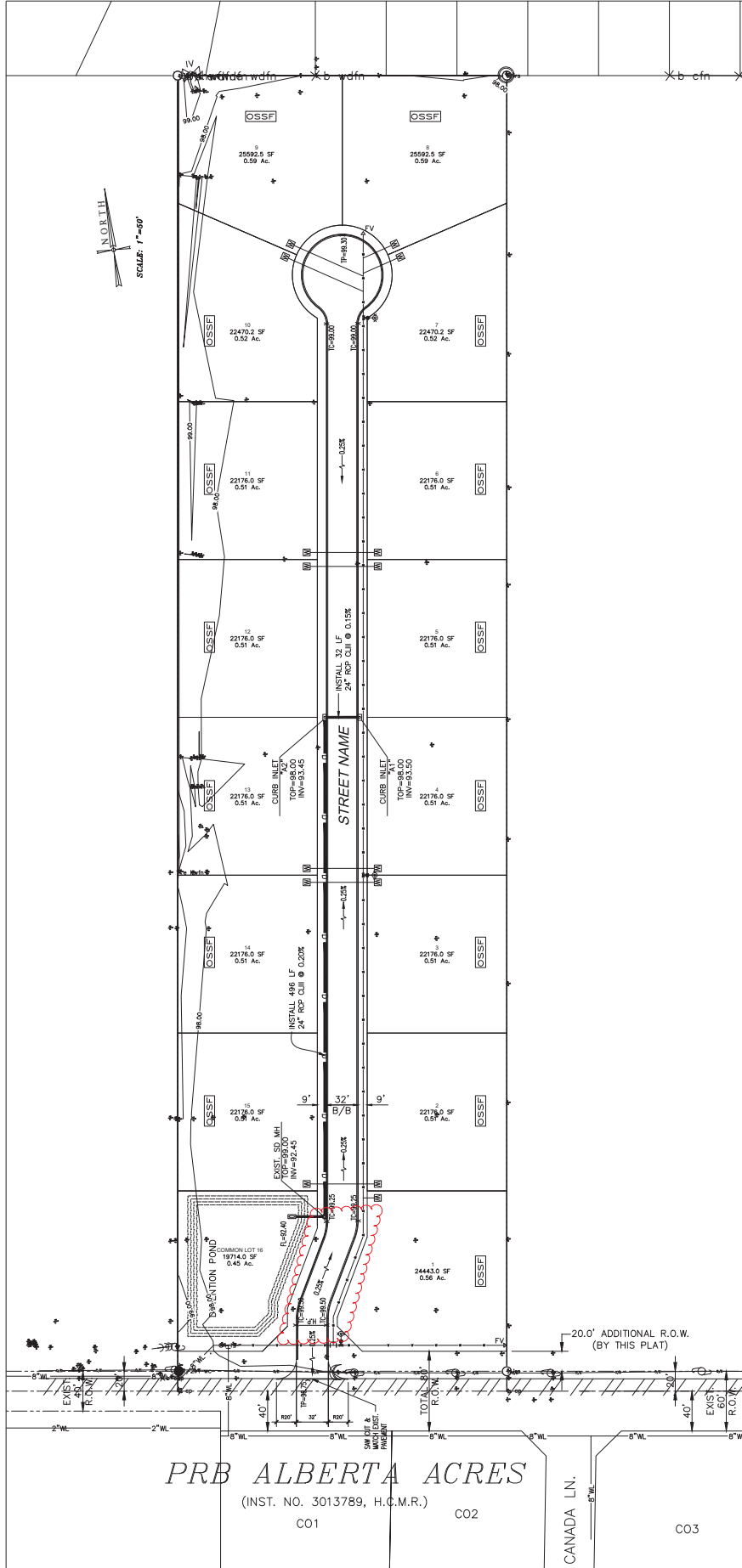
ALBERTA PARK SUBDIVISION  
HIDALGO COUNTY, TEXAS



PRB 5-4-26  
R. B. B.  
Professional Engineer # 86892

DATE	11-20-07
ISSUED FOR	R.B.
DESIGNED BY	E.S.
CHECKED BY	R.B.
PROJECT NO.	

Sheet 1 of 1



TYPICAL STREET CROSS SECTION

PRB ALBERTA ACRES  
(INST. NO. 3013789, H.C.M.R.)

C01

C02

CANADA LN.

C03

PRELIMINARY  
THIS DOCUMENT HAS BEEN  
RELEASED FOR REVIEW ONLY. BY  
THE ENGINEER'S FIRM NO. 86892.  
5-4-26

**DRAINAGE STATEMENT  
FOR  
ALBERTA PARK SUBDIVISION  
EDINBURG E.T.J., TEXAS**

*Prepared by*



ENGINEERING  
CONSULTING CIVIL ENGINEERS  
TEXAS FIRM NO: 6435

3525 WEST FREDDY GONZALEZ DR. STE B-2  
EDINBURG, TEXAS 78539  
Tel: 956-687-3355  
Fax: 956-992-8801



*R. Barrera* AE.  
3/14/26

**MAY 2026**

# **TABLE OF CONTENTS**

- I. PROJECT LOCATION**
- II. FLOOD PLAIN DESIGNATION**
- III. SOIL CONDITIONS**
- IV. EXISTING HYDRAULIC CONDITIONS**
- V. POST DEVELOPED HYDRAULIC CONDITIONS**

## **LIST OF EXHIBITS**

**EXHIBIT A – PROJECT LOCATION MAP**

**EXHIBIT B – DRAINAGE CALCULATIONS / RAINFALL INTENSITY DURATION**

**EXHIBIT C - CITY OF EDINBURG – 50-YEAR STORM WATER DETENTION  
REQUIREMENTS**

**EXHIBIT D – FEMA FLOOD INSURANCE RATE MAP**

**EXHIBIT E – USGS TOPOGRAPHIC MAP**

**EXHIBIT F – HIDALGO COUNTY SOIL RESOURCE REPORT**

**EXHIBIT G – ALBERTA PARK SUBDIVISION PLAT & PLANS**

# **DRAINAGE STATEMENT FOR ALBERTA PARK SUBDIVISION**

## **I. PROJECT LOCATION**

The Alberta Park Subdivision development is a 10.0 gross acre (9.70 net acre), 16 Lot Single-Family Residential Subdivision out of the East one half (½) of the West one half (½) of Lots Two (2), Four (4), Six (6) and Eight (8) Fife's Resubdivision of Lots in Block Fifty One (51), Alamo Land and Sugar Company's of Land Porcion 72, Los Torritos, Santa Ana and El Gato Grant's, Hidalgo County, Texas as per map or plat thereof on file and recorded in Volume 1, Page 24, Map Records of Hidalgo County, Texas. The property is located within the Edinburg Two Mile Extra Territorial Jurisdiction, approximately 3,500 (2/3 mile) East of South Raul Longoria Road (FM 1426), along the north right of way of Alberta Road, Edinburg, Texas. (Refer to Exhibit A, Project Location Map).

## **II. FLOOD PLAIN**

The subject tract lies in "Zone B", areas determined to be outside of the 100-year flood plain in accordance with F.E.M.A.-F.I.R.M. Community Panel No. 480334-0425 C, Map Revised November 16, 1982.

## **III. SOIL CONDITIONS**

A review of the Soil survey of Hidalgo County (Refer to Exhibit E, Soil Survey of Hidalgo County Texas) indicates the subject tract lies (100%) in the (28) Hidalgo Sandy Clay Loam, 0 to 1 percent slopes. This soil has a 17-inch-thick layer of dark, grayish brown sandy clay loam with the following layer being a 17-28-inch-thick brown sandy clay loam. The Hidalgo Sandy Clay Loams have a medium potential for urban uses, with the main limitations being the shrink-swell potential. Theses soils are listed in Hydrologic Group "B".

## **IV. EXISTING HYDRAULIC CONDITIONS**

The subject tract is undeveloped farmland. Topographic elevations obtained from the site indicate that the existing terrain is relatively flat with grades ranging from 97.8 (North) to 97.5 (south) based on the 1988 NGVD. Existing runoff from the subject site is by form of sheet runoff flowing south via sheet flow and drains into an existing type c-c grate inlet located within the north right of way roadside ditch approximately 100 feet to the west of the property. From this point, the stormwater discharges into the Hidalgo County Irrigation District No. 2 - Alamo Main Irrigation Canal. In accordance with the Drainage policies of the City of Edinburg and the County of Hidalgo, the Modified Rationale Method (Kerby-Hathaway Equation) was utilized to calculate the existing 10-year frequency storm event. The total contributing 10-year existing storm water runoff of from this site is approximately **6.75 cfs.** (Refer to Exhibit B, Drainage Calculations)

## V. POST DEVELOPED HYDRAULIC CONDITIONS

The proposed conditions for this subject tract will consist of a 16 - lot Large Lot Single – Family Residential Subdivision with one lot as a common area detention pond. Development in the form of impervious pavement and residences will increase the ultimate storm water runoff. The City of Edinburg will mandate an engineered detention pond to satisfy the requirements presented in this report. In accordance with the City of Edinburg and County of Hidalgo Drainage Policy, the Modified Rationale Method, 50-year frequency storm event was utilized to determine the proposed storm water runoff for this site. The total developed runoff for this subdivision is **25.16 cfs**. (*Refer to Exhibit B, Drainage Calculations*).

In accordance with the City of Edinburg and County of Hidalgo Drainage Policy, the peak rate for runoff for this development will be mitigated to the existing 10-year storm water runoff. A total of **32,366** cubic-feet (Kerby-Hathaway Method) will be required to be detained within a privately maintained detention pond to be approved prior to plat recordation.

The developer shall be responsible for detaining and accommodating more than the detained volume of 32,366 cubic feet if it is determined, at the permit stage, that the detention requirements are greater than stated on this report and the recorded plat of Alberta Park Subdivision, due to the impervious area being greater than was considered on the approved drainage report. (*Refer to Exhibit C, Detention Storage Requirements*).



*R.B.* P.E. 5/14/26

Rene Barrera, P.E.

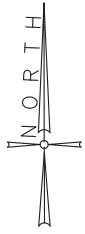
Date

*TxFirm No: 6435*

**EXHIBIT A**  
**PROJECT LOCATION MAP**

# LOCATION MAP FOR ALBERTA PARK SUBDIVISION

Scale: 1"=1000'

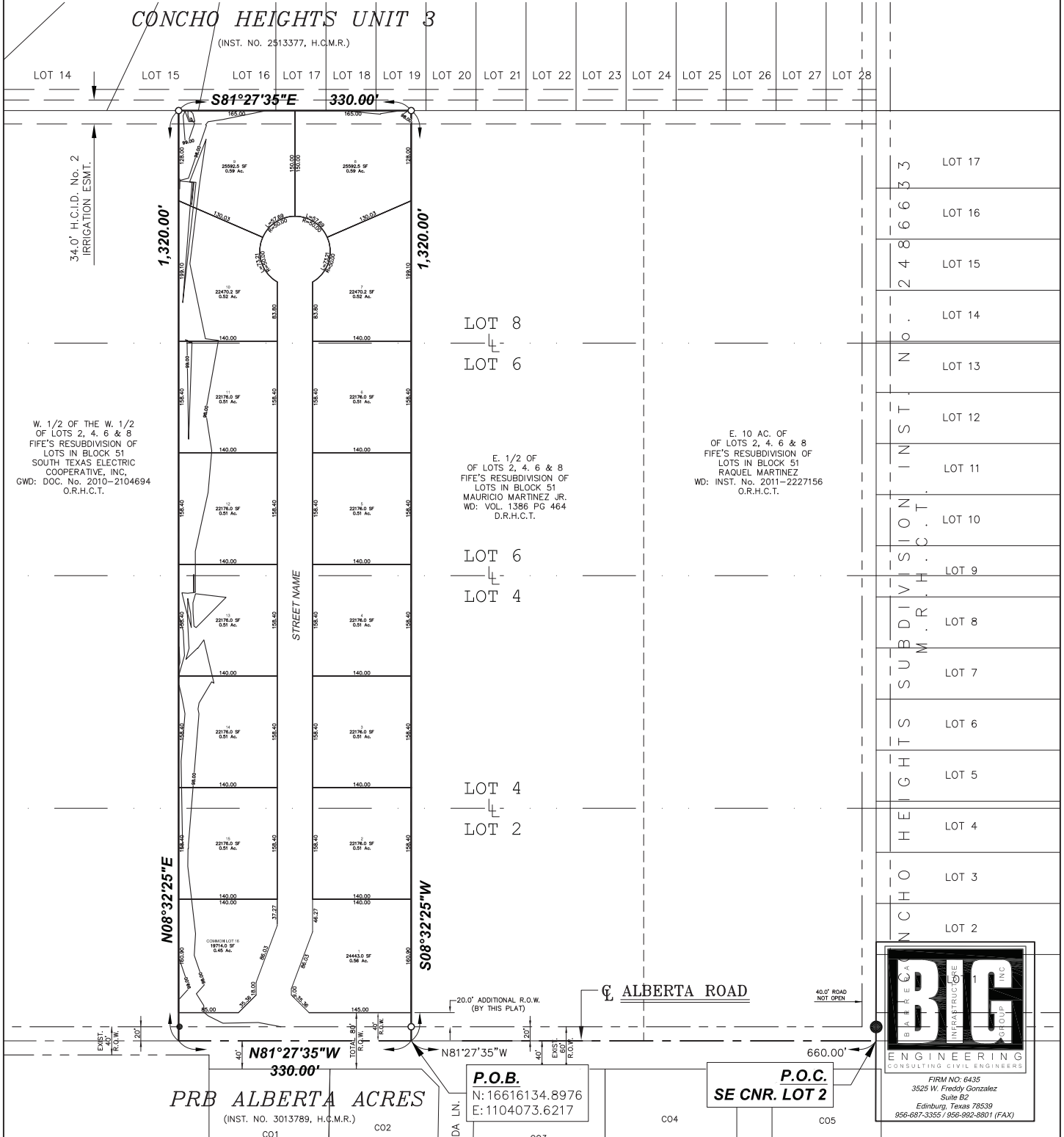


PLAT OF  
**ALBERTA PARK**  
SUBDIVISION

A 10.00 ACRE TRACT OF LAND, MORE OR LESS,  
BEING THE EAST ONE HALF (E 1/2) OF THE WEST ONE HALF (W 1/2) OF LOTS TWO (2),  
FOUR (4), SIX (6), AND EIGHT (8) FIVE'S RESUBDIVISION OF LOTS IN BLOCK FIFTY ONE (51),  
ALAMO LAND AND SUGAR COMPANY'S LAND PORCION 72, LOS TORRITOS, SANTA ANA AND  
EL GATO GRANT'S, HIDALGO COUNTY TEXAS AS PER MAP OR PLAT THEREOF ON FILE AND OF  
RECORD IN/UNDER VOLUME 1, PAGE 24, OF THE PLAT RECORDS OF HIDALGO COUNTY CLERK  
OF HIDALGO COUNTY, TEXAS.



Scale: 1"=200'



**EXHIBIT B**

**DRAINAGE CALCULATIONS / RAINFALL INTENSITY DURATION**

UPDATE TO REFLECT COE IDF COEFFICIENTS AS SHOWN ON STANDARDS MANUAL

Modified Rational Method

NRCS Velocity Method

Area (A)	9.70	acres	
Length (L)	1322	ft	
Slope (Sp)	0.50	%	existing
	0.50	%	proposed
tc	44.60	min	existing
	15.35	min	proposed
"C" Value	0.20		existing
	0.33		proposed
Q	7.60	cfs	existing
	28.83	cfs	proposed

Peak flows (Q):  $Q = CiA$   
 Intensity (i):  $i = b/(tc+d)^e$   
 Time of concentration (tc):  $tc = L/60V$   
**NRCS Velocity Method** Minimum 10 min.  
 Average velocity (V):  $V = Kk(Sp\%)^{0.5}$   
 k value for short grass pasture (overland flow): 0.213  
 k value for paved area (shallow concentrated flow): 0.619  
 Ku constant: 3.28

Recurrence Interval (Years)	IDF Coefficients (2004)			
	e	B	d	i (in/hr)
2	0.831	74	9.6	2.681
5	0.795	80	9.2	3.366
10	0.778	87	9.2	3.917
25	0.771	98	9.2	4.537
50	0.749	99	9.2	5.004
100	0.740	103	9.6	5.366

Pre-develop V (ft/s): 0.4940  
 Post-develop V (ft/s): 1.4357

Prop. 50yr (in/hr): 8.36

\* MIN. REQ'D DETENTION = 32,366 CF

R. Barrera P.E. 5/14/26

NRCS Velocity Method 30906 Detention required (cf)  
 0.71 Ac-ft

\* Kerby-Hathaway Equation 32366 Detention required (cf)  
 0.74 Ac-ft \*

FAA Equation 30114 Detention required (cf)  
 0.69 Ac-ft



Kerby-Hathaway Equation

Tc	53.44	min	existing
	20.23	min	proposed
i	3.48		existing
	7.86		proposed
n	0.40		existing
	0.05		proposed
Q	6.75	cfs	existing *
	25.16	cfs	proposed *

Kerby Equation Retardance Coefficient Values	
Generalized terrain description	Dimensionless retardance coefficient (n)
Pavement	0.02
Smooth, bare, packed soil	0.10
Poor grass, cultivated row crops, or moderately rough packed surfaces	0.20
Pasture, average grass	0.40
Deciduous forest	0.60
Dense grass, coniferous forest, or deciduous forest with deep litter	0.80

$$t = [0.67nL/(S^{1/2})]^{0.467}$$

L = length of flow path in ft  
 S = surface slope in ft/ft  
 n = overland flow resistance factor

FAA Equation

Tc	74.04	min	existing
	63.35	min	proposed
i	2.79		existing
	4.00		proposed
Q	5.41	cfs	existing
	12.80	cfs	proposed

ts:  $t = 1.8(1.1 - C)L^{0.5}/S^{0.33}$

L = length of flow path in ft  
 S = surface slope i %  
 C = Rational Method runoff coefficient

WEIGHTED "C" VALUE (POST DEVELOPMENT CONDITIONS) - ALBERTA PARK				
TYPE OF DRAINAGE AREA	"C" Value	Area (sf)	Area (AC)	Partial "C"
<b>RESIDENTIAL</b>				
Single Family (Lots less than 1/4 acre)	0.35		0.00	0.00
Single Family (Lots 1/4 to 1/2 acre)	0.30	342,328	7.86	2.36
Single Family (Lots greater than 1/2 acre)	0.25		0.00	0.00
Multi-Family (Less than 20 DU / AC)	0.45		0.00	0.00
Multi-Family (Greater than 20 DU / AC)	0.55		0.00	0.00
<b>BUSINESS DISTRICTS</b>				
Business District	0.70		0.00	0.00
<b>INDUSTRIAL</b>				
Light Industrial	0.50		0.00	0.00
Heavy Industrial	0.60		0.00	0.00
Railroad Yard Areas	0.20		0.00	0.00
<b>PARKS</b>				
Parks, Cemeteries	0.10		0.00	0.00
<b>UNIMPROVED AREAS</b>				
Bare Surface	0.30		0.00	0.00
Grassland	0.25	24,518	0.56	0.14
Cultivated	0.20		0.00	0.00
Woodlands	0.15		0.00	0.00
<b>INTERNAL STREETS</b>				
Asphalt (Internal Streets)	0.70	35,840	0.82	0.58
Concrete	0.75		0.00	0.00
Drives, walks, buildings	0.75		0.00	0.00
Ditch / Detention Area	0.25	19,714	0.45	0.11
<b>TOTAL</b>		422,400	9.70	3.19
<b>WEIGHTED "C":</b>				<b>0.33</b>

$$C_w = (C_1A_1 + C_2A_2 + C_3A_3 + \dots + C_nA_n) / A_{\text{total}}$$

C<sub>w</sub> = weighted runoff coefficient (composite coefficient)

C<sub>n</sub> = Runoff Coefficient in the nth term

A<sub>n</sub> = Area of the n-th term

A<sub>total</sub> = total area (acres)

Total Lot Area: 342, 328

Street Area : 1120 lf x 32 ft = 35,840



5/14/26  
*R. Barrera* P.E.  
 TXA No: 6435

**EXHIBIT C**

**CITY OF EDINBURG – 50 YEAR STORM WATER DETENTION  
REQUIREMENTS**

The **Kerby-Hathaway equation** is based on data from watersheds having watercourses less than 1200 feet, slopes less than 1%, and areas less than 10 acres. The Kerby-Hathaway equation is shown below for both U.S. and S.I. units.

For U.S. units:  $t = [0.67nL/(S^{1/2})]^{0.467}$

- Where:
- L = length of flow path in ft
  - S = surface slope in ft/ft
  - n = overland flow resistance factor
  - t = travel time (time of concentration) in min

Kerby-Hathaway Equation

Time (min)	i (in/hr)	Qin (cfs)	Vin (cf)	Qout (cfs)	Vout (cf)	Storage (cf)
10	10.83	34.65	20791	6.75	6124	14667
20	7.91	25.31	30376	6.75	8149	22227
30	6.34	20.30	36545	6.75	10174	26370
40	5.35	17.13	41101	6.75	12200	28901
50	4.66	14.91	44727	6.75	14225	30502
60	4.14	13.26	47751	6.75	16251	31501
70	3.75	11.99	50353	6.75	18276	32077
80	3.43	10.97	52643	6.75	20301	32341
90	3.16	10.13	54692	6.75	22327	32366
100	2.94	9.43	56551	6.75	24352	32199
110	2.76	8.83	58255	6.75	26377	31878
120	2.60	8.31	59830	6.75	28403	31427
130	2.45	7.86	61296	6.75	30428	30867
140	2.33	7.46	62668	6.75	32454	30215
150	2.22	7.11	63960	6.75	34479	29481
160	2.12	6.79	65181	6.75	36504	28676
170	2.03	6.50	66339	6.75	38530	27810
180	1.95	6.24	67442	6.75	40555	26887
200	1.81	5.79	69503	6.75	44606	24897
220	1.69	5.41	71399	6.75	48657	22743
240	1.59	5.08	73159	6.75	52707	20452
260	1.50	4.80	74803	6.75	56758	18045
280	1.42	4.54	76347	6.75	60809	15538
300	1.35	4.32	77804	6.75	64860	12945
320	1.29	4.12	79185	6.75	68910	10275
340	1.23	3.95	80499	6.75	72961	7537
360	1.18	3.78	81751	6.75	77012	4740



5/14/26

1213 P.E.  
TYFAM NO: 6435

\* MIN. REQ'D 50-YEAR  
DEPLETION = 32,366 CUBIC FEET

**EXHIBIT D**  
**FEMA FLOOD INSURANCE RATE MAP**

gram at (800) 638-6620.



APPROXIMATE SCALE



NATIONAL FLOOD INSURANCE PROGRAM

**FIRM**  
FLOOD INSURANCE RATE MAP

**HIDALGO  
COUNTY,  
TEXAS**  
(UNINCORPORATED AREA)

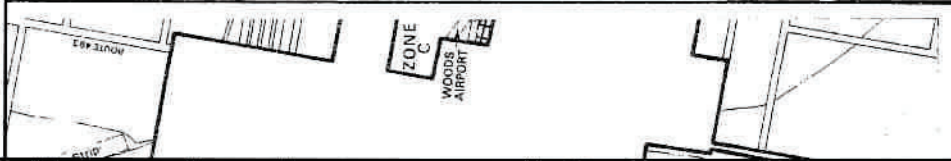
PANEL 425 OF 525  
(SEE MAP INDEX FOR PANELS NOT PRINTED)

COMMUNITY PANEL NUMBER  
480334 0425 C

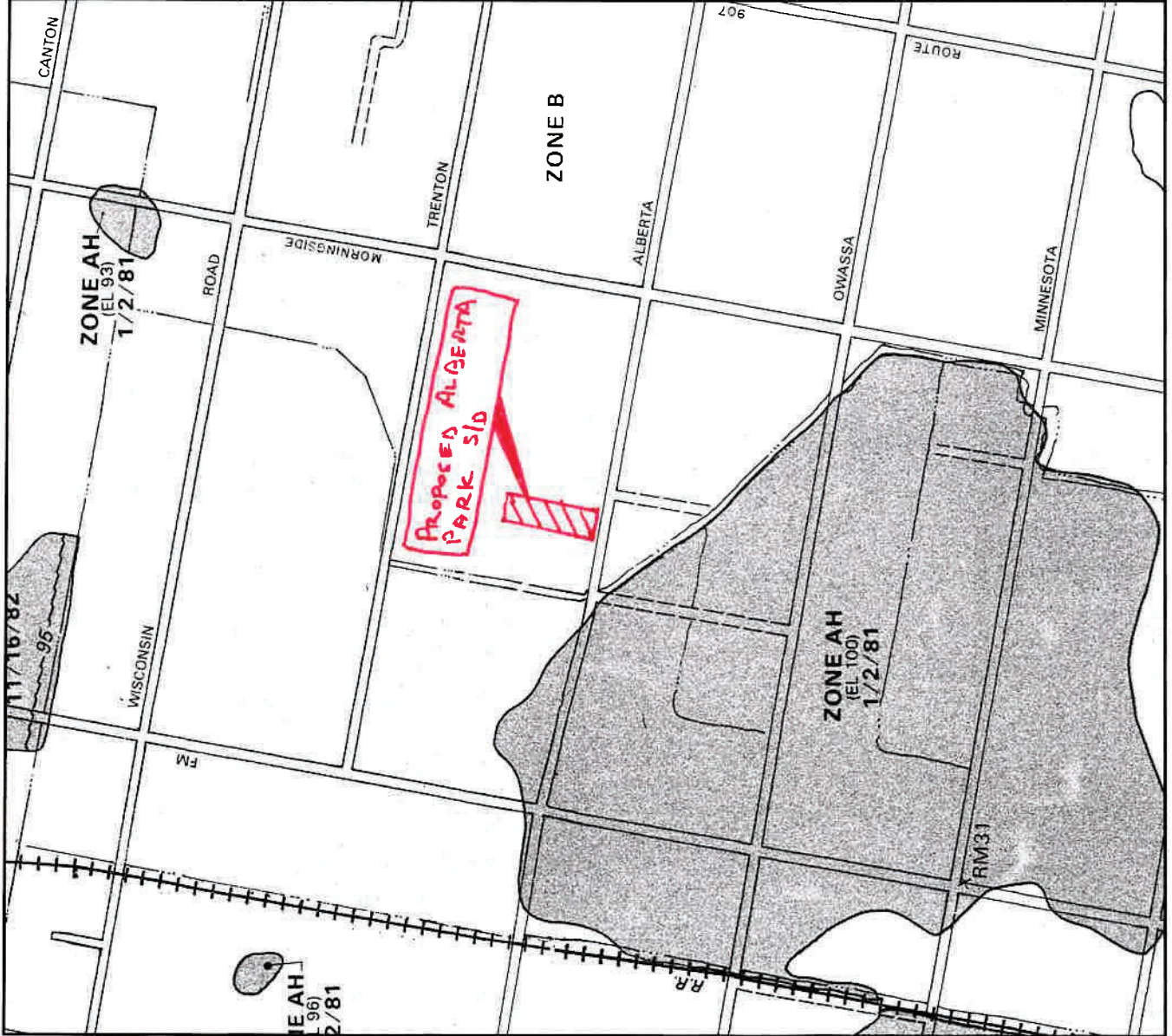
MAP REVISED:  
NOVEMBER 16, 1982



federal emergency management agency



This is an official FIRMette showing a portion of the above-referenced flood map created from the MSC FIRMette Web tool. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For additional information about how to make sure the map is current, please see the Flood Hazard Mapping Updates Overview Fact Sheet available on the FEMA Flood Map Service Center home page at <https://msc.fema.gov>.



**EXHIBIT E**  
**USGS TOPOGRAPHIC MAP**

# USGS TOPO MAP

ALBERTA PARK SUBD.

**MURILLO**

WISCONSIN RD

S RD

CRISTOBAL DR

MADERO DR

D

MEDY DR

INCA DR

T

RAUL LONGORIA RD

NAVA RD

LOPEZ DR

ALEJANDRA DR

MELODY LN

HARMONY LN

TILLMIN DR

E ALBERTA RD

E ALBERTA RD

S CESAR CHAVEZ RD

**Lopezville**

W OWASSA RD

E OWASSA RD

SEMINOLE VALLEY DR

MINNESOTA RD



**EXHIBIT F**  
**HIDALGO COUNTY SOIL RESOURCE MAP**

# Custom Soil Resource Report for Hidalgo County, Texas



# Preface

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Soil surveys contain information that affects land use planning in survey areas. They highlight soil limitations that affect various land uses and provide information about the properties of the soils in the survey areas. Soil surveys are designed for many different users, including farmers, ranchers, foresters, agronomists, urban planners, community officials, engineers, developers, builders, and home buyers. Also, conservationists, teachers, students, and specialists in recreation, waste disposal, and pollution control can use the surveys to help them understand, protect, or enhance the environment.

Various land use regulations of Federal, State, and local governments may impose special restrictions on land use or land treatment. Soil surveys identify soil properties that are used in making various land use or land treatment decisions. The information is intended to help the land users identify and reduce the effects of soil limitations on various land uses. The landowner or user is responsible for identifying and complying with existing laws and regulations.

Although soil survey information can be used for general farm, local, and wider area planning, onsite investigation is needed to supplement this information in some cases. Examples include soil quality assessments (<http://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/health/>) and certain conservation and engineering applications. For more detailed information, contact your local USDA Service Center (<https://offices.sc.egov.usda.gov/locator/app?agency=nrcs>) or your NRCS State Soil Scientist ([http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2\\_053951](http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951)).

Great differences in soil properties can occur within short distances. Some soils are seasonally wet or subject to flooding. Some are too unstable to be used as a foundation for buildings or roads. Clayey or wet soils are poorly suited to use as septic tank absorption fields. A high water table makes a soil poorly suited to basements or underground installations.

The National Cooperative Soil Survey is a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local agencies. The Natural Resources Conservation Service (NRCS) has leadership for the Federal part of the National Cooperative Soil Survey.

Information about soils is updated periodically. Updated information is available through the NRCS Web Soil Survey, the site for official soil survey information.

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# How Soil Surveys Are Made

---

Soil surveys are made to provide information about the soils and miscellaneous areas in a specific area. They include a description of the soils and miscellaneous areas and their location on the landscape and tables that show soil properties and limitations affecting various uses. Soil scientists observed the steepness, length, and shape of the slopes; the general pattern of drainage; the kinds of crops and native plants; and the kinds of bedrock. They observed and described many soil profiles. A soil profile is the sequence of natural layers, or horizons, in a soil. The profile extends from the surface down into the unconsolidated material in which the soil formed or from the surface down to bedrock. The unconsolidated material is devoid of roots and other living organisms and has not been changed by other biological activity.

Currently, soils are mapped according to the boundaries of major land resource areas (MLRAs). MLRAs are geographically associated land resource units that share common characteristics related to physiography, geology, climate, water resources, soils, biological resources, and land uses (USDA, 2006). Soil survey areas typically consist of parts of one or more MLRA.

The soils and miscellaneous areas in a survey area occur in an orderly pattern that is related to the geology, landforms, relief, climate, and natural vegetation of the area. Each kind of soil and miscellaneous area is associated with a particular kind of landform or with a segment of the landform. By observing the soils and miscellaneous areas in the survey area and relating their position to specific segments of the landform, a soil scientist develops a concept, or model, of how they were formed. Thus, during mapping, this model enables the soil scientist to predict with a considerable degree of accuracy the kind of soil or miscellaneous area at a specific location on the landscape.

Commonly, individual soils on the landscape merge into one another as their characteristics gradually change. To construct an accurate soil map, however, soil scientists must determine the boundaries between the soils. They can observe only a limited number of soil profiles. Nevertheless, these observations, supplemented by an understanding of the soil-vegetation-landscape relationship, are sufficient to verify predictions of the kinds of soil in an area and to determine the boundaries.

Soil scientists recorded the characteristics of the soil profiles that they studied. They noted soil color, texture, size and shape of soil aggregates, kind and amount of rock fragments, distribution of plant roots, reaction, and other features that enable them to identify soils. After describing the soils in the survey area and determining their properties, the soil scientists assigned the soils to taxonomic classes (units). Taxonomic classes are concepts. Each taxonomic class has a set of soil characteristics with precisely defined limits. The classes are used as a basis for comparison to classify soils systematically. Soil taxonomy, the system of taxonomic classification used in the United States, is based mainly on the kind and character of soil properties and the arrangement of horizons within the profile. After the soil

scientists classified and named the soils in the survey area, they compared the individual soils with similar soils in the same taxonomic class in other areas so that they could confirm data and assemble additional data based on experience and research.

The objective of soil mapping is not to delineate pure map unit components; the objective is to separate the landscape into landforms or landform segments that have similar use and management requirements. Each map unit is defined by a unique combination of soil components and/or miscellaneous areas in predictable proportions. Some components may be highly contrasting to the other components of the map unit. The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The delineation of such landforms and landform segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, onsite investigation is needed to define and locate the soils and miscellaneous areas.

Soil scientists make many field observations in the process of producing a soil map. The frequency of observation is dependent upon several factors, including scale of mapping, intensity of mapping, design of map units, complexity of the landscape, and experience of the soil scientist. Observations are made to test and refine the soil-landscape model and predictions and to verify the classification of the soils at specific locations. Once the soil-landscape model is refined, a significantly smaller number of measurements of individual soil properties are made and recorded. These measurements may include field measurements, such as those for color, depth to bedrock, and texture, and laboratory measurements, such as those for content of sand, silt, clay, salt, and other components. Properties of each soil typically vary from one point to another across the landscape.

Observations for map unit components are aggregated to develop ranges of characteristics for the components. The aggregated values are presented. Direct measurements do not exist for every property presented for every map unit component. Values for some properties are estimated from combinations of other properties.

While a soil survey is in progress, samples of some of the soils in the area generally are collected for laboratory analyses and for engineering tests. Soil scientists interpret the data from these analyses and tests as well as the field-observed characteristics and the soil properties to determine the expected behavior of the soils under different uses. Interpretations for all of the soils are field tested through observation of the soils in different uses and under different levels of management. Some interpretations are modified to fit local conditions, and some new interpretations are developed to meet local needs. Data are assembled from other sources, such as research information, production records, and field experience of specialists. For example, data on crop yields under defined levels of management are assembled from farm records and from field or plot experiments on the same kinds of soil.

Predictions about soil behavior are based not only on soil properties but also on such variables as climate and biological activity. Soil conditions are predictable over long periods of time, but they are not predictable from year to year. For example, soil scientists can predict with a fairly high degree of accuracy that a given soil will have a high water table within certain depths in most years, but they cannot predict that a high water table will always be at a specific level in the soil on a specific date.

After soil scientists located and identified the significant natural bodies of soil in the survey area, they drew the boundaries of these bodies on aerial photographs and

## Custom Soil Resource Report

identified each as a specific map unit. Aerial photographs show trees, buildings, fields, roads, and rivers, all of which help in locating boundaries accurately.

# Soil Map

---

The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.

# Custom Soil Resource Report Soil Map







































Map Scale: 1:6,000 if printed on A portrait (8.5" x 11") sheet.

0 50 100 200 300 Meters

0 250 500 1000 1500 Feet

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 14N WGS84

## MAP LEGEND

- Area of Interest (AOI)**
-  Area of Interest (AOI)
- Soils**
-  Soil Map Unit Polygons
-  Soil Map Unit Lines
-  Soil Map Unit Points
- Special Point Features**
-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot
-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features
- Water Features**
-  Streams and Canals
- Transportation**
-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads
- Background**
-  Aerial Photography

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
 Web Soil Survey URL:  
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Hidalgo County, Texas  
 Survey Area Data: Version 24, Sep 4, 2025

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Nov 7, 2021—Jan 14, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
28	Hidalgo sandy clay loam, 0 to 1 percent slopes	9.5	100.0%
<b>Totals for Area of Interest</b>		<b>9.5</b>	<b>100.0%</b>

## Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

## Custom Soil Resource Report

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

## Hidalgo County, Texas

### 28—Hidalgo sandy clay loam, 0 to 1 percent slopes

#### Map Unit Setting

*National map unit symbol:* 2sxvl  
*Landscape:* Relict delta plains  
*Elevation:* 20 to 500 feet  
*Mean annual precipitation:* 20 to 27 inches  
*Mean annual air temperature:* 72 to 74 degrees F  
*Frost-free period:* 300 to 365 days  
*Farmland classification:* Prime farmland if irrigated

#### Map Unit Composition

*Hidalgo and similar soils:* 85 percent  
*Minor components:* 15 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

#### Description of Hidalgo

##### Setting

*Landscape:* Relict delta plains  
*Landform:* Terraces  
*Landform position (three-dimensional):* Tread  
*Down-slope shape:* Linear  
*Across-slope shape:* Linear  
*Parent material:* Calcareous loamy alluvium

##### Typical profile

*Ap - 0 to 17 inches:* sandy clay loam  
*Bk1 - 17 to 28 inches:* sandy clay loam  
*Bk2 - 28 to 38 inches:* clay loam  
*Ck - 38 to 80 inches:* clay loam

##### Properties and qualities

*Slope:* 0 to 1 percent  
*Depth to restrictive feature:* More than 80 inches  
*Drainage class:* Well drained  
*Runoff class:* Negligible  
*Capacity of the most limiting layer to transmit water (Ksat):* Moderately high to high (0.57 to 1.98 in/hr)  
*Depth to water table:* More than 80 inches  
*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Calcium carbonate, maximum content:* 35 percent  
*Maximum salinity:* Nonsaline to slightly saline (0.0 to 4.0 mmhos/cm)  
*Sodium adsorption ratio, maximum:* 10.0  
*Available water supply, 0 to 60 inches:* Moderate (about 7.8 inches)

##### Interpretive groups

*Land capability classification (irrigated):* 1  
*Land capability classification (nonirrigated):* 2c  
*Hydrologic Soil Group:* B  
*Ecological site:* R083DY019TX - Gray Sandy Loam  
*Hydric soil rating:* No

## Minor Components

### Raymondville

*Percent of map unit:* 7 percent  
*Landscape:* Relict delta plains  
*Landform:* Terraces  
*Landform position (three-dimensional):* Tread  
*Down-slope shape:* Linear  
*Across-slope shape:* Linear  
*Ecological site:* R083DY025TX - Clay Loam  
*Hydric soil rating:* No

### Racombes

*Percent of map unit:* 6 percent  
*Landscape:* Relict delta plains  
*Landform:* Terraces  
*Landform position (three-dimensional):* Tread  
*Down-slope shape:* Linear  
*Across-slope shape:* Linear  
*Ecological site:* R083DY025TX - Clay Loam  
*Hydric soil rating:* No

### Willacy

*Percent of map unit:* 2 percent  
*Landscape:* Relict delta plains  
*Landform:* Terraces  
*Landform position (three-dimensional):* Tread  
*Down-slope shape:* Linear  
*Across-slope shape:* Linear  
*Ecological site:* R083DY023TX - Sandy Loam  
*Hydric soil rating:* No

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- United States Department of Agriculture, Natural Resources Conservation Service. National range and pasture handbook. <http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/landuse/rangepasture/?cid=stelprdb1043084>

## Custom Soil Resource Report

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United States Department of Agriculture, Natural Resources Conservation Service. 2006. Land resource regions and major land resource areas of the United States, the Caribbean, and the Pacific Basin. U.S. Department of Agriculture Handbook 296. [http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/soils/?cid=nrcs142p2\\_053624](http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/soils/?cid=nrcs142p2_053624)

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**EXHIBIT G**

**ALBERTA PARK SUBDIVISION PLAT & PLANS**





6621 N. 107th STREET,  
SOUTH  
MCKALEN, TEXAS 76804  
T: 806-697-3355  
F: 806-697-3356  
FIRM NO. 8685

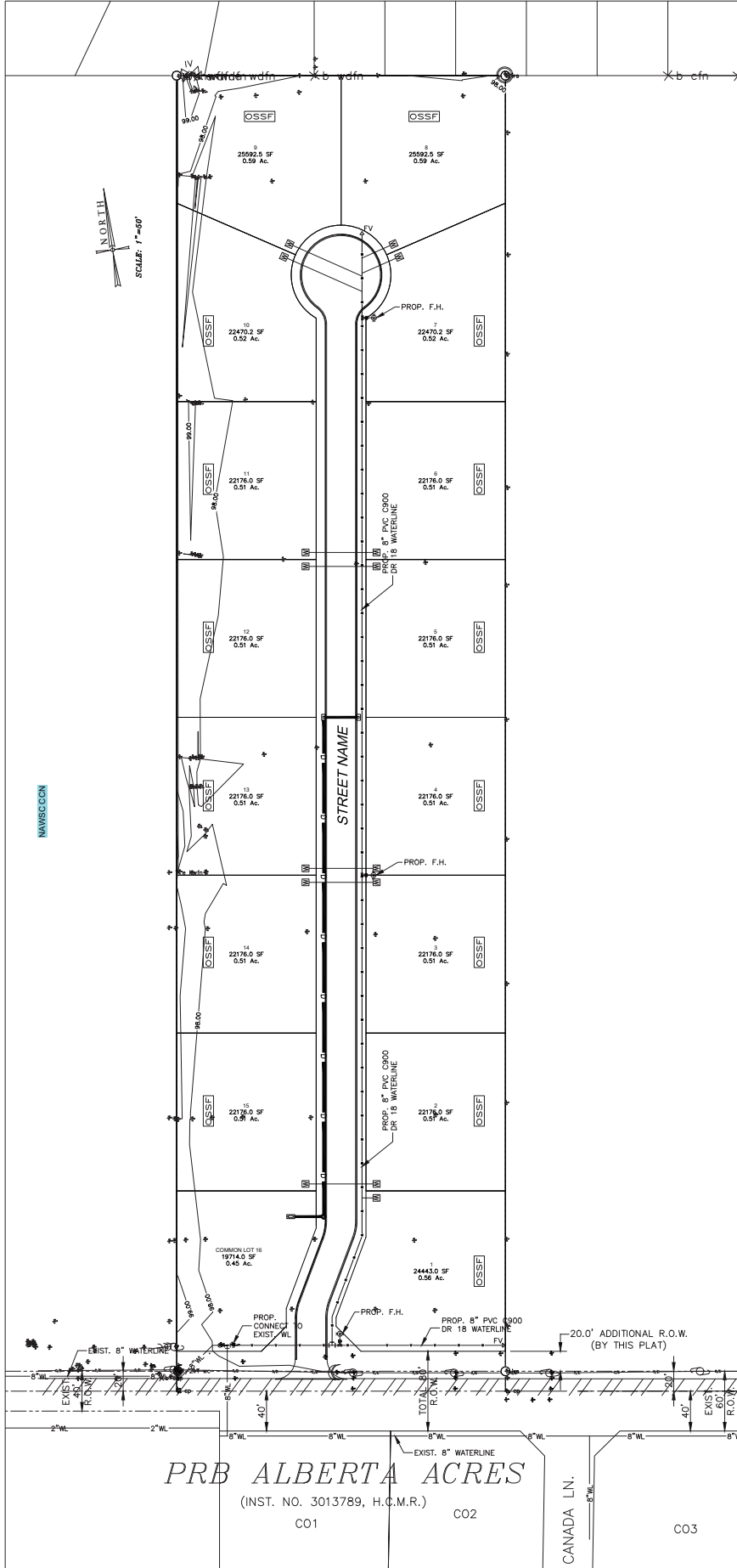
WATER AND SEWER  
SYSTEM LAYOUT

ALBERTA PARK SUBDIVISION  
HIDALGO COUNTY, TEXAS



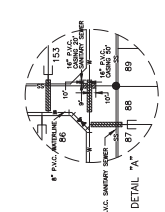
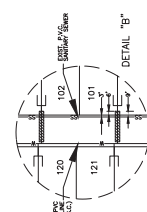
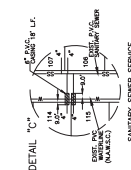
PRB-5-4-26  
Professional Engineer  
License # 86852

DATE	1"-=50'
Drawn By	E.S.
Checked By	E.S.
Project No.	
Sheet	of



NAWSSCCCN

- GENERAL NOTES:**
1. ALL PROPOSED WATER LINES TO BE C-900 DR-18.
  2. ALL FIRE HYDRANTS SHALL BE WELFARE AND TO BE INSTALLED WITH VALVE & BOX AT 3.0' BEING THE SPACED 300 FEET (MAX.) FLANGE ELEVATION 6" ABOVE TOP OF CURB.
  3. CONNECTION TO LOT.
  4. CONTRACTOR TO NOTIFY ALL UTILITY COMPANIES FOR CONSTRUCTION OF CONFLICTS PRIOR TO CONSTRUCTION ON SITE.
  5. REFER TO SUBDIVISION PLAT FOR LOT DIMENSIONS.
  6. ALL WATER SERVICE LINES CROSSING UNDER ROADWAY SHALL BE ENCASED WITH 2" PVC.
  7. ALL CONNECTIONS TO BE MET TAP.
  8. ALL BENDS WILL CONTAIN MANGROOKS.
  9. ALL CONSTRUCTION TO ADHERE TO CITY OF EDINBURG CONSTRUCTION STANDARDS.



**PRELIMINARY**  
THIS DOCUMENT HAS BEEN  
RELEASED FOR REVIEW ONLY. BY  
THE DATE OF THIS SHEET NO. 06852.  
5-4-26

6521 N. 17th STREET,  
SUITE 100  
MCALLEN, TEXAS 78504  
T: 361.697.3355  
F: 361.697.3356  
FIRM NO. 6885

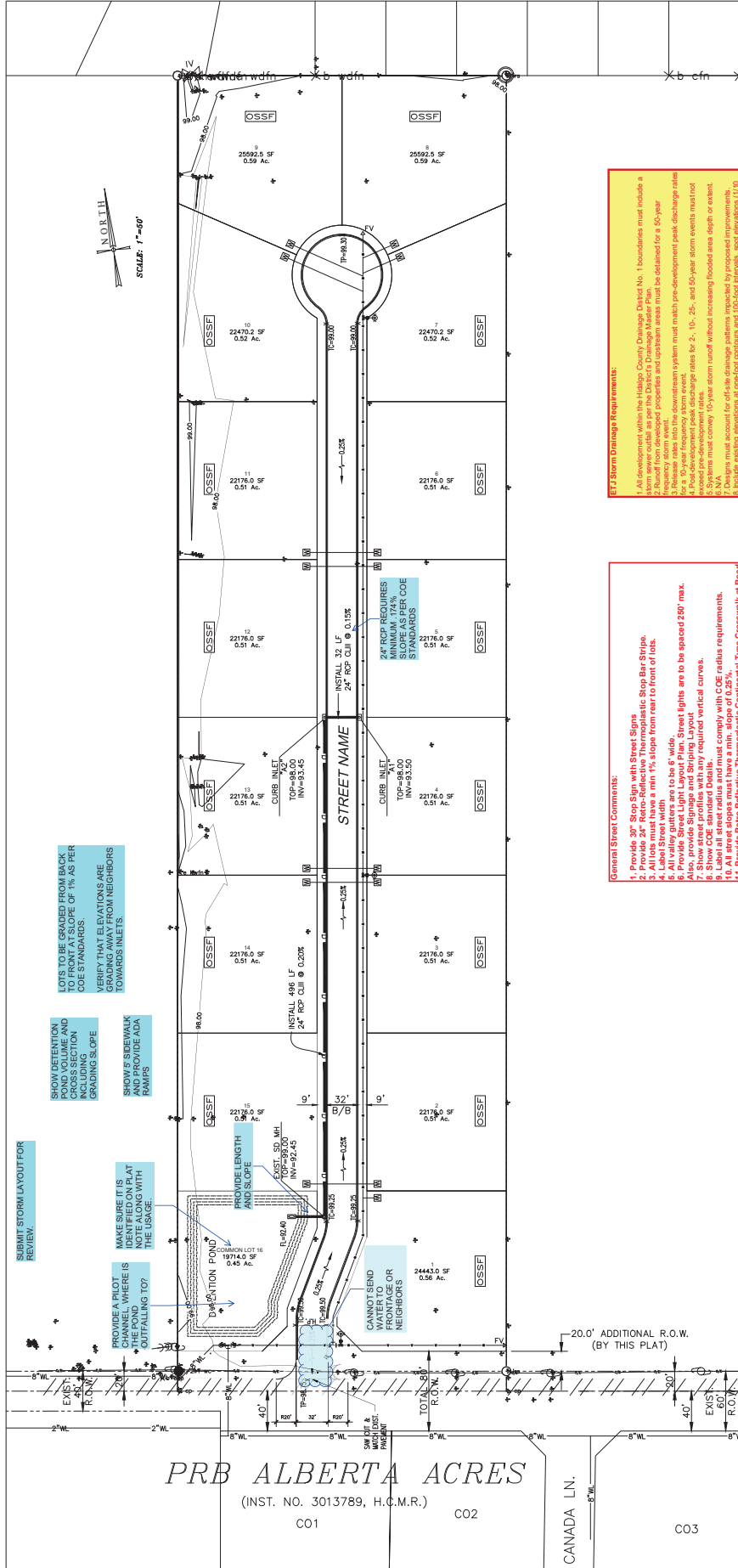
PAVING & DRAINAGE  
SYSTEM LAYOUT

ALBERTA PARK SUBDIVISION  
HIDALGO COUNTY, TEXAS



Project No. 5-4-26  
Professional Engineer  
R. B. B. #86852

DATE	1-1-20
ISSUED BY	R.B.B.
DESIGNED BY	E.S.
CHECKED BY	R.B.B.
PROJECT NO.	
SHEET NO.	of

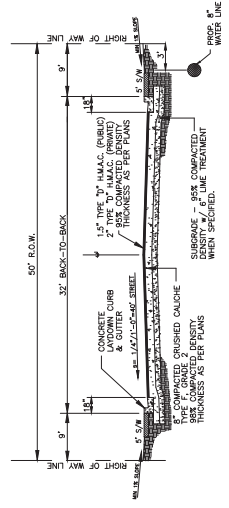


**ETJ Storm Drainage Requirements:**

- All development within the City of Hidalgo County Drainage District No. 1 boundaries must include a storm sewer outlet as per the District Drainage Master Plan.
2. Roof runoff from developed properties and upstream areas must be detained for a 30-year storm event.
3. Retention rates into the downstream system must match pre-development peak discharge rates for a 10-year frequency storm event.
4. Retention rates into the downstream system must match pre-development peak discharge rates for a 10-year frequency storm event.
5. Systems must convey 10-year storm runoff without increasing flooded area depth or extent.
6. Designs must account for off-site drainage patterns impacted by proposed improvements.
7. Designs must account for off-site drainage patterns impacted by proposed improvements.
8. Include existing elevations at curb corners and 100-foot intervals, spot elevations (1' to 2' above existing ground) at curb corners, and elevations at curb corners, and elevations at curb corners.
9. Show proposed finished elevations (concrete, pavement edge, ditch, and right-of-way).
10. Provide 100-year storm contour elevations as per FEMA.
11. Provide runoff calculations consistent with the County Master Drainage Plan using approved methods.
12. Provide runoff calculations consistent with the County Master Drainage Plan using approved methods.
13. Ensure positive drainage away from buildings.
14. Align lot drainage with the area's general storm drainage pattern, including necessary easements.
15. Submit detailed plans for on-site off-site drainage improvements connecting to existing storm drains.
16. All improvements must adhere to engineering standards and be completed before final plat approval.
17. Alternate drainage methods may be used per Appendix 5 (Sections 3.61 and 3.62).

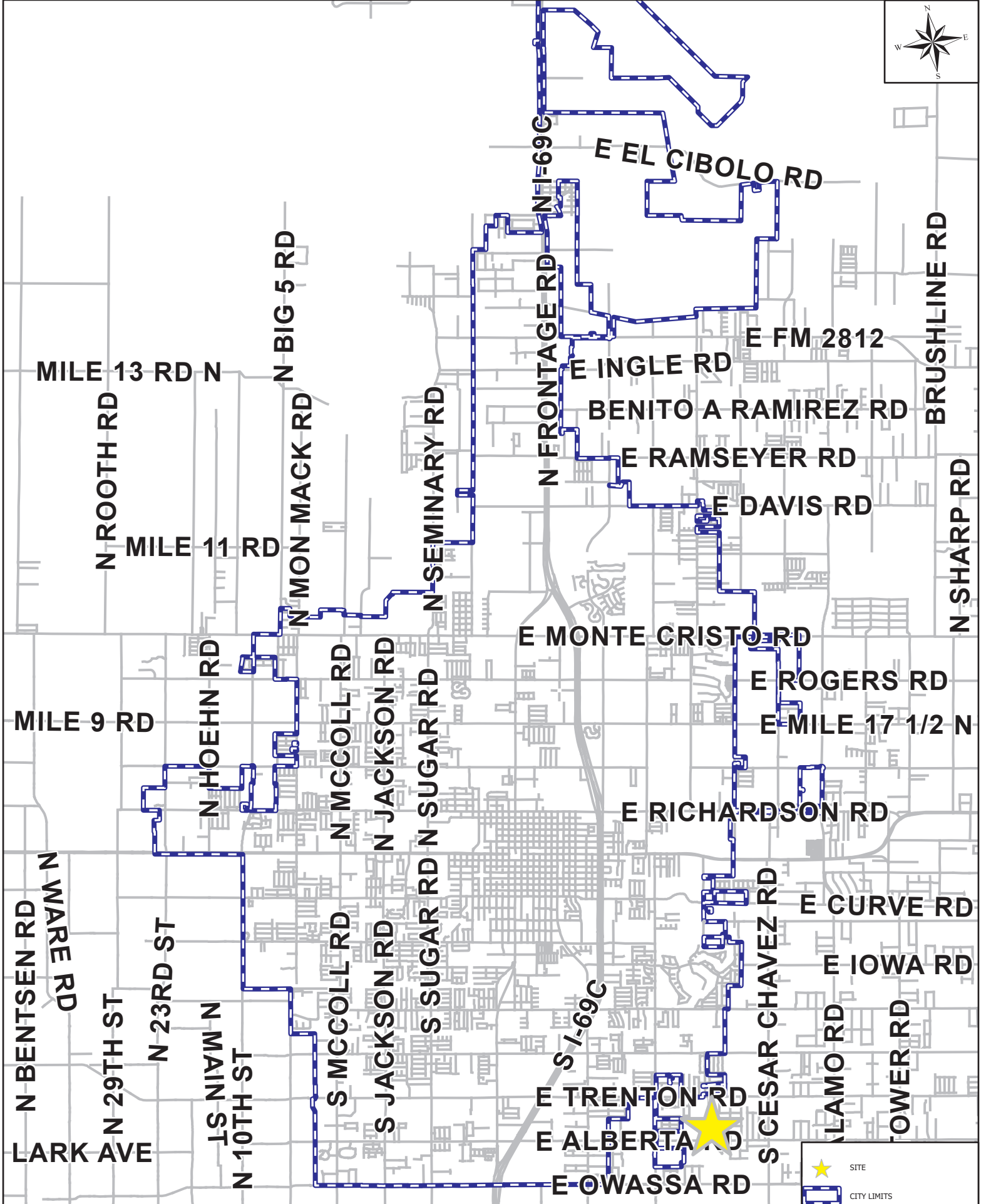
**General Street Comments:**

1. Provide 30" Stop Sign with Street Signs.
2. Provide 24" Retro-Reflective Thermoplastic Stop Bar Stripe.
3. Provide 24" Retro-Reflective Thermoplastic Stop Bar Stripe.
4. Label Street width.
5. All valley gutters are to be 6" wide.
6. Provide Street Light Layout Plan. Street lights are to be spaced 250' max.
7. Show street profiles with any required vertical curves.
8. Show COE standard Details.
9. All street slopes must have a min. slope of 0.25%.
10. All street slopes must have a min. slope of 0.25%.
11. Provide Retro-Reflective Thermoplastic Continental Type Crosswalk at Road.
12. Provide location of cluster mailbox and to include ADA Accessibility and sidewalk. To be built during the Subdivision Phase.
13. Provide ROW improvements (RD Widening, Sidewalk, Etc.)



TYPICAL STREET CROSS SECTION

PRELIMINARY  
THIS DOCUMENT HAS BEEN  
RELEASED FOR REVIEW ONLY. BY  
THE ENGINEER'S FIRM NO. 68852.  
5-4-26



N BENTSEN RD  
N WARE RD  
N 29TH ST  
N 23RD ST  
N 10TH ST  
LARK AVE

MILE 13 RD N  
N Rooth Rd  
MILE 11 RD  
N Mon Mack Rd  
N Big 5 Rd

N HOEHN RD  
N MCCOLL RD  
N JACKSON RD  
S MCCOLL RD  
S JACKSON RD  
S SUGAR RD

N SEMINARY RD

N FRONTAGE RD  
N I-69C

S I-69C

E TRENTON RD  
E ALBERTA RD  
E OWASSA RD

E EL CIBOLO RD

E FM 2812  
E INGLE RD  
BENITO A RAMIREZ RD  
E RAMSEYER RD  
E DAVIS RD

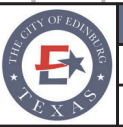
E MONTE CRISTO RD  
E ROGERS RD  
E MILE 17 1/2 N

E RICHARDSON RD  
E CURVE RD  
E IOWA RD

S CESAR CHAVEZ RD  
LAMO RD  
TOWER RD

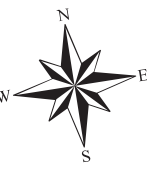
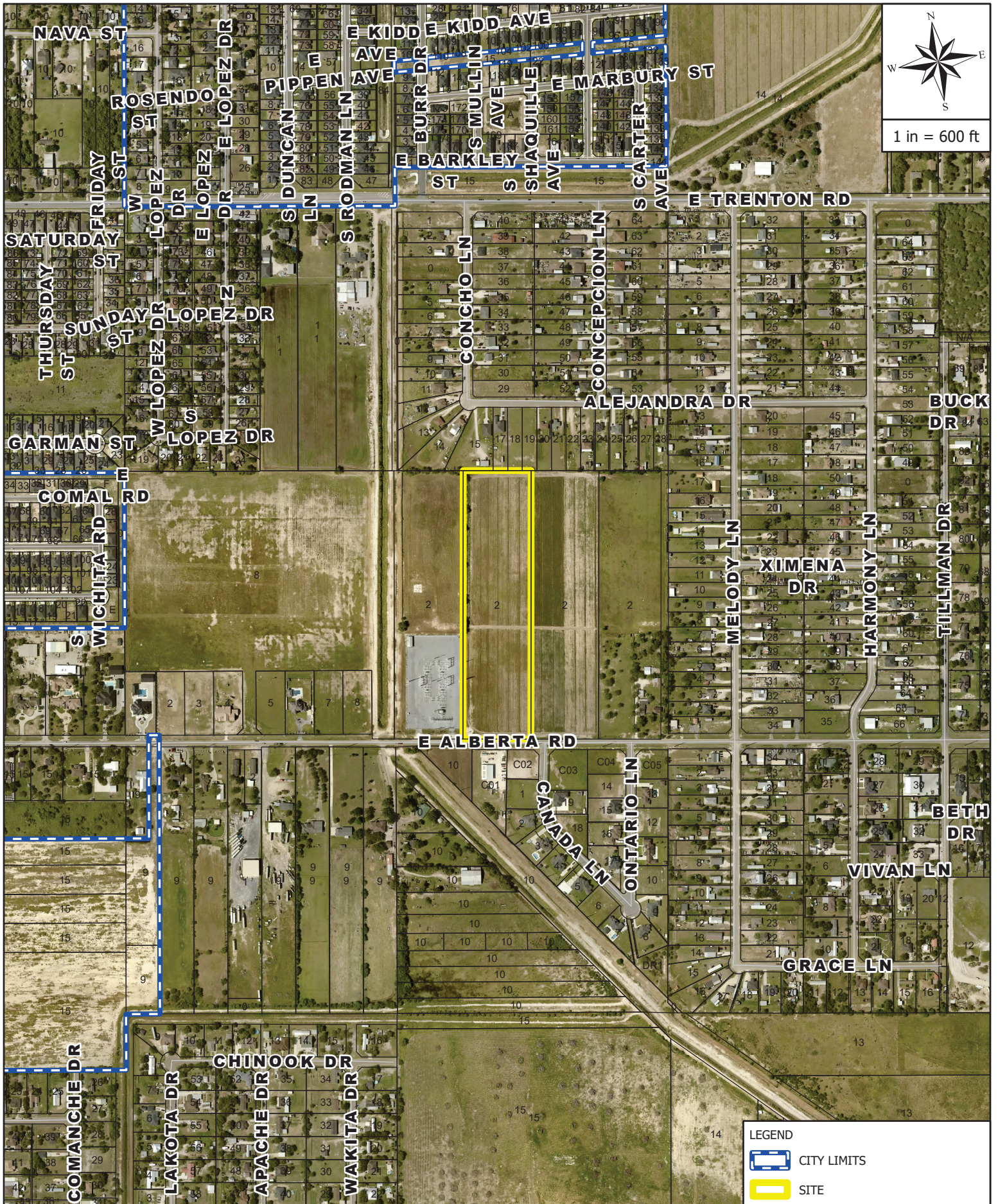
BRUSHLINE RD  
N SHARP RD

★ SITE  
CITY LIMITS





EDINBURG NEW DEVELOPMENT MAP

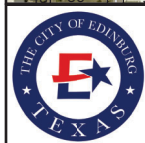
3399 E ALBERTA RD



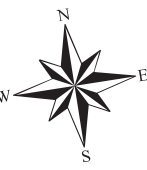
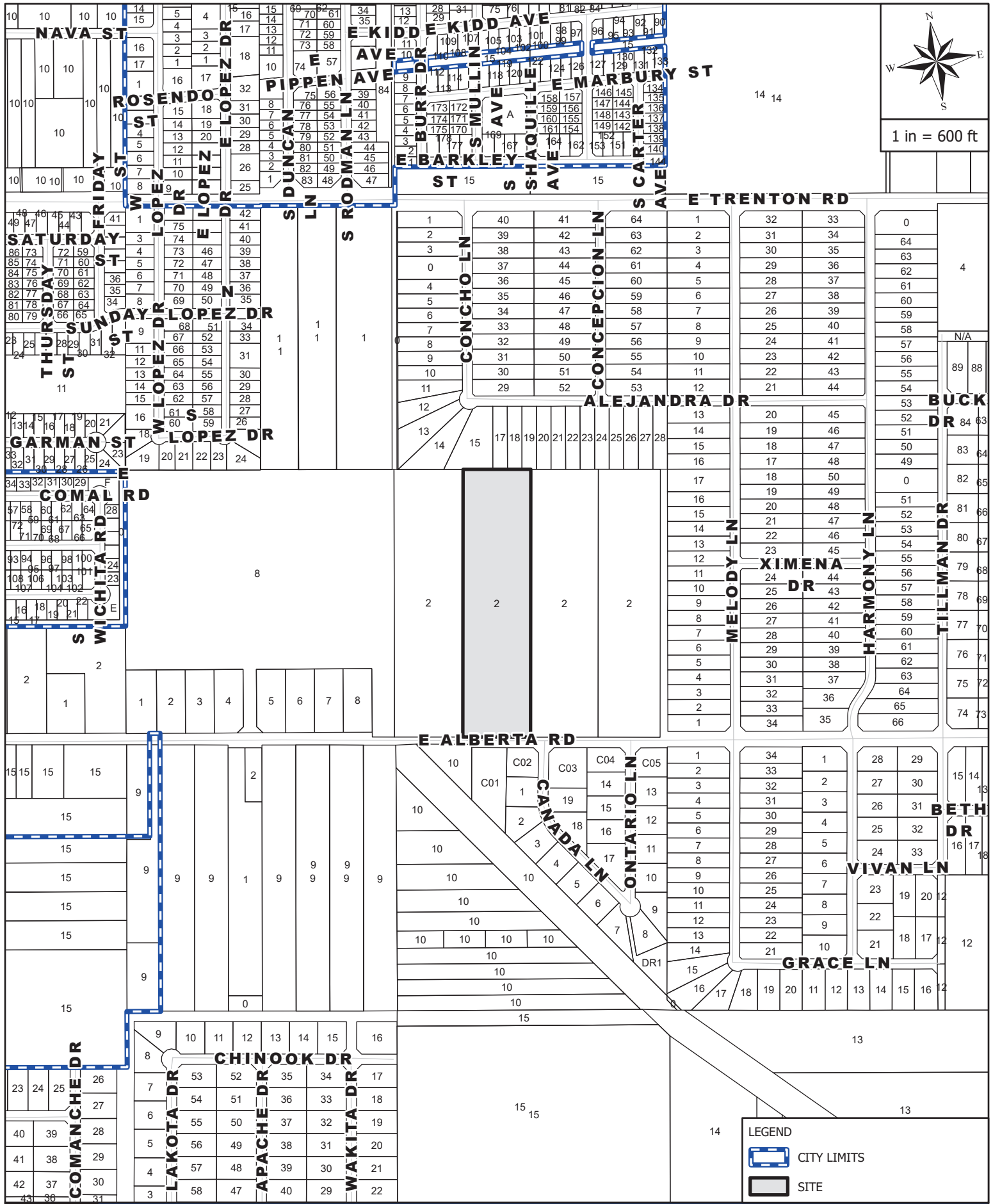
1 in = 600 ft

**LEGEND**

-  CITY LIMITS
-  SITE



**AERIAL MAP**  
3399 E ALBERTA RD

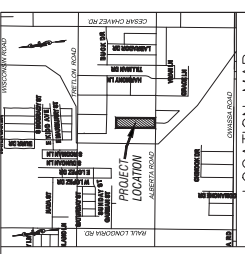


1 in = 600 ft

**MAILOUT AND SITE MAP**

3399 E ALBERTA RD





**LOCATION MAP**  
SCALE: 1" = 100'

PREPARED BY:  
BARBERA INFRASTRUCTURE GROUP, INC.  
1300 W. WINDYBROOK DRIVE  
WACALEN, TEXAS 75784  
DATE PREPARED: 5-4-28  
DATE SURVEYED: 5-1-28

**PLAT OF ALBERTA PARK SUBDIVISION**  
A 6009 ACRE TRACT OF LAND, MORE OR LESS, WEST ONE HALF (1/2) OF LOTS TWO (2), THREE (3), FOUR (4), FIVE (5), SIX (6), SEVEN (7), EIGHT (8), NINE (9), TEN (10), ELEVEN (11), TWELVE (12), THIRTEEN (13), FOURTEEN (14), FIFTEEN (15), SIXTEEN (16), SEVENTEEN (17), EIGHTEEN (18), NINETEEN (19), TWENTY (20), TWENTY-ONE (21), TWENTY-TWO (22), TWENTY-THREE (23), TWENTY-FOUR (24), TWENTY-FIVE (25), TWENTY-SIX (26), TWENTY-SEVEN (27), TWENTY-EIGHT (28), TWENTY-NINE (29), THIRTY (30), THIRTY-ONE (31), THIRTY-TWO (32), THIRTY-THREE (33), THIRTY-FOUR (34), THIRTY-FIVE (35), THIRTY-SIX (36), THIRTY-SEVEN (37), THIRTY-EIGHT (38), THIRTY-NINE (39), FORTY (40), FORTY-ONE (41), FORTY-TWO (42), FORTY-THREE (43), FORTY-FOUR (44), FORTY-FIVE (45), FORTY-SIX (46), FORTY-SEVEN (47), FORTY-EIGHT (48), FORTY-NINE (49), FIFTY (50), FIFTY-ONE (51), FIFTY-TWO (52), FIFTY-THREE (53), FIFTY-FOUR (54), FIFTY-FIVE (55), FIFTY-SIX (56), FIFTY-SEVEN (57), FIFTY-EIGHT (58), FIFTY-NINE (59), SIXTY (60), SIXTY-ONE (61), SIXTY-TWO (62), SIXTY-THREE (63), SIXTY-FOUR (64), SIXTY-FIVE (65), SIXTY-SIX (66), SIXTY-SEVEN (67), SIXTY-EIGHT (68), SIXTY-NINE (69), SEVENTY (70), SEVENTY-ONE (71), SEVENTY-TWO (72), SEVENTY-THREE (73), SEVENTY-FOUR (74), SEVENTY-FIVE (75), SEVENTY-SIX (76), SEVENTY-SEVEN (77), SEVENTY-EIGHT (78), SEVENTY-NINE (79), EIGHTY (80), EIGHTY-ONE (81), EIGHTY-TWO (82), EIGHTY-THREE (83), EIGHTY-FOUR (84), EIGHTY-FIVE (85), EIGHTY-SIX (86), EIGHTY-SEVEN (87), EIGHTY-EIGHT (88), EIGHTY-NINE (89), NINETY (90), NINETY-ONE (91), NINETY-TWO (92), NINETY-THREE (93), NINETY-FOUR (94), NINETY-FIVE (95), NINETY-SIX (96), NINETY-SEVEN (97), NINETY-EIGHT (98), NINETY-NINE (99), ONE HUNDRED (100), ONE HUNDRED-ONE (101), ONE HUNDRED-TWO (102), ONE HUNDRED-THREE (103), ONE HUNDRED-FOUR (104), ONE HUNDRED-FIVE (105), ONE HUNDRED-SIX (106), ONE HUNDRED-SEVEN (107), ONE HUNDRED-EIGHT (108), ONE HUNDRED-NINE (109), ONE HUNDRED-TEN (110), ONE HUNDRED-ELEVEN (111), ONE HUNDRED-TWELVE (112), ONE 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THOUSAND-SIX (826), SIXTY-TWO THOUSAND-SEVEN (827), SIXTY-TWO THOUSAND-EIGHT (828), SIXTY-TWO THOUSAND-NINE (829), SIXTY-THREE THOUSAND (830), SIXTY-THREE THOUSAND-ONE (831), SIXTY-THREE THOUSAND-TWO (832), SIXTY-THREE THOUSAND-THREE (833), SIXTY-THREE THOUSAND-FOUR (834), SIXTY-THREE THOUSAND-FIVE (835), SIXTY-THREE THOUSAND-SIX (836), SIXTY-THREE THOUSAND-SEVEN (837), SIXTY-THREE THOUSAND-EIGHT (838), SIXTY-THREE THOUSAND-NINE (839), SIXTY-FOUR THOUSAND (840), SIXTY-FOUR THOUSAND-ONE (841), SIXTY-FOUR THOUSAND-TWO (842), SIXTY-FOUR THOUSAND-THREE (843), SIXTY-FOUR THOUSAND-FOUR (844), SIXTY-FOUR THOUSAND-FIVE (845), SIXTY-FOUR THOUSAND-SIX (846), SIXTY-FOUR THOUSAND-SEVEN (847), SIXTY-FOUR THOUSAND-EIGHT (848), SIXTY-FOUR THOUSAND-NINE (849), SIXTY-FIVE THOUSAND (850), SIXTY-FIVE THOUSAND-ONE (851), SIXTY-FIVE THOUSAND-TWO (852), SIXTY-FIVE THOUSAND-THREE (853), SIXTY-FIVE THOUSAND-FOUR (854), SIXTY-FIVE THOUSAND-FIVE (855), SIXTY-FIVE THOUSAND-SIX (856), SIXTY-FIVE THOUSAND-SEVEN (857), SIXTY-FIVE THOUSAND-EIGHT (858), SIXTY-FIVE THOUSAND-NINE (859), SIXTY-SIX THOUSAND (860), SIXTY-SIX THOUSAND-ONE (861), SIXTY-SIX THOUSAND-TWO (862), SIXTY-SIX THOUSAND-THREE (863), SIXTY-SIX THOUSAND-FOUR (864), SIXTY-SIX THOUSAND-FIVE (865), SIXTY-SIX THOUSAND-SIX (866), SIXTY-SIX THOUSAND-SEVEN (867), SIXTY-SIX THOUSAND-EIGHT (868), SIXTY-SIX THOUSAND-NINE (869), SIXTY-SEVEN THOUSAND (870), SIXTY-SEVEN THOUSAND-ONE (871), SIXTY-SEVEN THOUSAND-TWO (872), SIXTY-SEVEN THOUSAND-THREE (873), SIXTY-SEVEN THOUSAND-FOUR (874), SIXTY-SEVEN THOUSAND-FIVE (875), SIXTY-SEVEN THOUSAND-SIX (876), SIXTY-SEVEN THOUSAND-SEVEN (877), SIXTY-SEVEN THOUSAND-EIGHT (878), SIXTY-SEVEN THOUSAND-NINE (879), SIXTY-EIGHT THOUSAND (880), SIXTY-EIGHT THOUSAND-ONE (881), SIXTY-EIGHT THOUSAND-TWO (882), SIXTY-EIGHT THOUSAND-THREE (883), SIXTY-EIGHT THOUSAND-FOUR (884), SIXTY-EIGHT THOUSAND-FIVE (885), SIXTY-EIGHT THOUSAND-SIX (886), SIXTY-EIGHT THOUSAND-SEVEN (887), SIXTY-EIGHT THOUSAND-EIGHT (888), SIXTY-EIGHT THOUSAND-NINE (889), SIXTY-NINE THOUSAND (890), SIXTY-NINE THOUSAND-ONE (891), SIXTY-NINE THOUSAND-TWO (892), SIXTY-NINE THOUSAND-THREE (893), SIXTY-NINE THOUSAND-FOUR (894), SIXTY-NINE THOUSAND-FIVE (895), SIXTY-NINE THOUSAND-SIX (896), SIXTY-NINE THOUSAND-SEVEN (897), SIXTY-NINE THOUSAND-EIGHT (898), SIXTY-NINE THOUSAND-NINE (899), SEVENTY THOUSAND (900), SEVENTY THOUSAND-ONE (901), SEVENTY THOUSAND-TWO (902), SEVENTY THOUSAND-THREE (903), SEVENTY THOUSAND-FOUR (904), SEVENTY THOUSAND-FIVE (905), SEVENTY THOUSAND-SIX (906), SEVENTY THOUSAND-SEVEN (907), SEVENTY THOUSAND-EIGHT (908), SEVENTY THOUSAND-NINE (909), SEVENTY-ONE TH

**STAFF REPORT: THE VILLAGE AT MONTE CRISTO SUBDIVISION**

Date Prepared: June 26, 2026  
Planning and Zoning Meeting: July 9, 2026  
Preliminary Plat Approval

---

**Subject:** Consider the Preliminary Plat Approval of The Village at Monte Cristo Subdivision, being a 43.466 acres out of Lots 21 and 25, East Retama Subdivision recorded in Volume 2, Page 57, Hidalgo County, Texas, Located at 4220 N. Seminary Road, as Requested by Melden & Hunt, Inc.

**Location:** The property is located on the east side of N. Seminary Road and approximately 700 feet north of W. Monte Cristo Road, and within the City of Edinburg, City Limits.

**Zoning:** Property zoning is currently Residential, Urban (RU) & Townhome District at the north half of the property, and Residential, Primary (RP) District at the south half of the property.

**Setbacks:** UDC Setbacks for Residential, Urban (RU) & Townhome and Residential, Primary (RP) Districts will abide by UDC, Article 3, Table 3.102-1

**Analysis:** The Preliminary Plat development consists of 108 Single-Family Residential Primary lots averaging approximately from 13,169.91 to 5,511.85 square feet, and 136 Single-Family Residential Urban lots averaging approximately from 9,768.03 to 4,418.42 square feet.

**Utilities:** Water Distribution System and Sanitary Sewer Collection System will be provided by the City of Edinburg. All utility improvements within the proposed subdivision that are not limited to water system, sewer system, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2021 Standards Manual.

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**Recommendations:**

**City of Edinburg Planning & Zoning Department:**

Staff recommends approval of the Preliminary Plat, subject to compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.



# SUBMITTAL SUMMARY REPORT (PLAT-2026-0373) FOR THE CITY OF EDINBURG

**PERMIT ADDRESS:** 4220 N SEMINARY RD  
EDINBURG, TX 78541

**PARCEL:** E0900-00-021-0000-00

**APPLICATION DATE:** 04/07/2026  
**EXPIRATION DATE:** 10/04/2026

**SQUARE FEET:** 0  
**VALUATION:** \$0.00

**DESCRIPTION:** The Village at Monte Cristo Subdivision

CONTACTS	NAME	COMPANY	ADDRESS
Applicant	Lydia Flores	Melden & Hunt Inc.	115 W. McIntyre Street Edinburg, TX 78541
	MARLON GARZA	MELDEN AND HUNT	115 W McIntyre Edinburg, TX 75841
Authorized Agent	Mario Reyna	Melden & Hunt Inc	115 W McIntyre St Edinburg, TX 78541
Owner	Mariel Grosso	The Village At Montecristo LLC	

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
Planning & Zoning Review (PZ, Eng, Fire, Util, SW) v.1	04/09/2026	04/22/2026		Requires Re-submit
Planning & Zoning Review (PZ, Eng, Fire, Util, SW) v.1				Not Received

### SUBMITTAL DETAILS

#### Planning & Zoning Review (PZ, Eng, Fire, Util, SW) v.1

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Engineering (Engineering)	Reyna Martinez	04/22/2026	04/27/2026	Complete
Fire (Fire)	Anthony Riojas	04/22/2026	04/28/2026	Complete
<i>Comments</i>	PENDING INFFORMATION: WATER DISTRIBUTION: Recommend switch water line to other side UDC no water connections under pavement			
Planning & Zoning (Planning & Zoning)	Leonel Duran	04/22/2026	04/16/2026	Complete
<i>Comments</i>	Based off zoning at recording phase, please see Article 4.204 of the City of Edinburg Unified Development Code for required bufferyard.  Landscaping will be required at site plan/ building permit stage. For single-family residential, one large tree will be required in the front of each lot to provide shade to paved surfaces such as the street, side walk, and driveway.			
Planning & Zoning (Planning & Zoning)	Anaisa Licerio	04/22/2026	04/28/2026	Complete
Public Works (Public Works)	David De La Fuente	04/22/2026	04/23/2026	Complete
<i>Comments</i>	SW3P, NOI, Large Construction Site Notice, Erosion Control Plan, Stormwater Plat Note			
Solid Waste (Solid Waste)	Laura Olivarez	04/22/2026	04/09/2026	Complete
<i>Comments</i>	Submittal Requirements and Site Development Guidelines sent. (ET)			
Utilities (Utilities)		04/22/2026	04/28/2026	Complete
<i>Comments</i>				

# SUBMITTAL SUMMARY REPORT (PLAT-2026-0373)

The preliminary utility fees are as follows: The preliminary utility fees are as follows:

1. Water Tap Fees - \$157,950
2. Sewer Fees - \$15,795
3. Water Rights - \$130,398
4. Transfer Fees - N/A

Please note that these fees are preliminary and are subject to change based on the final plat. Final fees must be requested from the City and must be paid prior to recording of the plat.

Will submit comments to Engineering and Planning & Zoning.

1. Water Tap Fees -
2. Sewer Fees -
3. Water Rights -
4. Transfer Fees -

Please note that these fees are preliminary and are subject to change based on the final plat. Final fees must be requested from the City and must be paid prior to recording of the plat.

Will submit comments to Engineering and Planning & Zoning.

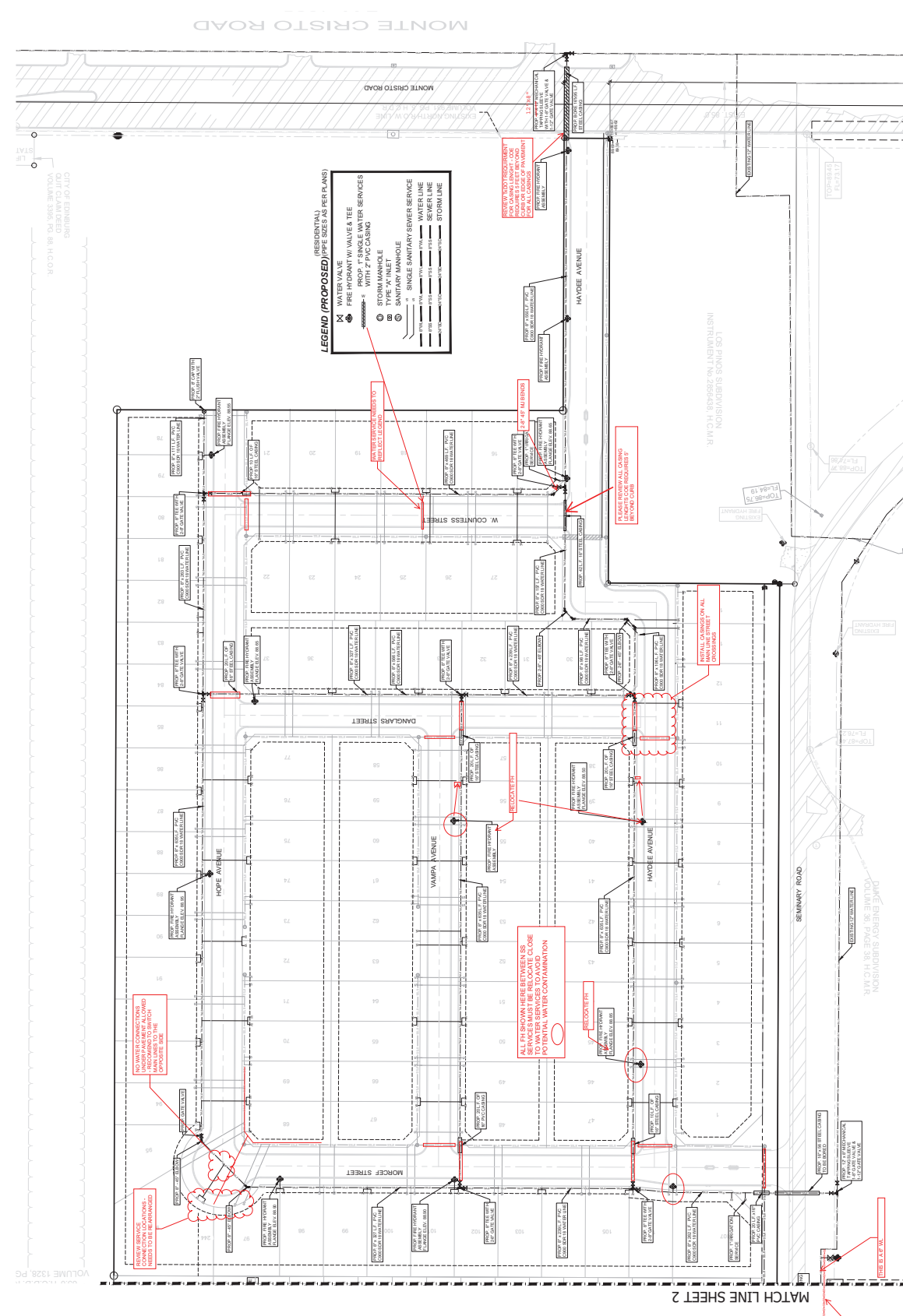
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Utilities (Utilities)	Jose Guajardo	04/22/2026	04/22/2026	Requires Re-submit
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**LEGEND (RESIDENTIAL) (PIPE SIZES AS PER PLANS)**

- WATER VALVE
- FIRE HYDRANT W/ VALVE & TEE
- STORM MANHOLE WITH 2" PVC CLEANING
- TYPE "K" INLET
- SANITARY MANHOLE
- SINGLE SANITARY SERVICE SERVICE WATER LINE
- SEWER LINE
- STORM LINE

CONTRACTOR TO VERIFY EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

ALL EXISTING WATER SERVICES TO WATER SERVICES TO AVOID POTENTIAL WATER CONTAMINATION

EXISTING UTILITY CANNOT BE RELOCATED TO AVOID CONFLICTS

EXISTING UTILITY CANNOT BE RELOCATED TO AVOID CONFLICTS

EXISTING UTILITY CANNOT BE RELOCATED TO AVOID CONFLICTS

NOTE:  
\*CONTRACTOR TO VERIFY EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

DAKOTA ENERGY SUBDIVISION  
VOLUME 98, PAGE 308 H.C.M.R.

VOLUME 1328 PG 17

MATCH LINE SHEET 2





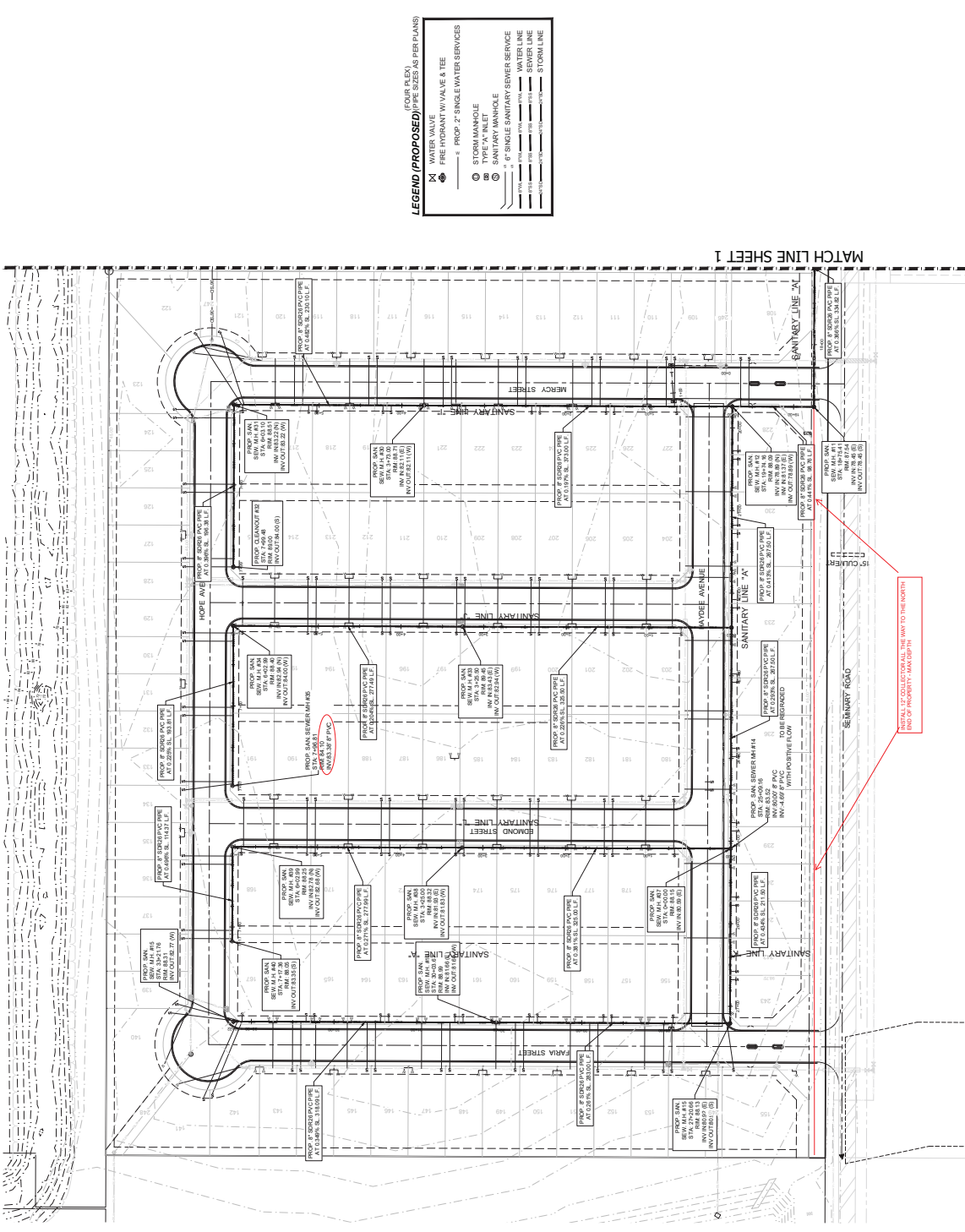
JOB NO. 24090.01

MILDEN & HUNT INC.  
 ENGINEERS & ARCHITECTS  
 115 W. MAIN STREET, ENDRISBURG, TX 75844  
 TEL: (936) 332-2281 FAX: (936) 331-1339  
 WWW.MILDENANDHUNT.COM

PROJECT: ENG. MARIO A. BENA  
 DRAWING: 24090.01  
 DATE: 11/15/2018  
 SCALE: 1" = 50'  
 RELEASED DATE: 11/15/2018  
 RELEASED BY: M.A. BENA  
 PROJECT ENGINEER: MARIO A. BENA

THE VILLAGE AT MONTE CRISTO  
 ENDRISBURG, TEXAS  
 HIDALGO COUNTY

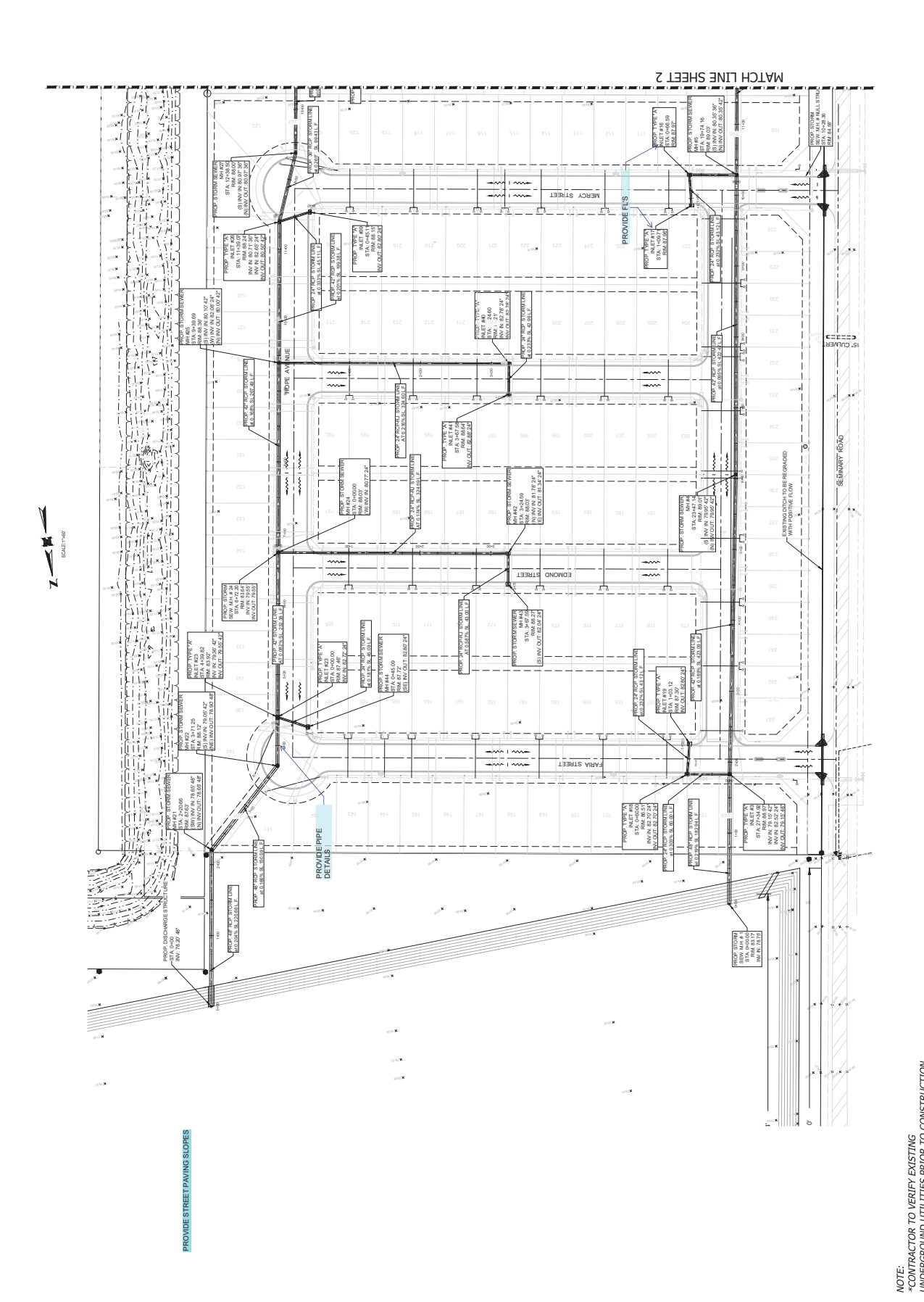
PROPOSED SANITARY SEWER LAYOUT IMPROVEMENTS  
 SHEET 10 OF 39



**LEGEND (PROPOSED) (PIPE SIZES AS PER PLANS)**

- WATER VALVE
- FIRE HYDRANT W/ VALVE & TEE
- PROP. 2" SINGLE WATER SERVICES
- STORM MANHOLE
- TYPE 'A' MANHOLE
- TYPE 'B' MANHOLE
- PROP. 15' CUTTERS TO BE INSTALLED 15' WAY TO THE NORTH END OF PROPERTY - MANHOLE #15
- PROP. 6" SINGLE SANITARY SEWER SERVICE
- WATER LINE
- SEWER LINE
- STORM LINE

NOTE:  
 \*CONTRACTOR TO VERIFY EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.



JOB No. 24090.01

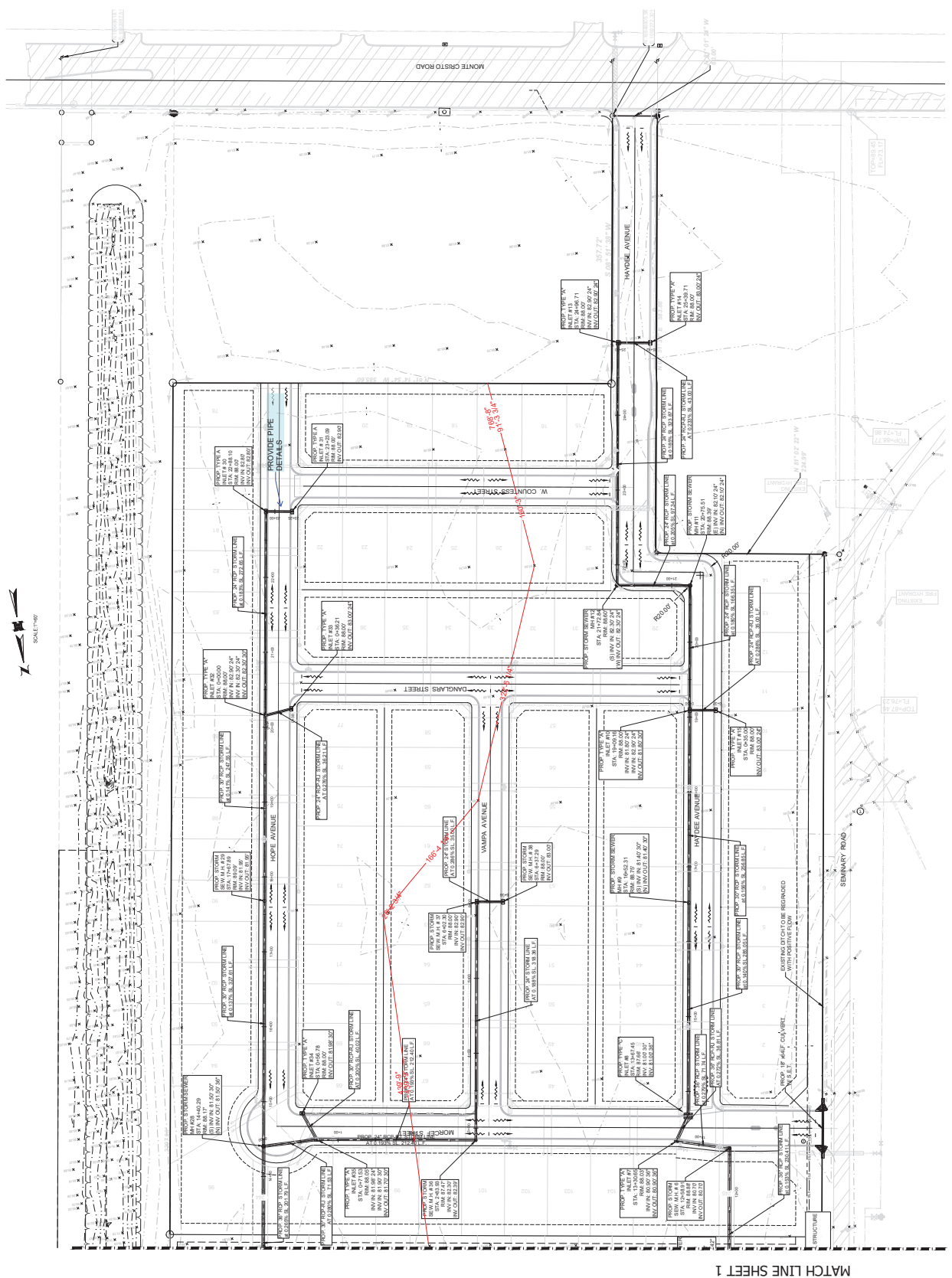
MELDEN & HUNT INC.  
 CONSULTING ENGINEERS & SURVEYORS  
 1115 W. MONTYNE - DENVER, CO 80202  
 TEL: (303) 733-1100 FAX: (303) 733-1109  
 WWW.MELDENANDHUNT.COM

PROJECT: ENG. AMBRO A. BRYNA  
 DRAWING: 24090.01  
 SCALE: 1" = 60'  
 DATE: 11/11/11  
 RELEASED BY: [Signature]  
 RELEASED DATE: 11/11/11

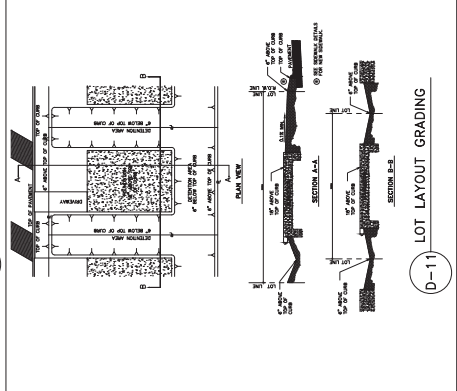
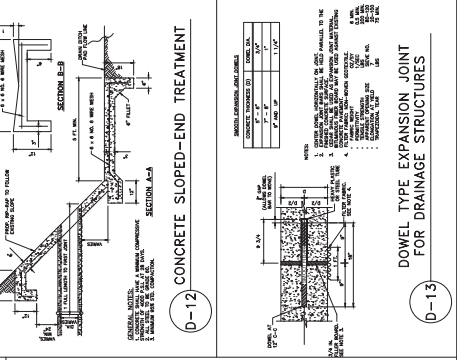
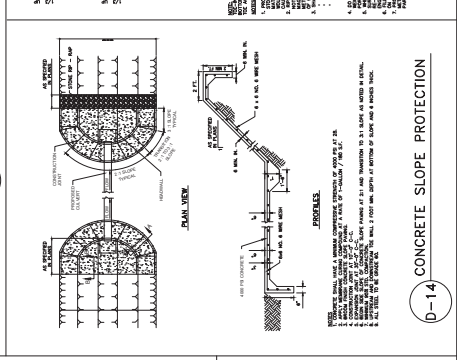
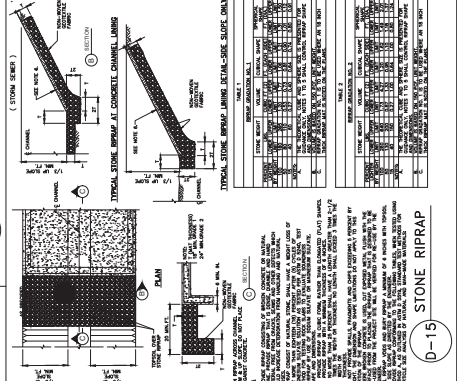
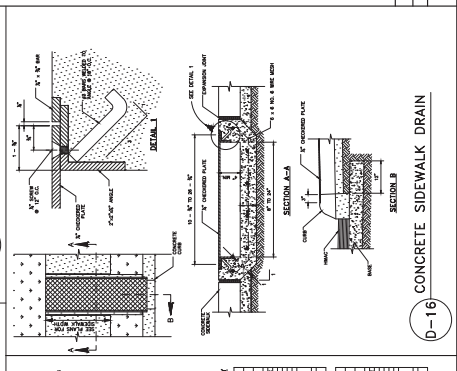
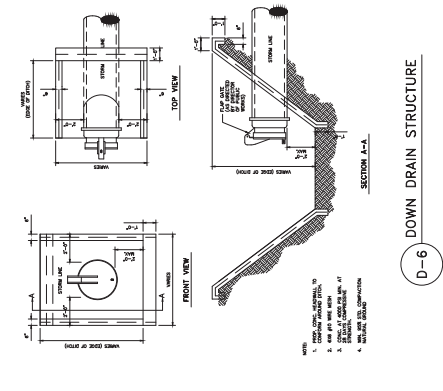
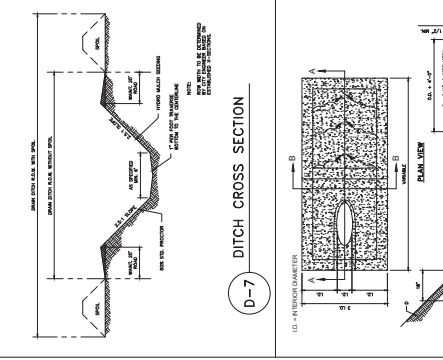
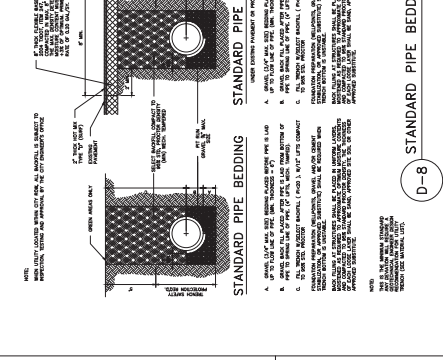
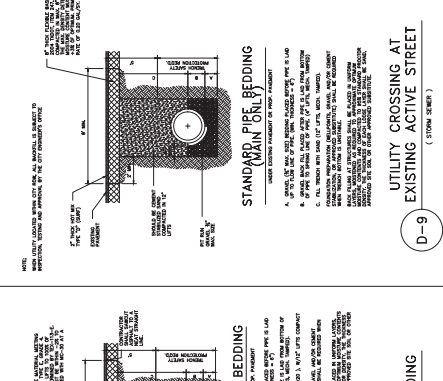
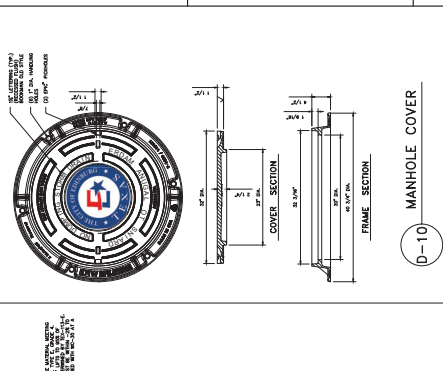
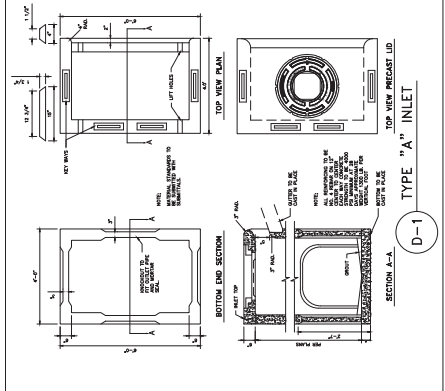
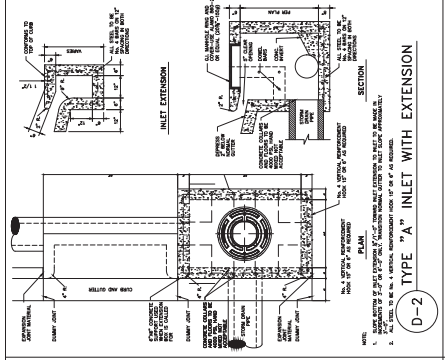
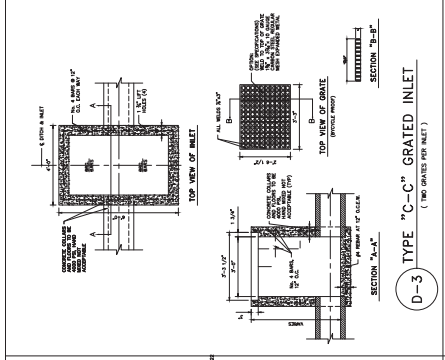
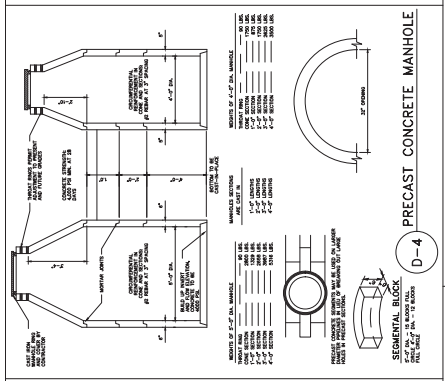
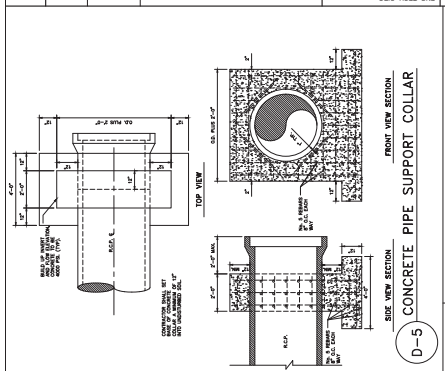
THE VILLAGE AT  
 MONTE CRISTO  
 EDINBURG, TEXAS  
 HIDALGO COUNTY

# PROPOSED DRAINAGE LAYOUT IMPROVEMENTS

SHEET 17 OF 39  
 DATE: 11/11/11



NOTE:  
 \*CONTRACTOR TO VERIFY EXISTING  
 UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.



# PROPOSED STREET LAYOUT IMPROVEMENTS

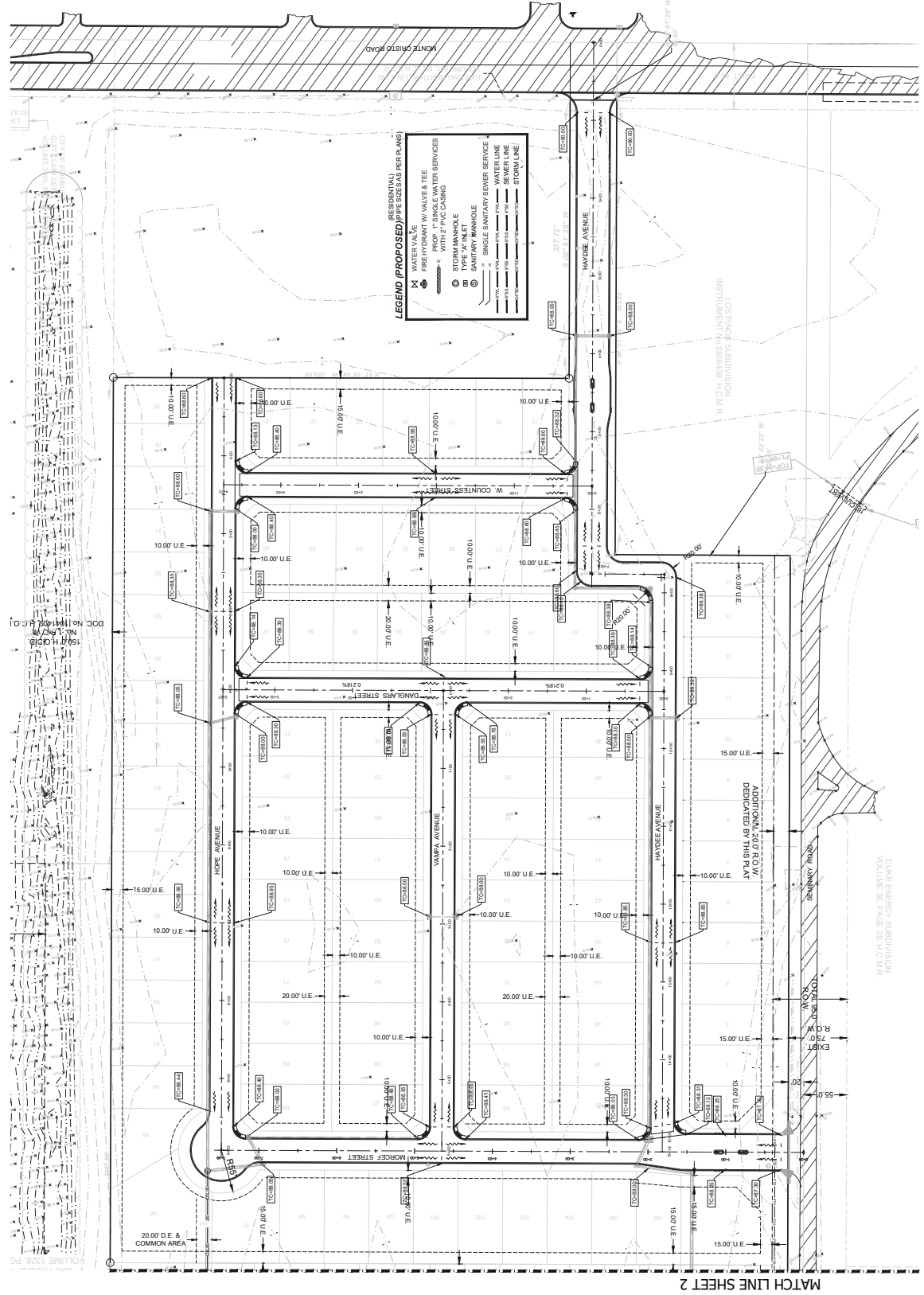
THE VILLAGE AT MONTE CRISTO EDINBURG, TEXAS HIDALGO COUNTY



PROJECT ENG. MBRD & BRYNA  
DATE: \_\_\_\_\_  
SCALE: N.T.S.

MEYDEN & HUNT INC.  
1145 W. MAIN STREET - EDINBURG, TX 78941  
ESTABLISHED 1947 - www.meydenandhunt.com

JOB No. 24090.01



**LEGEND PROPOSED PIPE SIZES AS PER PLAN**

⊗	WATER VALVE	W/ 1" VALVE & TEE
⊙	1" SINGLE WATER SERVICE	
⊕	STORM MANHOLE	WITH 2" P.A.C. CASING
⊚	TYPE "A" MANHOLE	
⊛	SINGLE SANITARY SEWER SERVICE	
⊜	WATER LINE	
⊝	SEWER LINE	
⊞	STORM LINE	

VOLUME 1328, PG. 165

MATCH LINE SHEET 2

DUKE ENERGY SUBDIVISION VOLUME 98, PAGE 98, H.C.M.R.

ADDITIONAL 100' ROW DEDICATED BY THIS PLAN

20.00' D.E. & COMMON AREA

THIS DOCUMENT IS UNCLASSIFIED DATE 05-22-2013 BY 60322 UCBAW/BJS/STP

PROJECT: THE VILLAGE AT EDINBURG, TEXAS  
SHEET: 24 OF 39

# PROPOSED STREET LAYOUT IMPROVEMENTS

THE VILLAGE AT MONTE CRISTO  
EDINBURG, TEXAS  
HIDALGO COUNTY

**LEGEND (PROPOSED) (FOURPLEX) (PIPE SIZES AS PER PLANS)**

- ⊗ WATER VALVE
- ⊕ FIRE HYDRANT W/ VALVE & TEE
- STORM MANHOLE
- ⊙ TYPE 'A' INLET
- ⊙ 6" SINGLE SANITARY SEWER SERVICE
- ⊙ WATERLINE
- ⊙ SEWERLINE
- ⊙ STORMLINE

— 4" PROP. 2" SINGLE WATER SERVICES

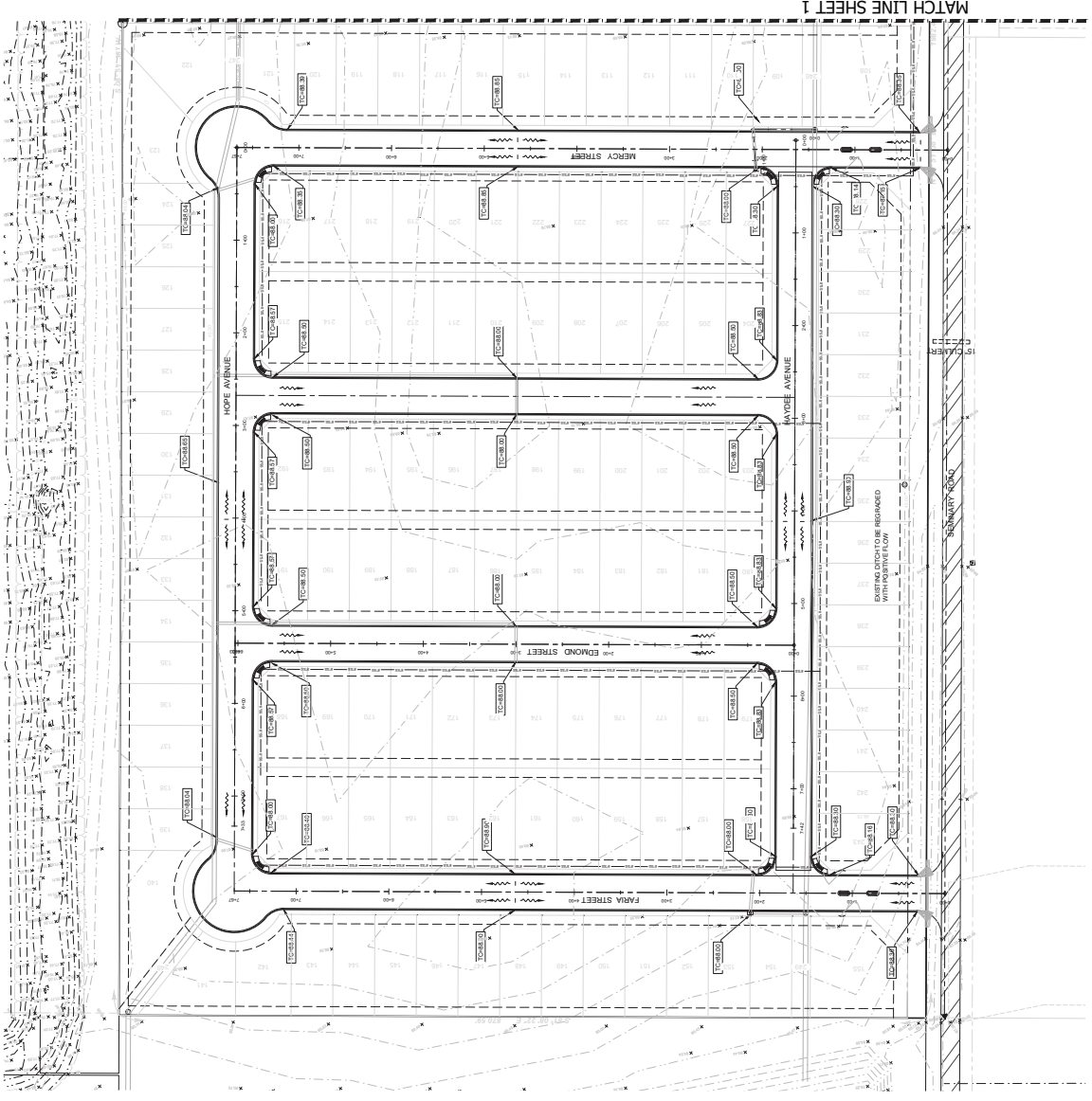
STATE OF TEXAS  
DEPARTMENT OF TRANSPORTATION  
CONSTRUCTION DIVISION  
HYDRAULIC ENGINEER  
*M. C. Brinson*  
MAY 28, 2008  
A LICENSED PROFESSIONAL ENGINEER  
IN THE STATE OF TEXAS  
NO. 10002000000000000000

PROJECT: ENG. MARIO A. RIVERO  
BOOK: \_\_\_\_\_  
RELEASE DATE: \_\_\_\_\_  
SCALE: N.T.S.

**MEDDEN & HUNT INC.**  
CORPORATE OFFICE • ENGINEERING SERVICES  
115 W. MARSHALL - EDINBURG, TX 77124  
ESTABLISHED 1947 • www.meddenandhunt.com

REVISION: \_\_\_\_\_  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_

JOB No. 24090.01





JOB NO. 24090.01

REVISION  
 DATE  
 BY  
 MEEDEN & HUNT INC.  
 115 W. MONTYNE - FARMINGTON, TX 75641  
 ESTABLISHED 1947 - www.meedenandhunt.com

PROJECT ENG. MARIA A. REYNOLDS  
 PROJECT DATE  
 RELEASE DATE  
 SCALE: 1" = 60'  
 TEAM LEADER: JEFFREY L. HARRIS



THE VILLAGE AT MONTE CRISTO  
 EDINBURG, TEXAS  
 HIDALGO COUNTY

# PROPOSED STREET LIGHT LAYOUT IMPROVEMENT

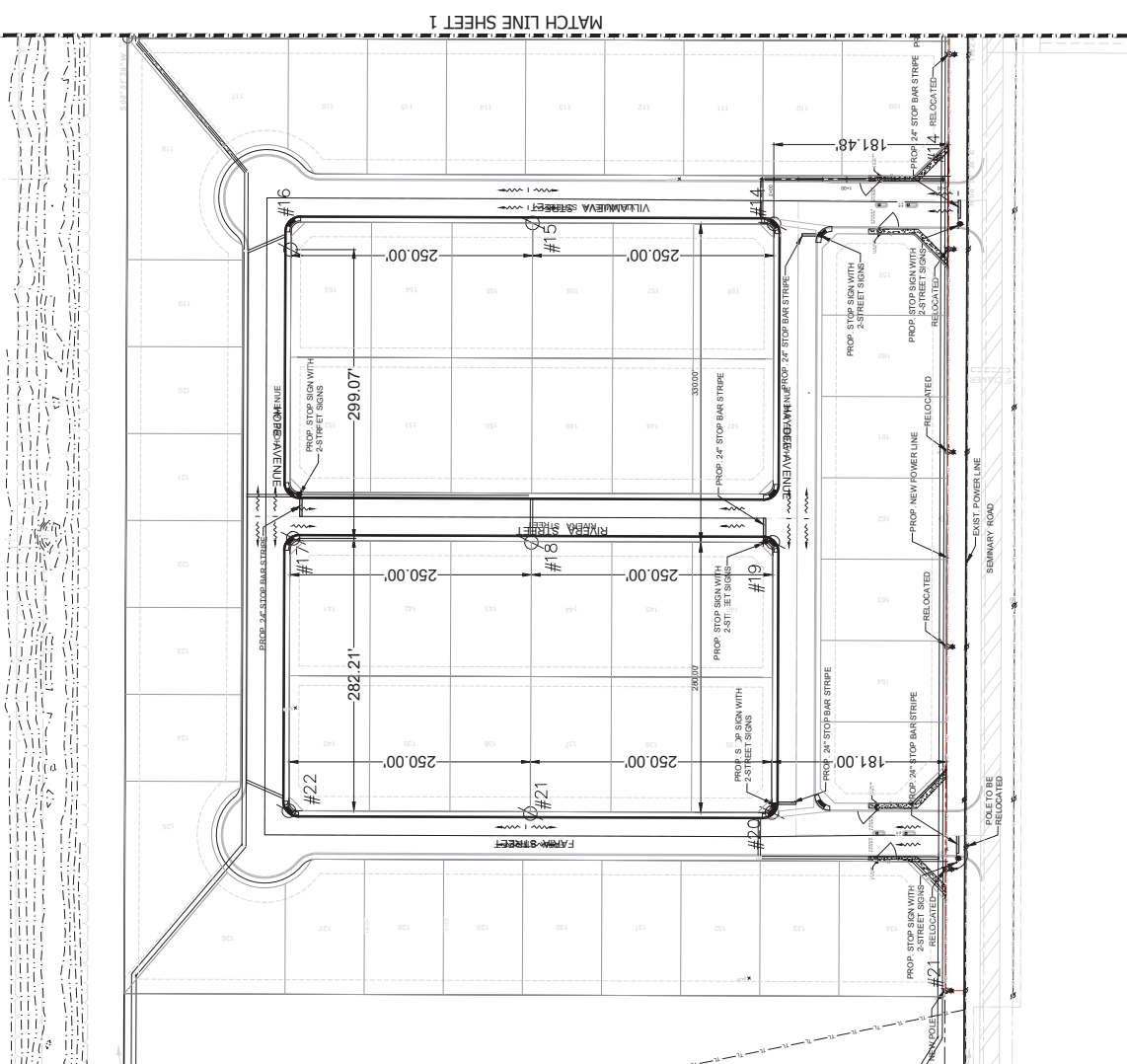
DATE: 04/20/21  
 DRAWN BY: ANDREW  
 REVISION: SCATING  
 SCALE: N.T.S.  
 SHEET: 34 OF 39



SCALE IS INCORRECT. PLEASE REVISE

LEGEND:

PROPOSED LIGHT POLE



**P-24**

STREET SIGN DETAIL

SCALE: N.T.S. DATE: 04/20/21 DRAWN BY: ANDREW

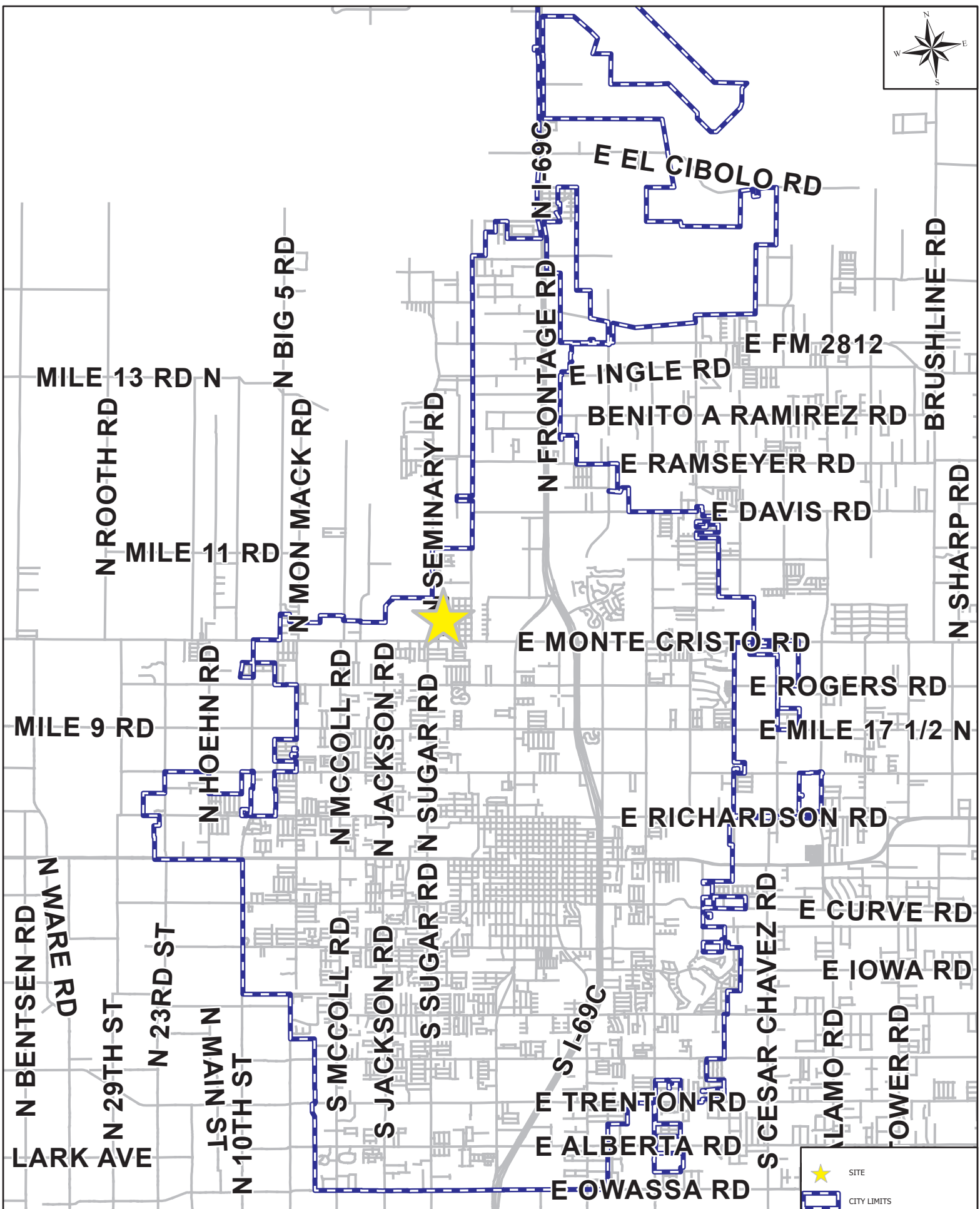
**Trenton Rd**

600

VARIES

ITEM	ITEM DESCRIPTION	ITEM SIZE BY SIGN HEIGHT (INCHES)
A	Sign Length	VAR 12 VAR 18 VAR 24
B	Sign Height	VAR 12 VAR 18 VAR 24
C	Letter Size	3.5" 5.0" 6.0" 8.0"
D	Letter Spacing	1.5" 2.0" 2.5" 3.0"
E	Stroke Width	1/16" 1/8" 1/4" 3/8" 1/2" 5/8" 3/4"
F	Stroke Color	100% CMYK 100% CMYK 100% CMYK
G	Plate Spacing	2" 2" 2" 2" 2" 2" 2"
H	Plate Spacing	VAR 1 VAR 1 VAR 1

NOTE: PLATE BACKGROUND COLOR IS BLUE (RHS 0.025)



N BENTSEN RD  
N WARE RD

LARK AVE  
N 29TH ST  
N 23RD ST  
N 10TH ST  
N MAIN ST

MILE 13 RD N  
N Rooth Rd  
MILE 11 RD  
N Mon Mack Rd

N BIG 5 RD  
N SEMINARY RD

S MCCOLL RD  
S JACKSON RD  
S SUGAR RD

4220 N SEMINARY RD

S I-69C  
E OWASSA RD  
E ALBERTA RD  
E TRENTON RD

E MONTE CRISTO RD

E RICHARDSON RD

E CURVE RD  
E IOWA RD

E ROGERS RD  
E MILE 17 1/2 N

E INGLE RD  
E RAMSEYER RD  
E DAVIS RD

E EL CIBOLO RD

N FRONTAGE RD  
N I-69C

E FM 2812

BENITO A RAMIREZ RD

BRUSHLINE RD

N SHARP RD

S CESAR CHAVEZ RD

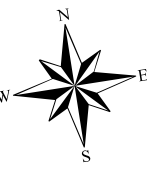
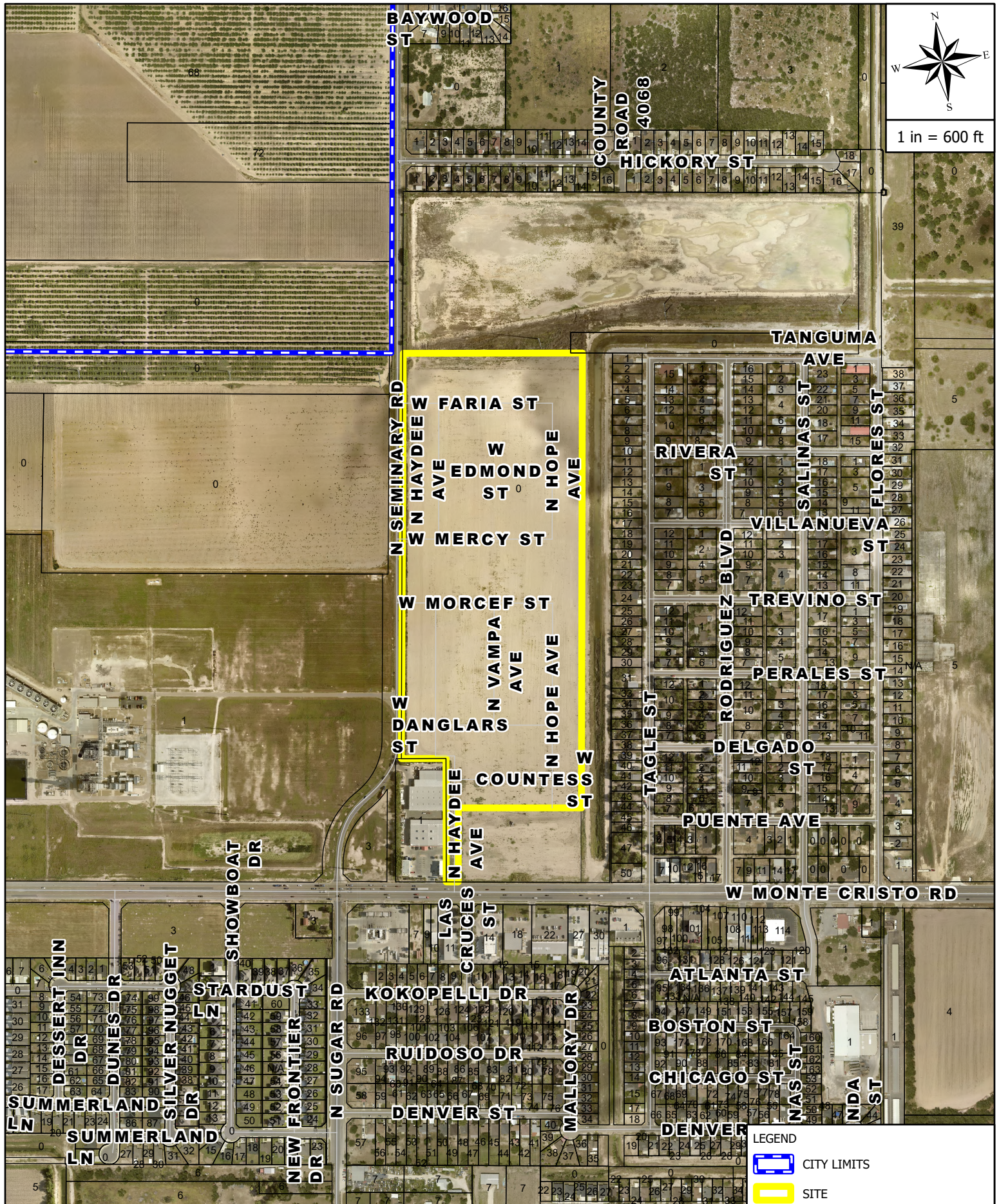
LAMO RD

TOWER RD





EDINBURG NEW DEVELOPMENT MAP

4220 N SEMINARY RD



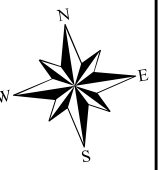
1 in = 600 ft

- LEGEND
-  CITY LIMITS
  -  SITE

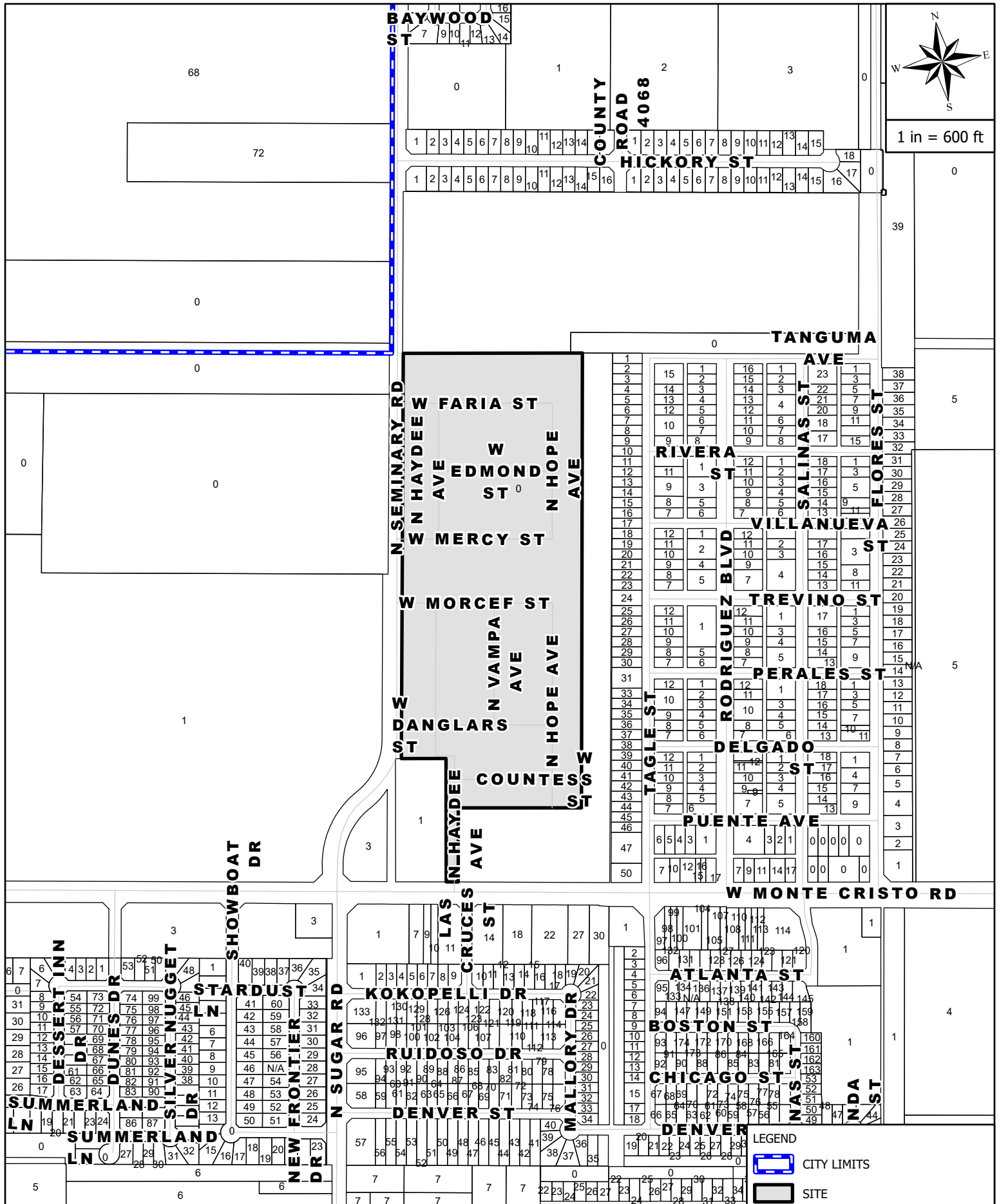


**AERIAL MAP**  
4220 N SEMINARY RD





1 in = 600 ft



### MAILOUT AND SITE MAP

4220 N SEMINARY RD

- LEGEND
- CITY LIMITS
  - SITE





**STAFF REPORT: THE RESERVE AT MCCOLL SUBDIVISION**

Date Prepared: June 26, 2026  
Planning and Zoning Meeting: July 9, 2026  
Preliminary Plat Approval

---

**Subject:** Consider the Preliminary Plat approval of The Reserve at McColl Subdivision, being a 3.007 acres tract of land out of Lot 15, Section 275, Texas-Mexican Railway Company's Survey Subdivision, Hidalgo County, Texas, located at 2698 Hedfelt Dr. as Requested by Melden & Hunt, Inc.

**Location:** The property is located east of S. McColl Road and approximately 1,471 ft. south of W. Freddy Gonzalez Dr., and within the City of Edinburg, City Limits.

**Zoning:** Property zoning is currently Residential, Urban & Townhome (RU) District

**Setbacks:** Proposed UDC Setbacks for Residential, Urban & Townhome (RU) District will abide by UDC, Article 3, Table 3.102-1

**Analysis:** The Preliminary Plat development consists of 27 Single-Family Residential lots averaging from 2,480.4 square feet to 3,389.88 square feet.

**Utilities:** Water Distribution System and Sanitary Sewer Collection System will be provided by the City of Edinburg. All utility improvements within the proposed subdivision that are not limited to water system, sewer system, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2021 Standards Manual.

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**Recommendations:**

**City of Edinburg Planning & Zoning Department:**

Staff recommends approval of the Preliminary Plat, subject to compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.



# SUBMITTAL SUMMARY REPORT (PLAT-2026-0382) FOR THE CITY OF EDINBURG

<b>PERMIT ADDRESS:</b> 2698 Hedfelt DR Edinburg, 78539	<b>PARCEL:</b> T2100-00-275-0015-05	<b>APPLICATION DATE:</b> 05/05/2026	<b>SQUARE FEET:</b> 0	<b>DESCRIPTION:</b> 3.056 Acres o/o Lot 15, Section 275 Texas-Mexican Railway Company's Survey
<b>EXPIRATION DATE:</b> 11/01/2026		<b>VALUATION:</b> \$0.00		

CONTACTS	NAME	COMPANY	ADDRESS
Applicant	Wendy Rodriguez	Melden & Hunt, Inc.	115 W McIntyre Edinburg, TX 78541

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
Planning & Zoning Review (PZ, Eng, Fire, Util, SW) v.1	05/06/2026	05/20/2026		In Review
Planning & Zoning Review (PZ, Eng, Fire, Util, SW) v.1				Not Received

## SUBMITTAL DETAILS

### Planning & Zoning Review (PZ, Eng, Fire, Util, SW) v.1

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Engineering (Engineering)	Isael Posadas	05/20/2026	05/22/2026	Complete
Fire (Fire)	Anthony Riojas	05/20/2026	05/21/2026	Requires Re-submit
<i>Comments</i>	PENDING INFORMATION: 1. SITE PLAN: Need to provide a property site plan for intended property use; current plan submittals do not have adequate details for review. 2. STREET DETAILS: (ROW is 50') Shall meet IFC 2018, UDC 2022, and COESM 2021 (i.e. street name, width, block length, cul-de-sac r=96ft minimum) 3. FIRE HYDRANTS: Need to provide fire hydrant(s) at 300" intervals and shall meet IFC 2018/UDC 2021/EOCSM 2021 (i.e. Minimum 1000gpm @30psi, looped 8-inch waterline, spacing at 300'/600' based on designated zoning district, 30-inch setbacks) 4. WATER DISTRIBUTION: Need to provide minimum 8-inch looped waterlines for distribution systems serving fire hydrants. Shall meet UDC 2022 and COESM 2021 standards. 5. BUILDING SEPARATION: (will the townhomes be detached or attached ?) Shall meet IFC/IBC 2018, UDC 2022, and COESM 2021 (i.e. building separation, lot standards, access roads, fire rating)			
Planning & Zoning (Planning & Zoning)	Leonel Duran	05/20/2026	05/18/2026	Complete
<i>Comments</i>	Based off of zoning at recording phase, please see Section 4.204 of the UDC for required bufferyard. Requirements are subject to change at building permit stage.  Landscaping will be required per lot at the time of building permit review.			
Planning & Zoning (Planning & Zoning)	Claudia Mariscal	05/20/2026		In Review
<i>Comments</i>	Relines and comments on bluebeam			
Public Works (Public Works)	David De La Fuente	05/20/2026	05/19/2026	Complete
<i>Comments</i>	Erosion Control Plan, Small Construction Site Notice			
Solid Waste (Solid Waste)	Laura Olivarez	05/20/2026	05/07/2026	Complete
<i>Comments</i>	Submittal Requirements and Site Development Guideline sent. (ET)			
Utilities (Utilities)	Priscilla Bernal	05/20/2026	05/13/2026	Approved
<i>Comments</i>	The preliminary utility fees are as follows: 1. Water Tap Fees - \$17,550.00 2. Sewer Fees - \$1,755.00 3. Water Rights - \$9,168.00 4. Transfer Fees - N/A  Please note that these fees are preliminary and are subject to change based on the final plat. Final fees must be requested from the City and must be paid prior to recording of the plat. Will submit comments to Engineering and Planning & Zoning			
Utilities (Utilities)	Jose Guajardo	05/20/2026	05/20/2026	Requires Re-submit
<i>Comments</i>	-Need to provide SS layout for review -Need to show existing utilities (WL and SS) -need casings at all street crossings.			



# MAP OF THE RESERVE AT MCCOLL SUBDIVISION

PLAT SHOWING  
3.056 ACRES OUT OF  
LOT 15, SECTION 275  
TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY  
VOL. 24, PGS. 168-171 H.C.M.R.  
AN ADDITION TO THE CITY OF EDINBURG  
HIDALGO COUNTY, TEXAS

STATE OF TEXAS  
COUNTY OF HIDALGO

WE, THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE RESERVE AT MCCOLL SUBDIVISION ADDITION OF THE CITY OF EDINBURG, TEXAS AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES, THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

THE CENTER OFFICES, LIMITED LIABILITY COMPANY  
2001 SANTA ANA AVE  
RANCHO VIEJO, TX 78575

G. WILLIAM RUPPERT - MANAGER  
2001 SANTA ANA AVE  
RANCHO VIEJO, TX 78575

DATE

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED G. WILLIAM RUPPERT, AND PROVED TO ME THROUGH HIS TEXAS DEPARTMENT OF PUBLIC SAFETY DRIVERS LICENSE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO, BEING BY ME, FIRST DULY SWORN AND DECLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT AND ACKNOWLEDGED THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREBY EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

NOTARY PUBLIC IN THE STATE OF TEXAS  
MY COMMISSION EXPIRES:

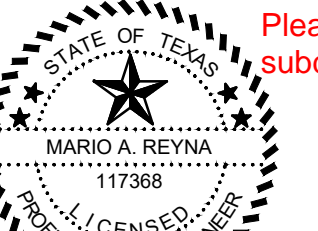
STATE OF TEXAS  
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

MARIO A. REYNA P.E. # 117368  
DATE PREPARED: 08-05-2024  
ENGINEERING JOB NO. 24069.00

DATE:

MELDEN & HUNT, INC.  
TEXAS REGISTRATION F-1435



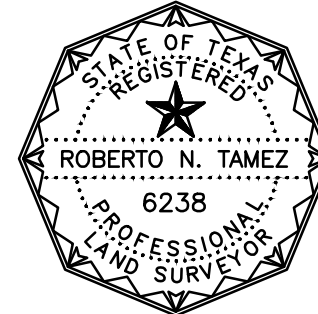
Please put correct subdivision

STATE OF TEXAS  
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE HEREIN PRESENTED PLAT AND DESCRIPTION OF ENCLAVE ON CLOSNER SUBDIVISION, WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON 05/22/2024, AND THAT IT IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

ROBERTO N. TAMEZ, R.P.L.S. # 6238  
DATE SURVEYED: 5-22-24  
T-1164, PAGE: 68  
SURVEYING JOB NO. 24503.08

DATE:



Due to the road proximity to the daycare playground a redesign of the plat layout is required.

SHOW ADJONER INFO, ALSO THERE IS EXIST 50-FT ROW

50-FT ROW

Please include length of block

R.O.W minimum is 50 ft refer to UDC Table 5.203-1.

Missing U E along the south

MIN 10-FT UE

## METES AND BOUNDS DESCRIPTION

A TRACT OF LAND CONTAINING 2.830 ACRES SITUATED IN HIDALGO COUNTY, SAID 2.830 ACRES BEING OUT TEXAS OUT OF A 3.091-ACRE TRACT OUT OF LOT 15, SECTION 275 TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 24, PAGES 168-171, HIDALGO COUNTY DEED RECORDS, WHICH SAID 2.830 ACRE TRACT CONVEYED TO TEXAS REGIONAL BANK CUST, FOR ROBERT S. COOK & CREW PROPERTIES L.T.D., BY VIRTUE OF A SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 3122496, HIDALGO COUNTY OFFICIAL RECORDS, SAID 2.830 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 15, SECTION 275, WITHIN HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 RIGHT-OF-WAY.

THENCE, S 08° 54' 49" W ALONG THE EAST LINE OF SAID LOT 15, A DISTANCE OF 126.00 FEET TO A NO. 4 REBAR SET (NORTHING:16629763.544, EASTING:1084696.114) FOR THE NORTHEAST CORNER AND POINT OF BEGINNING OF HEREIN DESCRIBED TRACT;

- THENCE, S 08° 54' 49" W (S 08° 48' 33" W DEED CALL) ALONG THE EAST LINE OF SAID LOT 15 AND WITHIN HIDALGO COUNTY DRAINAGE DISTRICT NO. 1, RIGHT-OF-WAY A DISTANCE 204.0 FEET TO A NO. 4 REBAR SET AT THE SOUTHEAST CORNER OF SAID LOT 15 FOR THE SOUTHEAST CORNER OF THIS TRACT;
- THENCE, N 81° 05' 11" W (N 81° 11' 27" W DEED CALL) AT A DISTANCE OF 60.0 FEET PASS A NO. 4 REBAR SET ON THE WEST RIGHT-OF-WAY LINE OF HIDALGO COUNTY DRAINAGE DISTRICT NO. 1, AT A DISTANCE OF 80.0 FEET PASS A NO. 4 REBAR SET ON THE WEST LINE OF A SANITARY SEWER EASEMENT DEDICATED TO THE CITY OF EDINBURG, CONTINUING A TOTAL DISTANCE OF 604.50 FEET TO A NO. 4 REBAR SET FOR THE SOUTHWEST CORNER OF THIS TRACT;
- THENCE, N 08° 54' 49" E A DISTANCE OF 204.00 FEET TO A NO. 4 REBAR SET FOR THE NORTHWEST CORNER OF SAID TRACT;
- THENCE, S 81° 05' 11" E AT A DISTANCE OF 524.50 FEET PASS A NO. 4 REBAR SET ON THE WEST LINE OF A SANITARY SEWER EASEMENT DEDICATED TO THE CITY OF EDINBURG, AT A DISTANCE OF 644.50 FEET PASS A NO. 4 REBAR SET ON THE WEST RIGHT-OF-WAY LINE OF HIDALGO COUNTY IRRIGATION DISTRICT NO. 1, CONTINUING A TOTAL DISTANCE OF 604.50 FEET TO THE POINT OF BEGINNING, AND CONTAINING 2.830 ACRES OF LAND, MORE OR LESS.

## METES AND BOUNDS DESCRIPTION

A TRACT OF LAND CONTAINING 0.177 OF ONE ACRE (7,702.975 SQUARE FEET) SITUATED IN HIDALGO COUNTY, TEXAS, SAID 0.177 OF ONE ACRE (7,702.975 SQUARE FEET) BEING OUT OF A 3.091-ACRE TRACT OUT OF LOT 15, SECTION 275 TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 24, PAGES 168-171, HIDALGO COUNTY DEED RECORDS, WHICH SAID 0.177 OF ONE ACRE (7,702.975 SQUARE FEET) TRACT BEING OUT OF A CERTAIN TRACT CONVEYED TO TEXAS REGIONAL BANK CUST FOR ROBERT S. COOK & CREW PROPERTIES L.T.D., BY VIRTUE OF A SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NO. 3122496, HIDALGO COUNTY OFFICIAL RECORDS SITUATED IN THE COUNTY OF HIDALGO, TEXAS, SAID 0.177 OF ONE ACRE (7,702.975 SQUARE FEET) ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 15, SECTION 275, WITHIN HIDALGO COUNTY IRRIGATION DISTRICT NO. 1, RIGHT-OF-WAY;

THENCE, S 08° 54' 49" W ALONG THE EAST LINE OF SAID LOT 15, A DISTANCE OF 126.00 FEET;

- THENCE, S 08° 54' 49" W A DISTANCE OF 204.00 FEET TO A NO. 4 REBAR SET FOR THE SOUTHEAST CORNER OF THIS TRACT;
- THENCE, N 81° 05' 11" W ALONG THE SOUTH LINE OF ARLEY J. ELSIK AND WIFE BEVERLY J. ELSIK BY VIRTUE OF A WARRANTY DEED RECORDED UNDER VOLUME 1941, PAGE 80, HIDALGO COUNTY DEED RECORDS, AND THE NORTH LINE OF SAID TEXAS REGIONAL BANK CUST FOR ROBERT COOK & CREW PROPERTIES A DISTANCE OF 636.93 FEET TO A NO. 4 REBAR SET (NORTHING:16629857.207, EASTING:1084098.914) FOR THE NORTHEAST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;
- THENCE, N 08° 54' 49" E AT A DISTANCE OF 74.70 FEET PASS A NO. 4 REBAR FOUND IN LINE AT A DISTANCE OF 140.02 FEET PASS A NO. 4 REBAR FOUND IN LINE, CONTINUING A TOTAL DISTANCE OF 154.00 FEET TO A NO. 4 REBAR SET FOR AN INSIDE POINT OF THIS TRACT;
- THENCE, N 81° 05' 11" W A DISTANCE OF 23.50 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
- THENCE, N 08° 54' 49" E A DISTANCE 50.00 FEET TO A NO. 4 REBAR SET FOR THE NORTHWEST CORNER OF THIS TRACT, FROM WHICH A NO. 4 REBAR FOUND BEARS S 53° 28' 14" W A DISTANCE OF 0.46 FEET;
- THENCE, S 81° 05' 11" E ALONG THE SOUTH LINE OF SAID ARLEY J. ELSIK AND WIFE BEVERLY J. ELSIK AND THE NORTH LINE OF SAID TEXAS REGIONAL BANK CUST FOR ROBERT COOK & CREW PROPERTIES, A DISTANCE OF 2.71 FEET PASS A NO. 4 REBAR FOUND IN LINE CONTINUING A TOTAL DISTANCE OF 55.50 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.177 OF ONE ACRE (7,702.975 SQUARE FEET) OF LAND MORE OR LESS.

HIDALGO COUNTY IRRIGATION DISTRICT NO. 2

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 RIGHTS OF WAY OR EASEMENTS.

APPROVED BY: PRESIDENT SECRETARY

I, THE UNDERSIGNED, CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, TEXAS DO HEREBY CERTIFY THE SUBDIVISION PLAT KNOWN AS THE RESERVE AT MCCOLL SUBDIVISION CONFORMS TO ALL SUBDIVISION REQUIREMENTS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED AND HAS BEEN

APPROVED FOR RECORDING ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.

CHAIRPERSON  
PLANNING AND ZONING COMMISSION

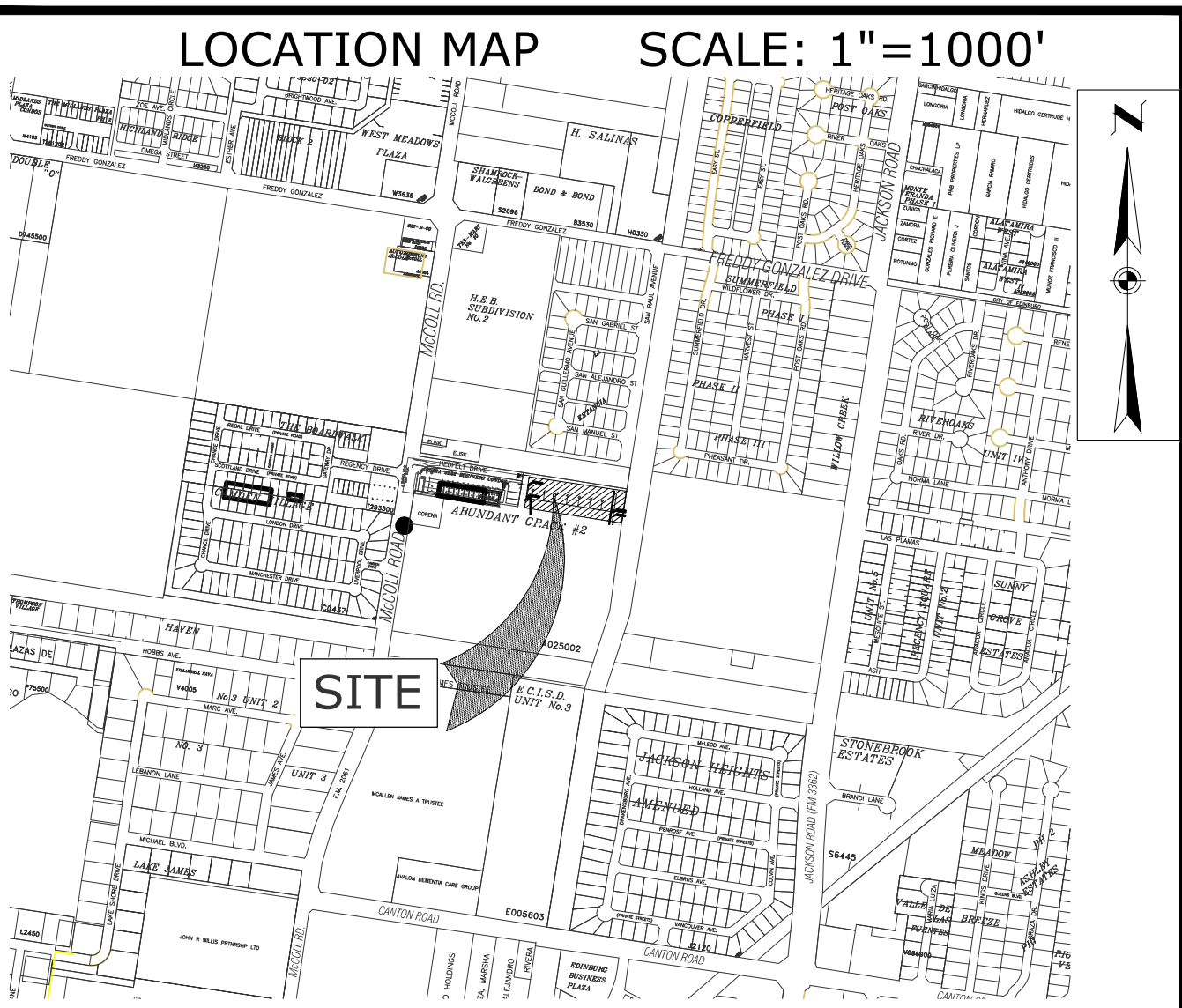
STATE OF TEXAS  
COUNTY OF HIDALGO

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS/HER ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

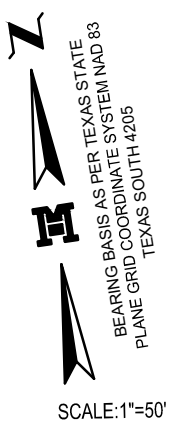
RAUL E. SESIN, P.E., C.F.M.  
GENERAL MANAGER



**MELDEN & HUNT INC.**  
CONSULTANTS • ENGINEERS • SURVEYORS  
115 W. McINTYRE - EDINBURG, TX 78541  
PH: (956) 381-0981 - FAX: (956) 381-1839  
ESTABLISHED 1947 - www.meldenandhunt.com

PRINCIPAL CONTACTS	NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER:	ALEJANDRO NAJERA, MANAGER	115 W. McINTYRE	EDINBURG, TX 78540	C/O 956-381-0981/O 956-381-1839	
ENGINEER:	MARIO A. REYNA, P.E.	115 W. McINTYRE	EDINBURG, TX 78541	(956) 381-0981 (956) 381-1839	
SURVEYOR:	ROBERTO N. TAMEZ, R.P.L.S.	115 W. McINTYRE	EDINBURG, TX 78541	(956) 381-0981 (956) 381-1839	

DRAWN BY: A.Q.	DATE: 05-01-2026
REVISED BY:	DATE
SURVEYED, CHECKED:	DATE
FINAL CHECK:	DATE



Provide northing and easting coordinates for POC and POB

It is only zoned Commercial General

PROJECT LEGEND

- FND No. 4 REBAR
- SET No. 4 REBAR W/PLASTIC CAP STAMPED MELDEN & HUNT WATER METER
- TYPE "A" INLET
- WOOD FENCE
- ASPHALT AREA
- CONCRETE AREA
- CALICHE DRIVEWAY
- R.O.W. - RIGHT OF WAY
- H.C.M.R. - HIDALGO COUNTY MAP RECORDS
- H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
- H.C.D.R. - HIDALGO COUNTY DEED RECORDS
- DEED CALLS

Please Identify Outparcel "A" on plat

Please verify this

## GENERAL PLAT NOTES AND RESTRICTIONS:

- FLOOD ZONE STATEMENT:  
FLOOD ZONE DESIGNATION: ZONE "X" (SHADED)  
ZONE "X" (SHADED) IS "AREAS OF 500-YEAR FLOOD. AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD.
- AS PER FLOOD PLAIN COMMUNITY-PANEL NO. 480338 0030 E - MAP REVISED: JUNE 6, 2000. REVISED TO REFLECT LOMR MAY 14, 2001  
THIS PROPERTY IS ZONED AS RU - RESIDENTIAL, URBAN AND TOWNHOME DISTRICT & COMMERCIAL, GENERAL DISTRICT.
- THE FOLLOWING BENCHMARK ARE IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS, AS PER NAVD 88 (GEOID 2012) SQUARE CUT TOP OF INLET ELEV. 94.83 N. 166312327400 E. 1101551.6650  
PROPERTY currently zone Commercial General, the property would have to be rezoned in order to get preliminary plat approval.  
Refer to UDC Table 3.102-1 Residential, Urban and Townhome side setbacks are 6 feet. Also lot width is smaller than the required lot width for RU zone, as well as the lot area. Will these proposed townhomes be attached? (if zoning is approved)
- MINIMUM SETBACKS SHALL BE AS FOLLOWS:  
RU-RESIDENTIAL, URBAN AND TOWNHOME  
FRONT: 10.00 FEET OR EASEMENT, WHICHEVER IS GREATER  
REAR: 10.00 FEET OR EASEMENT, WHICHEVER IS GREATER  
SIDE: 6.00 FEET OR EASEMENT, WHICHEVER IS GREATER  
CORNER: 10.00 FEET OR EASEMENT, WHICHEVER IS GREATER  
GARAGE: 18.00 FEET OR EASEMENT, WHICHEVER IS GREATER
- MINIMUM FINISHED FLOOR ELEVATION TO BE 18" ABOVE TOP OF CURB AT CENTER OF LOT
- SITE PLANS MUST BE SUBMITTED FOR CITY APPROVAL PRIOR TO ISSUANCE OF BUILDING PERMIT.
- REQUIRED STORM SEWER RUNOFF DETENTION FOR THIS SUBDIVISION AS PER THE APPROVED DRAINAGE REPORT: 12,820 CUBIC FEET (0.294 Ac. Ft.) FOR LOT 1 AND 1,072 CUBIC FEET (0.24 Ac. Ft.) PER RESIDENTIAL LOT A TOTAL OF 13,892 CUBIC FEET (1.796 Ac. Ft.) TO BE PROVIDED ON PROPOSED DETENTION POND.
- FOR LOT 1: THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAILED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
- DETENTION PONDS MUST BE MAINTAINED BY THE HOME OWNERS ASSOCIATION AND NOT THE CITY OF EDINBURG.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS, TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18" MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- THE ACCESS DRIVE SHALL ALWAYS BE OPEN TO EMERGENCY VEHICLES, PUBLIC AND PRIVATE UTILITY SERVICE PERSONNEL, THE U.S. POSTAL SERVICE AND GOVERNMENTAL EMPLOYEES IN PURSUIT OF THEIR OFFICIAL DUTIES.
- ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER PREVENTION PLAN (SWPP) REQUIREMENTS. EROSION AND SEDIMENTATION CONTROLS CONSTRUCTED IN ACCORDANCE WITH THE STORM WATER ORDINANCE 98.30 OF THE CITY OF EDINBURG ARE REQUIRED FOR ALL CONSTRUCTION ON EACH LOT INCLUDING SINGLE FAMILY AND DUPLEX/MULTI-FAMILY CONSTRUCTION.
- ALL COMMON ACCESS, PARKING AND LANDSCAPING AREAS WILL BE MAINTAINED BY THE LOT OWNERS.
- SAID PROPERTY SHALL COMPLY WITH THE MOST CURRENT UNIFIED DEVELOPMENT CODE AND CITY OF EDINBURG REQUIREMENTS AND SPECIFICATIONS, SUCH REQUIREMENTS MAY INCLUDE, BUT ARE NOT LIMITED TO, THE UNIFIED DEVELOPMENT CODE SETBACK BUFFER YARDS, FLOOR AREA RATIO, LANDSCAPING, SURFACE RATIO PARKING REQUIREMENTS FIRE PROTECTION OR ANY OTHER CITY REQUIREMENTS.
- 5-FOOT SIDEWALK WITH ADA RAMPS IS REQUIRED ALONG DRIVE AND ADJACENT SIDEWALK. BY DEVELOPER DURING CONSTRUCTION.  
CONSTRUCTION: LOT OWNER WILL BE RESPONSIBLE FOR 5 FOOT SIDEWALK AND ADA RAMPS AS PER CITY OF EDINBURG STANDARDS AT BUILDING PERMITS.
- ALL LOT CORNERS SET 1/2" IRON RODS OR AS NOTED.
- OUTPARCEL "A" SHALL BE USED FOR THE PURPOSE OF DRAINAGE DETENTION FOR ENCLAVE ON CLOSNER SUBDIVISION ONLY AND CANNOT BE EXCHANGED OR CONVEYED OWNERSHIP; MUST BE FURNISHED AND MAINTAINED BY THE SUBDIVISION DEVELOPER UNTIL A HOME OWNERS ASSOCIATION IS ESTABLISHED.
- DRAINAGE EASEMENTS AT OUTPARCEL "A" SHALL BE USED ONLY FOR DETENTION POND MAINTENANCE, NO TEMPORARY OR PERMANENT FENCING OF ANY KIND WILL BE ALLOWED.
- LOT 1 TO BE A COMMERCIAL LOT. If this lot stays commercial a fence will be required between lot 1 and lot 2 at subdivision phase
- PURSUANT TO APPLICABLE FIRE SAFETY REGULATIONS, THE INSTALLATION OF ADDITIONAL FIRE HYDRANTS, FIRE DEPARTMENT ACCESS ROADS, FIRE RATED CONSTRUCTION, AND OTHER FIRE PROTECTION EQUIPMENT MAY BE MANDATED DURING THE SITE PLAN OR BUILDING PERMIT PROCESS.
- A PERMIT IS REQUIRED FOR ANY UTILITY SERVICE CROSSING A H.C.I.D. NO. 2 RIGHTS OF WAY, EASEMENT OR FACILITY.
- A 50% (\$300) PARKLAND FEE WILL BE DUE AT BUILDING PERMIT STAGE. Parkland fees are for Residential and Multifamily units

I, THE UNDERSIGNED, MAYOR OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

Remove Mayor block unless a variance is requested. Please see UDC Section 5.301-D.-6.

MAYOR, CITY OF EDINBURG

DATE

CITY SECRETARY

DATE

## GENERAL COMMENTS:

- PROVIDE LOT TABLE
- PROVIDE APPROVED DRAINAGE REPORT
- PROVIDE DRAINAGE LAYOUT

## General Comments:

- Must Contact the Growth Coordinator form the United States Postal Service- Ismael Medina (956)383-5383 for cluster box locations and pad details.
- Provide an approved Drainage Report form HCDD #1 prior to recording.
- Street names to be included in layout and initiate verification process with Engineering Department-GIS Division  
coe\_gis@cityofedinburg.com
- Subdivision rear of lots shall have a min. 10ft and fronts of 15ft Utility Easement.
- Any proposed ROW or Utility Easement must state "Dedicated By This Plat" at the end of them.
- All corner clips must comply with COE Standards Manual.
- Block length shall not exceed 1000'. Provide additional stubouts to break block length.
- The plans must be signed and sealed by a licensed professional engineer in the State of Texas. Please ensure this requirement is met for the approved plans.
- Missing Metes and Bounds description, ensure it includes the POB and POC and have GPS coordinates (Northing and Easting), include on layout.

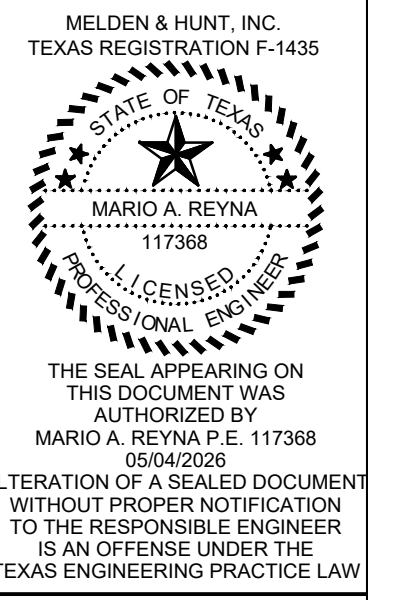
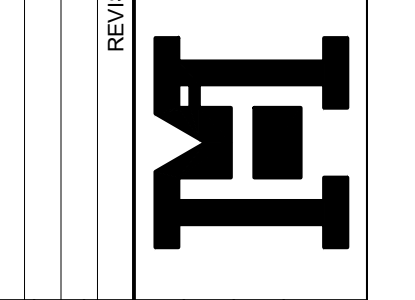


FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUAJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM

INSTRUMENT NUMBER  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: \_\_\_\_\_ DEPUTY



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MARIO A. REYNA P.E. 117368 05/04/2026 ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE LAW

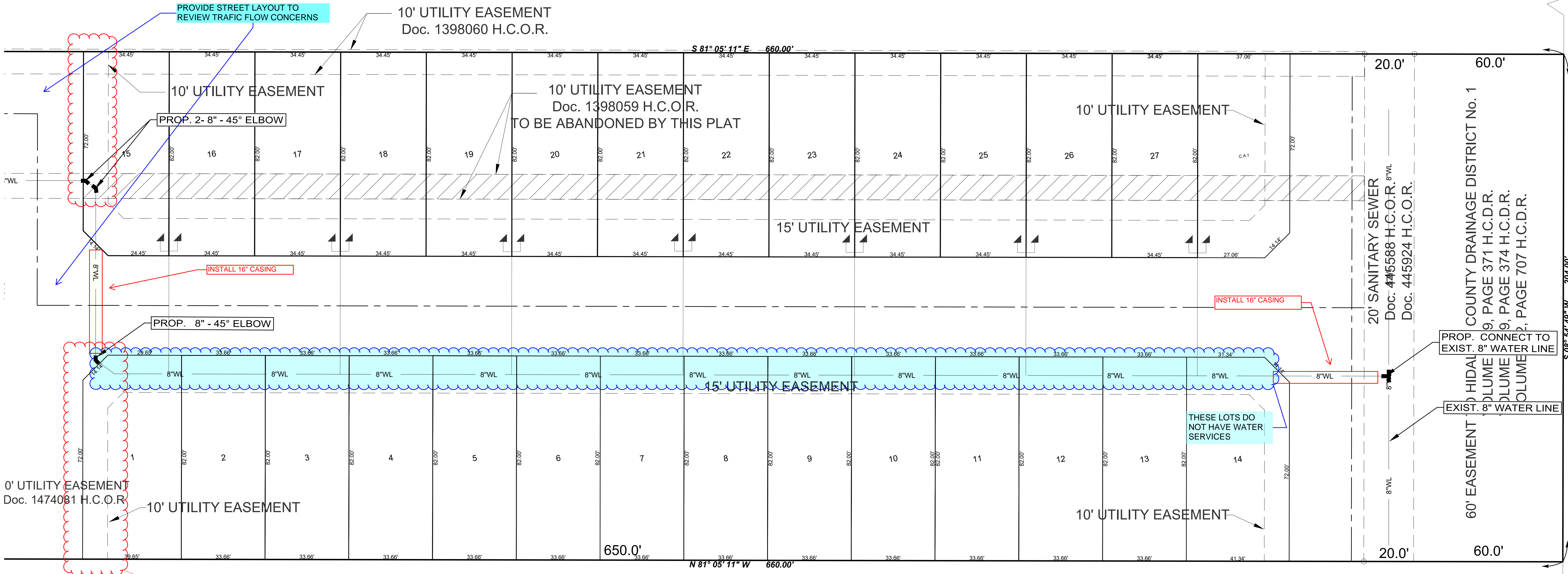
THE RESERVE AT MCCOLL  
 EDINBURG, TEXAS  
 HIDALGO COUNTY

**UTILITY LAYOUT**

© Copyright 2012 Melden & Hunt, Inc.  
 All Rights Reserved.  
 File Name: XXXXXXXXXX

SHEET **1** OF

**BEVERLY J. ELSIK  
 W.D. 1941/80 D.R.**



**ABUNDANT GRACE #2 SUBDIVISION**

**General Street Comments:**

1. Provide 30" Stop Sign with Street Signs
2. Provide 24" Retro-Reflective Thermoplastic Stop Bar Stripe.
3. All lots must have a min 1% slope from rear to front of lots.
4. Label Street width
5. All valley gutters are to be 6' wide.
6. Provide Street Light Layout Plan. Street lights are to be spaced 250' max. Also, provide Signage and Striping Layout
7. Show street profiles with any required vertical curves.
8. Show COE standard Details.
9. Label all street radius and must comply with COE radius requirements.
10. All street slopes must have a min. slope of 0.25%.
11. Provide Retro-Reflective Thermoplastic Continental Type Crosswalk at Road Crossings. (Provide Detail for Review)

**General Utility Storm Comments:**

1. Storm crossings underneath roads shall be RCP. RCP lines shall be Rubber Gasketed Bell and Spigot. Tongue and Groove shall not be allowed.
2. The lowest top of curb elevation of the subdivision is to be at the top of detention pond elevation.
3. Provide plans and profiles for paving and grading with flow arrows on perimeter of subdivision and within proposed ditch. Provide inlets every 600' max.
4. Review of Drainage Lines will occur once Maps and Profiles are provided, ensure storm lines are sized for a 10YR storm as per Engineering Standards manual or provide a model of this development. 25-year HGL must be below the gutter line.
5. Provide the 10 and 25-year HGL on plan and profiles.
6. Provide the water surface elevations for 10 and 50-year storm event on all ditch and detention pond cross-sections.
7. Pilot channel must be shown and labeled on cross-sections.
8. N/A
9. A Safety Buffer around detention pond shall be 6' for private detention ponds.
10. Project outfall/ bleeder shall be sized to the 10-YR Pre-developed rate.
11. Detention Pond shall indicate the 50-YR and 100-YR Water Surface Elevation (WSE).
12. Use a lighter line weight for the water and sewer layout to avoid conflicts with the storm layout.
13. Provide station numbers for storm layout and display them on layout or provide a centerline of roads and reference storm structures to them.
14. Detention Pond will require a 4' perimeter fence if depth exceeds 2.5 ft.
15. Label all street widths.
16. Show all valley gutters. Valley gutters are to be 6' wide.
17. Provide Street Light Layout Plan. Street lights are to be spaced 250' max. Also, Provide Signage and Striping layout.
18. Provide approved drainage report prior to recording of the plat.
19. Show street profiles with any required vertical curves.
20. Label all street radius and must comply with COE radius requirements.
21. All street slopes must have a min. slope of 0.25%.
22. Include trash racks into outlet structure design.
23. Provide a detention pond, along with cross-sections of the detention areas to verify dimensions and proposed volume. COE Standards notes that all detention must be calculated for a 50YR storm event, with a discharge to nearby storm system at a 10YR storm event conditions.

The preliminary utility fees are as follows:

1. Water Tap Fees - \$17,550.00
2. Sewer Fees - \$1,755.00
3. Water Rights - \$9,168.00
4. Transfer Fees - N/A

Please note that these fees are preliminary and are subject to change based on the final plat. Final fees must be requested from the City and must be paid prior to recording of the plat.

Will submit comments to Engineering and Planning & Zoning



415 W University Dr. • Edinburg, TX 78539 • (956) 388-8211

## Trip Generation Worksheet

Subdivision Name: The Reserve at McColl Subdivision

Project Location: McColl and Hedfelt Dr

(select one)       C.O.E       Edinburg ETJ

Applicant: Melden & Hunt, Inc       Owner       Agent

Address: 115 W McIntyre Street, Edinburg, Tx

Email: Mario@meldenandhunt.com      Phone: 956-381-0981

Date: 5-4-2026

### Proposed Type of Development

New Development       Re-Development       Additional Development

Anticipated Land Use	Project Size			AM Peak Hour Trips	PM Peak Hour Trips	Weekday Trips	Wknd Trips	ITE Code
	Acres	GFA	# of Units					
Single-Family	3.056	1500	27	20	27	258	500	210

\*Multibuilding development or Master Plan-Multi Phase developments, please submit a tabulation sheet showing all proposed land uses

Previous TIA Report (if on file) TIA # \_\_\_\_\_

Peak Hour Trips Projected in TIA on file	Peak Hour Trips Projected in Updated Development Plan

**Difference in PHT (Proposed PHT - Previous Development PHT or TIA PHT)**

<b>Increase in Peak Hour Trips</b>
(if an increase of 76 PHT or an increase of 10% of the total PHT, a new TIA is required)

**(For Official Use Only, Do Not Write In This Box)**

\_\_\_\_\_ A TIA is required. The individual preparing the study must meet with City staff to discuss the scope and requirements of the study before beginning the study.

A TIA is **not required**. The traffic generated by the proposed development does not exceed the threshold requirements.

Comments: \_\_\_\_\_

\_\_\_\_\_

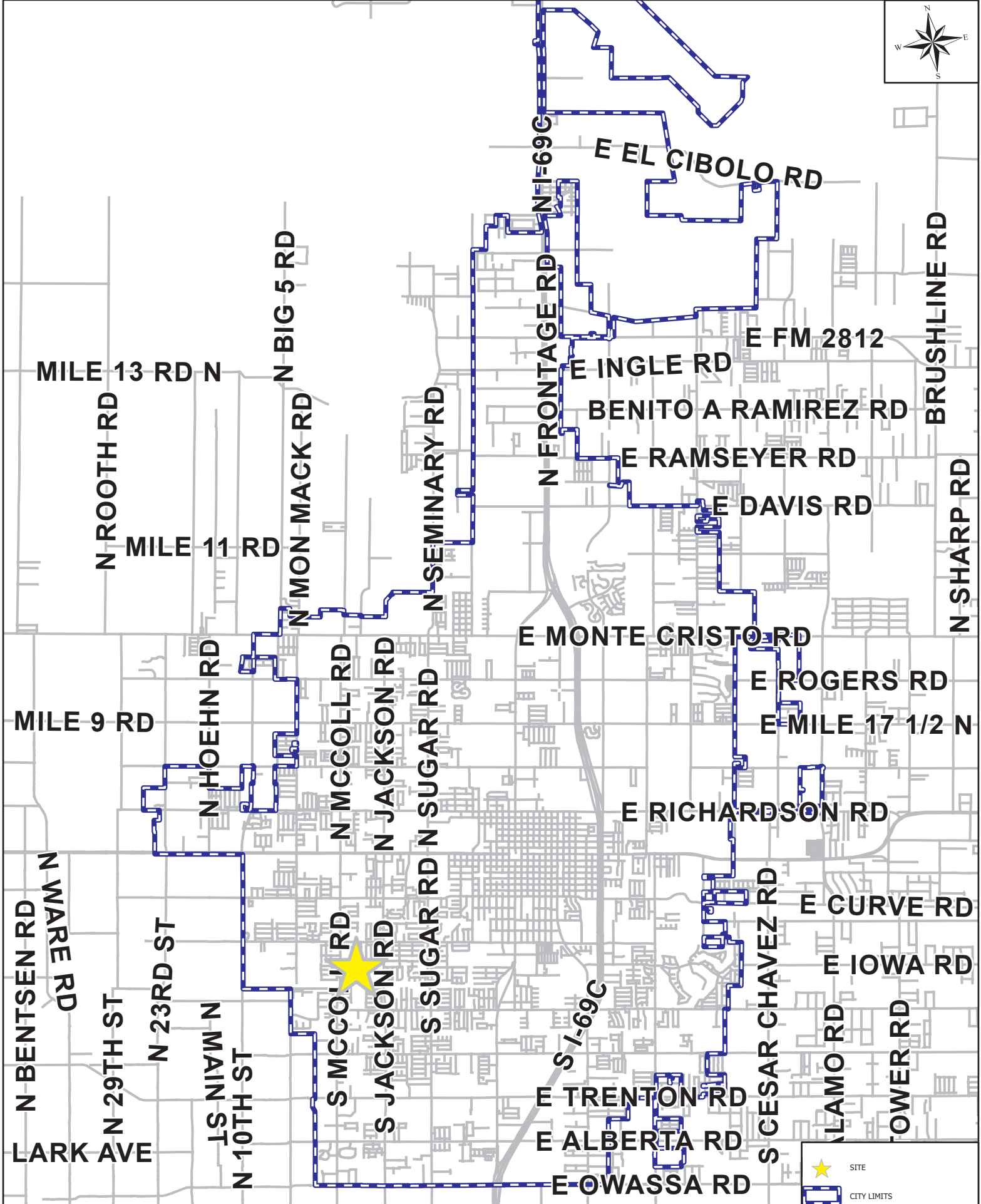
\_\_\_\_\_



Reviewed by: Isael Posadas Jr, E.I.T.      Date: 5/20/26

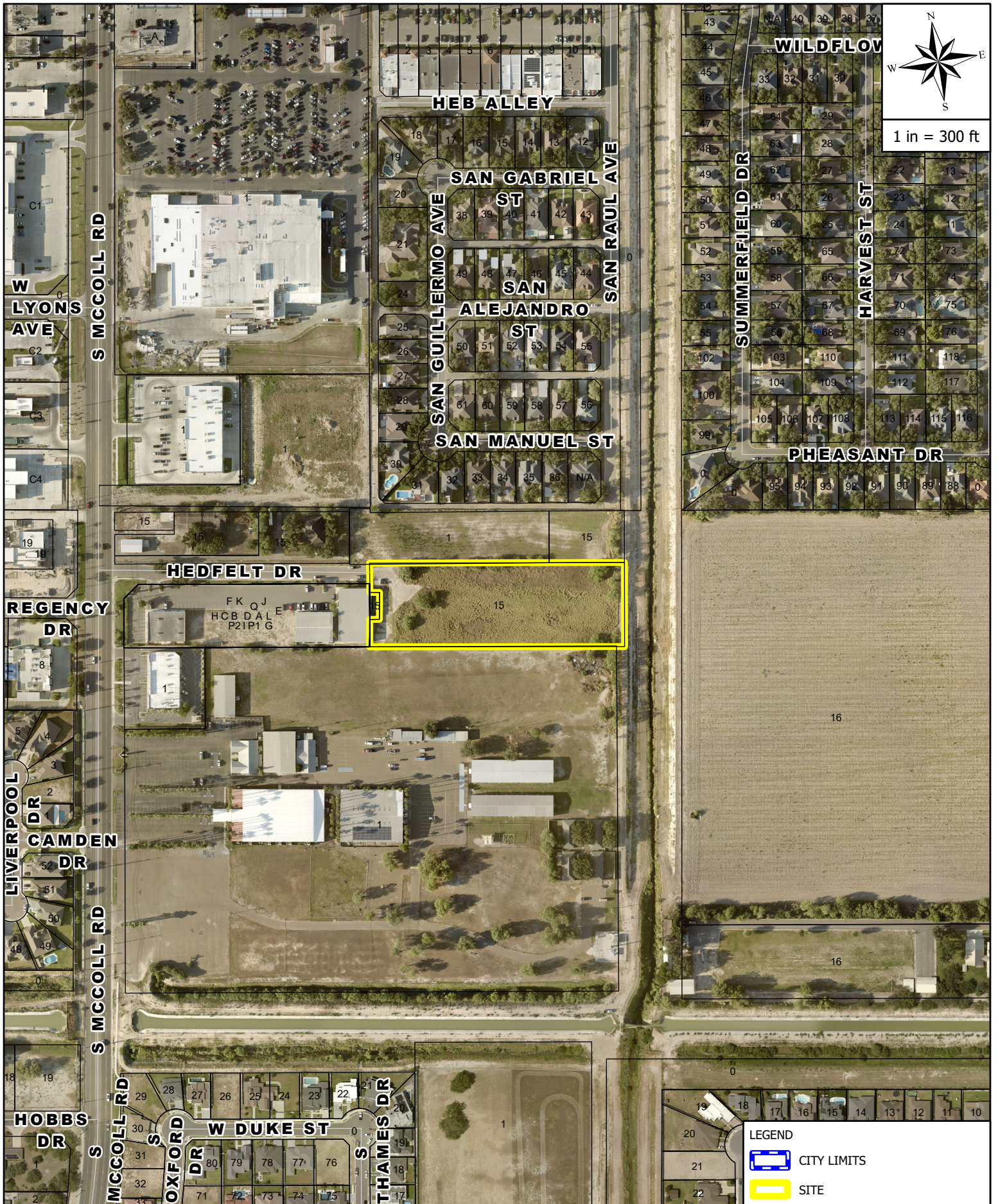
NOTE: GFA = Gross Floor Area (bldg. size)

TIA = Traffic Impact Analysis

ITE = Institute of Transportation Engineers, Trip Generation, 10th Edition

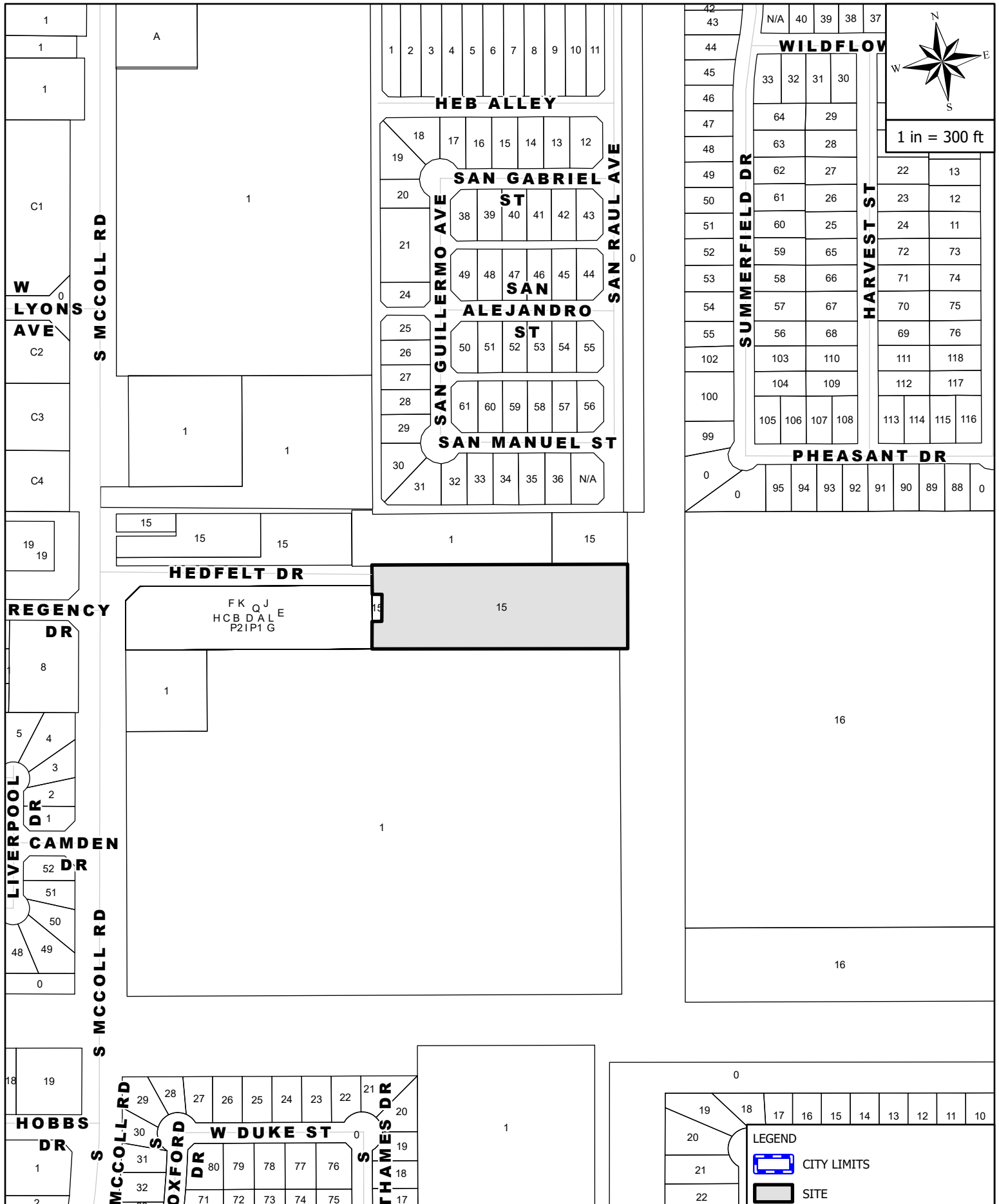


 SITE  
 CITY LIMITS



**AERIAL MAP**

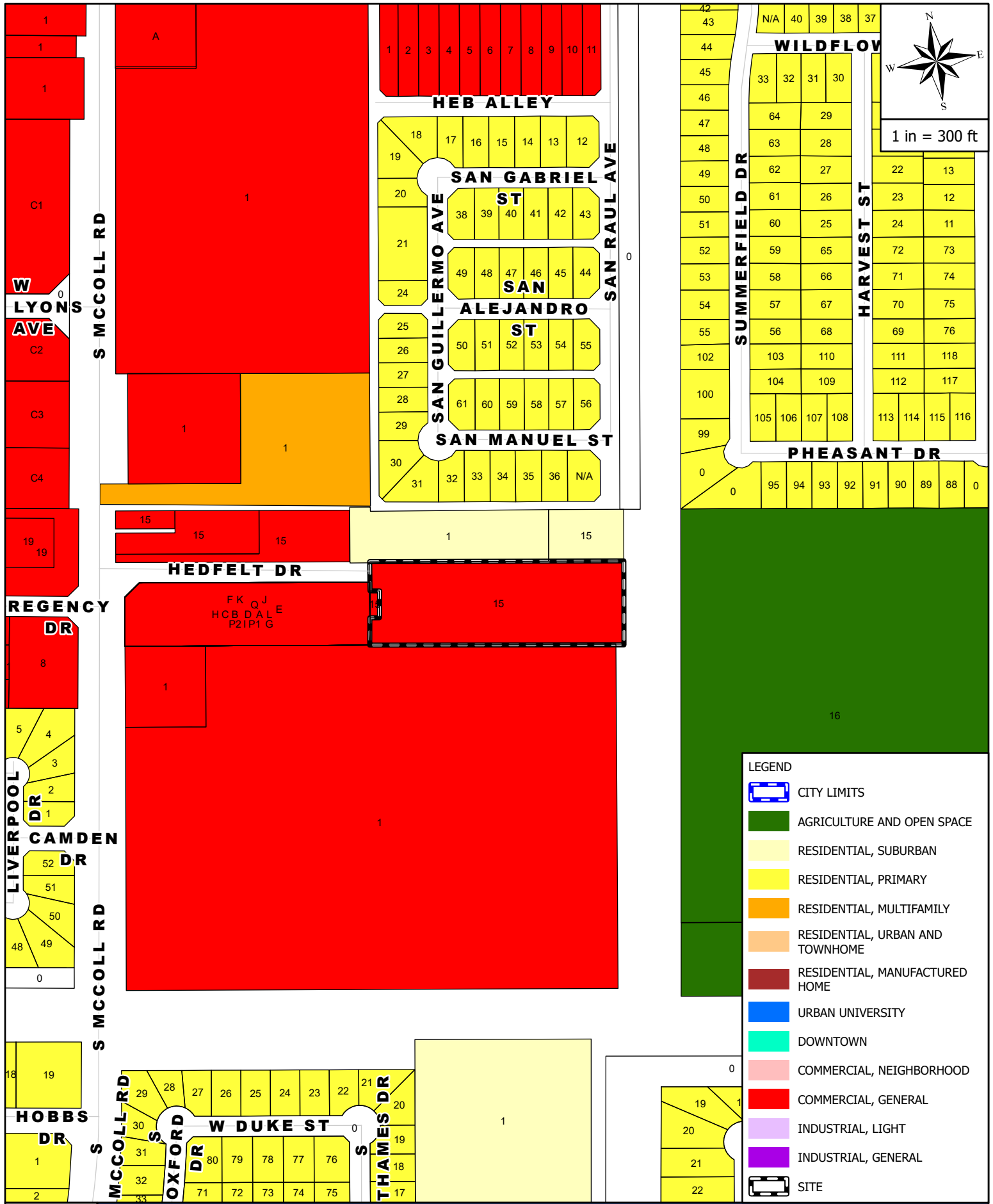
2698 Hedfelt Drive



**MAILOUT AND SITE MAP**

2698 Hedfelt Drive





**ZONING MAP**

2698 Hedfelt Drive



# MAP OF THE RESERVE AT MCCOLL SUBDIVISION

PLAT SHOWING  
3.056 ACRES OUT OF  
LOT 15, SECTION 275  
TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY  
VOL. 24, PGS. 168-171 H.C.M.R.  
AN ADDITION TO THE CITY OF EDINBURG  
HIDALGO COUNTY, TEXAS

STATE OF TEXAS  
COUNTY OF HIDALGO

WE, THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE RESERVE AT MCCOLL SUBDIVISION ADDITION OF THE CITY OF EDINBURG, TEXAS AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES, THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

THE CENTER OFFICES, LIMITED LIABILITY COMPANY  
2001 SANTA ANA AVE  
RANCHO VIEJO, TX 78575

G. WILLIAM RUPPERT - MANAGER  
2001 SANTA ANA AVE  
RANCHO VIEJO, TX 78575

DATE

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED G. WILLIAM RUPPERT, AND PROVED TO ME THROUGH HIS TEXAS DEPARTMENT OF PUBLIC SAFETY DRIVERS LICENSE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO, BEING BY ME, FIRST DULY SWORN AND DECLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT AND ACKNOWLEDGED THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREBY EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

NOTARY PUBLIC IN THE STATE OF TEXAS  
MY COMMISSION EXPIRES:

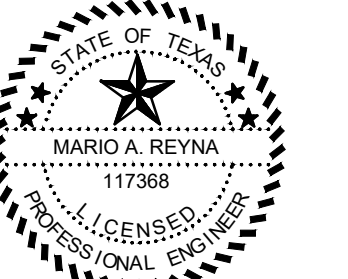
STATE OF TEXAS  
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

MARIO A. REYNA P.E. # 117368  
DATE PREPARED: 08-05-2024  
ENGINEERING JOB NO. 24069.00

DATE:

MELDEN & HUNT, INC.  
TEXAS REGISTRATION F-1435



STATE OF TEXAS  
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE HEREIN PRESENTED PLAT AND DESCRIPTION OF ENCLAVE ON CLOSNER SUBDIVISION, WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON 05/22/2024, AND THAT IT IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

ROBERTO N. TAMEZ, R.P.L.S. # 6238  
DATE SURVEYED: 5-22-24  
T-1164, PAGE: 68  
SURVEYING JOB NO. 24503.08

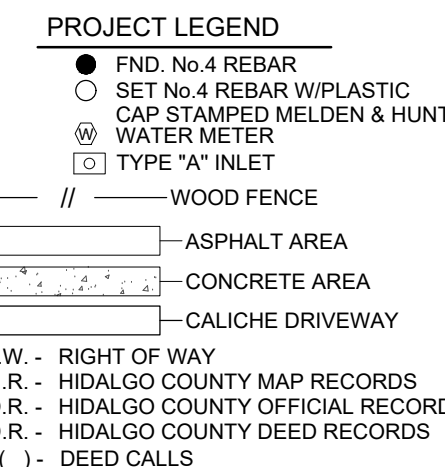
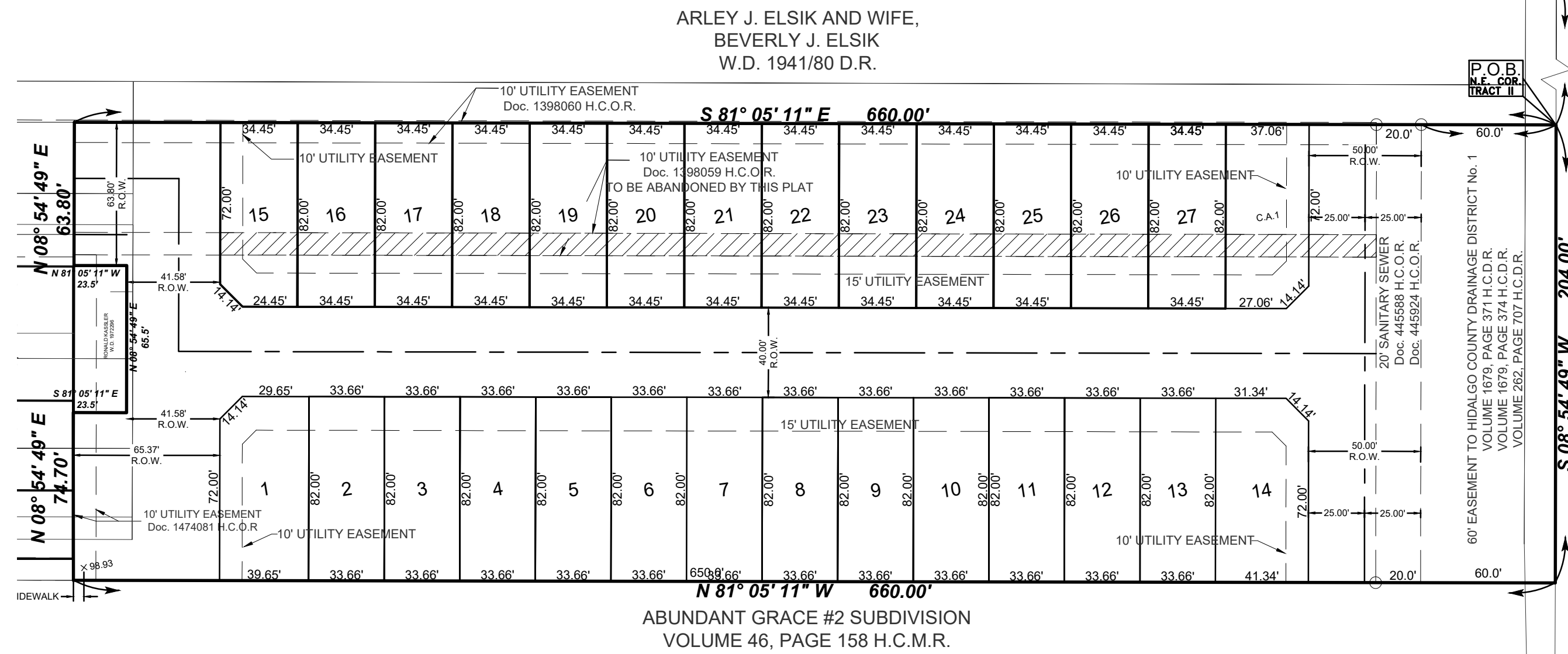
DATE:



I, THE UNDERSIGNED, MAYOR OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF EDINBURG DATE

CITY SECRETARY DATE



### TRACK#1

METES AND BOUNDS DESCRIPTION  
2.830 ACRES OF LAND OUT OF LOT 15, SECTION 275  
TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY  
HIDALGO COUNTY, TEXAS

### TRACK#2

METES AND BOUNDS DESCRIPTION  
0.177 OF ONE ACRE [ 7,702.975 SQUARE FEET ]  
OF LAND OUT OF LOT 15, SECTION 275  
TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY  
HIDALGO COUNTY, TEXAS

### METES AND BOUNDS DESCRIPTION

A TRACT OF LAND CONTAINING 2.830 ACRES SITUATED IN HIDALGO COUNTY, SAID 2.830 ACRES BEING OUT TEXAS OUT OF A 3.091-ACRE TRACT OUT OF LOT 15, SECTION 275 TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 24, PAGES 168-171, HIDALGO COUNTY DEED RECORDS, WHICH SAID 2.830 ACRE TRACT CONVEYED TO TEXAS REGIONAL BANK CUST, FOR ROBERT S. COOK & CREW PROPERTIES L.T.D., BY VIRTUE OF A SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 3122496, HIDALGO COUNTY OFFICIAL RECORDS, SAID 2.830 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 15, SECTION 275, WITHIN HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 RIGHT-OF-WAY.

THENCE, S 08° 54' 49" W ALONG THE EAST LINE OF SAID LOT 15, A DISTANCE OF 126.00 FEET TO A NO. 4 REBAR SET (NORTHING:16229763.544, EASTING:1084966.114) FOR THE NORTHEAST CORNER AND POINT OF BEGINNING OF HEREIN DESCRIBED TRACT;

1. THENCE, S 08° 54' 49" W (S 08° 48' 33" W DEED CALL) ALONG THE EAST LINE OF SAID LOT 15 AND WITHIN HIDALGO COUNTY IRRIGATION DISTRICT NO. 1, RIGHT-OF-WAY A DISTANCE 204.0 FEET TO NO. 4 REBAR SET AT THE SOUTHEAST CORNER OF SAID LOT 15 FOR THE SOUTHEAST CORNER OF THIS TRACT;
2. THENCE, N 81° 05' 11" W (N 81° 11' 27" W DEED CALL) AT A DISTANCE OF 60.0 FEET PASS A NO. 4 REBAR SET ON THE WEST RIGHT-OF-WAY LINE OF HIDALGO COUNTY DRAINAGE DISTRICT NO. 1, AT A DISTANCE OF 80.0 FEET PASS A NO. 4 REBAR SET ON THE WEST LINE OF A SANITARY SEWER EASEMENT DEDICATED TO THE CITY OF EDINBURG, CONTINUING A TOTAL DISTANCE OF 604.50 FEET TO A NO. 4 REBAR SET FOR THE SOUTHWEST CORNER OF THIS TRACT;
3. THENCE, N 08° 54' 49" E A DISTANCE OF 204.00 FEET TO A NO.4 REBAR SET FOR THE NORTHWEST CORNER OF SAID TRACT;
4. THENCE, S 81° 05' 11" E AT A DISTANCE OF 524.50 FEET PASS A NO. 4 REBAR SET ON THE WEST LINE OF A SANITARY SEWER EASEMENT DEDICATED TO THE CITY OF EDINBURG, AT A DISTANCE OF 544.50 FEET PASS A NO. 4 REBAR SET ON THE WEST RIGHT-OF-WAY LINE OF HIDALGO COUNTY IRRIGATION DISTRICT NO.1, CONTINUING A TOTAL DISTANCE OF 604.50 FEET TO THE POINT OF BEGINNING, AND CONTAINING 2.830 ACRES OF LAND, MORE OR LESS.

### METES AND BOUNDS DESCRIPTION

A TRACT OF LAND CONTAINING 0.177 OF ONE ACRE [ 7,702.975 SQUARE FEET ] SITUATED IN HIDALGO COUNTY, TEXAS, SAID 0.177 OF ONE ACRE [ 7,702.975 SQUARE FEET ] BEING OUT OF A 3.091-ACRE TRACT OUT OF LOT 15, SECTION 275 TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 24, PAGES 168-171, HIDALGO COUNTY DEED RECORDS, WHICH SAID 0.177 OF ONE ACRE [ 7,702.975 SQUARE FEET ] TRACT BEING OUT OF A CERTAIN TRACT CONVEYED TO TEXAS REGIONAL BANK CUST FOR ROBERT S. COOK & CREW PROPERTIES L.T.D., BY VIRTUE OF A SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NO. 3122496, HIDALGO COUNTY OFFICIAL RECORDS SITUATED IN THE COUNTY OF HIDALGO, TEXAS, SAID 0.177 OF ONE ACRE [ 7,702.975 SQUARE FEET ] ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 15, SECTION 275, WITHIN HIDALGO COUNTY IRRIGATION DISTRICT NO. 1, RIGHT-OF-WAY;

THENCE, S 08° 54' 49" W ALONG THE EAST LINE OF SAID LOT 15, A DISTANCE OF 126.00 FEET;

1. THENCE, S 08° 54' 49" W A DISTANCE OF 204.00 FEET TO A NO. 4 REBAR SET FOR THE SOUTHEAST CORNER OF THIS TRACT;
2. THENCE, N 81° 05' 11" W A DISTANCE OF 32.00 FEET TO A NO. 4 REBAR SET FOR THE SOUTHWEST CORNER OF THIS TRACT;
3. THENCE, N 08° 54' 49" E AT A DISTANCE OF 74.70 FEET PASS A NO.4 REBAR FOUND INLINE AT A DISTANCE OF 140.02 FEET PASS A NO.4 REBAR FOUND INLINE, CONTINUING A TOTAL DISTANCE OF 154.00 FEET TO A NO. 4 REBAR SET FOR AN INSIDE POINT OF THIS TRACT;
4. THENCE, N 81° 05' 11" W A DISTANCE OF 23.50 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
5. THENCE, N 08° 54' 49" E A DISTANCE 50.00 FEET TO A NO. 4 REBAR SET FOR THE NORTHWEST CORNER OF THIS TRACT, FROM WHICH A NO.4 REBAR FOUND BEARS S 53° 28' 14" W A DISTANCE OF 0.46 FEET;
6. THENCE, S 81° 05' 11" E ALONG THE SOUTH LINE OF SAID ARLEY J. ELSIK AND WIFE BEVERLY J. ELSIK AND THE NORTH LINE OF SAID TEXAS REGIONAL BANK CUST FOR ROBERT COOK & CREW PROPERTIES, A DISTANCE OF 2.71 FEET PASS A NO. 4 REBAR FOUND INLINE CONTINUING A TOTAL DISTANCE OF 55.50 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.177 OF ONE ACRE [ 7,702.975 SQUARE FEET ] OF LAND MORE OR LESS.

HIDALGO COUNTY IRRIGATION DISTRICT NO. 2

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 RIGHTS OF WAY OR EASEMENTS.

ATTEST:  
PRESIDENT SECRETARY

"I, THE UNDERSIGNED, CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, TEXAS DO HEREBY CERTIFY THE SUBDIVISION PLAT KNOWN AS THE RESERVE AT MCCOLL SUBDIVISION CONFORMS TO ALL SUBDIVISION REQUIREMENTS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED AND HAS BEEN

APPROVED FOR RECORDING ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.

CHAIRPERSON  
PLANNING AND ZONING COMMISSION

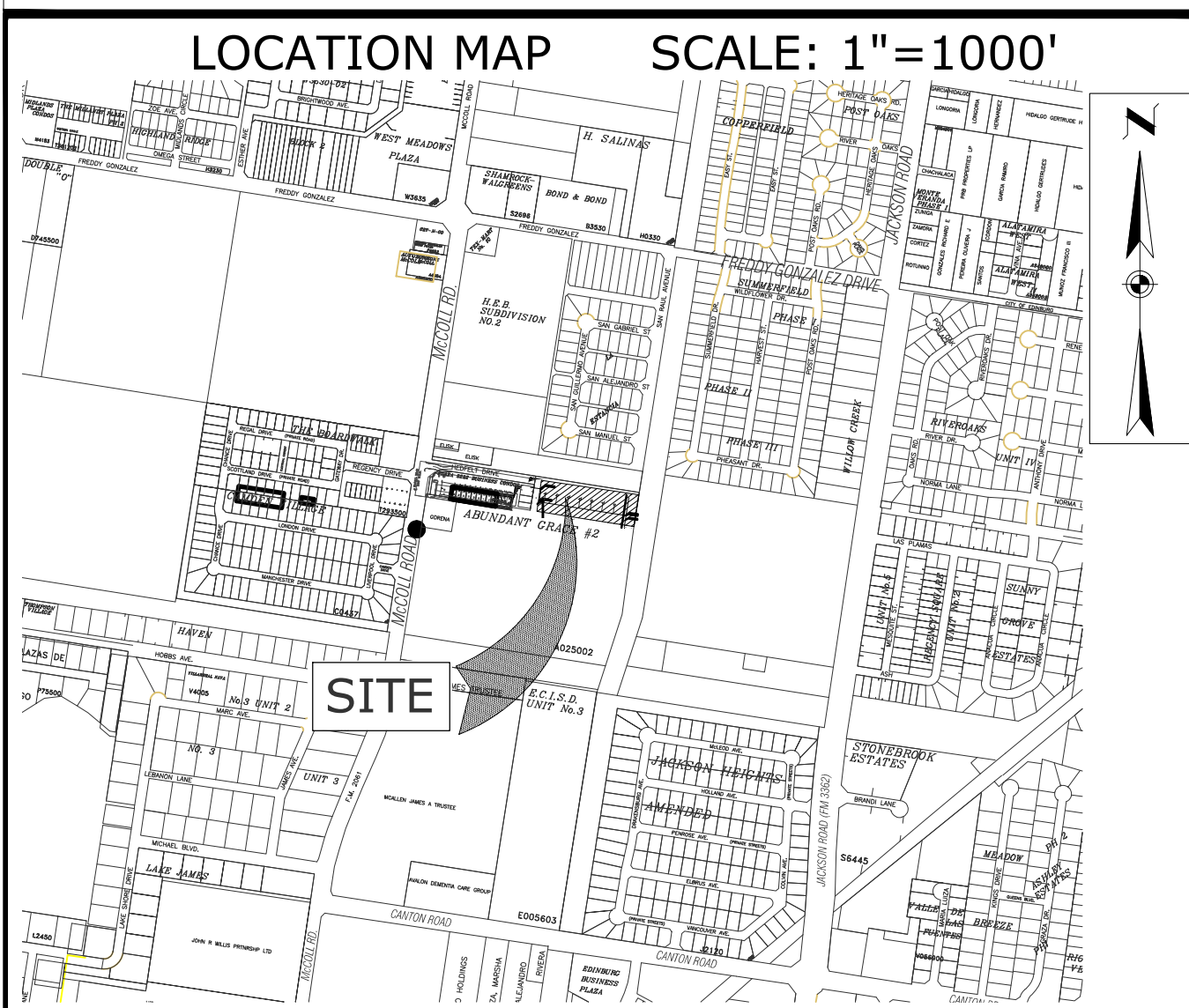
STATE OF TEXAS  
COUNTY OF HIDALGO

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS/HER ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.  
GENERAL MANAGER DATE



**MELDEN & HUNT INC.**  
CONSULTANTS • ENGINEERS • SURVEYORS  
115 W. McINTYRE - EDINBURG, TX 78541  
PH: (956) 381-0981 - FAX: (956) 381-1839  
ESTABLISHED 1947 - www.meldenandhunt.com

PRINCIPAL CONTACTS	NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER:	ALF JANDRO NAJERA, MANAGER	115 W. McINTYRE	EDINBURG, TX 78540	C/O 956-381-0981/O 956-381-1839	
ENGINEER:	MARIO A. REYNA, P.E.	115 W. McINTYRE	EDINBURG, TX 78541	(956) 381-0981 (956) 381-1839	
SURVEYOR:	ROBERTO N. TAMEZ, R.P.L.S.	115 W. McINTYRE	EDINBURG, TX 78541	(956) 381-0981 (956) 381-1839	

DRAWN BY: A.Q.	DATE 05-01-2026
REVISED BY:	DATE
SURVEYED, CHECKED	DATE
FINAL CHECK	DATE



FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM

INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: \_\_\_\_\_ DEPUTY

**STAFF REPORT: ARENA HEIGHTS SUBDIVISION**

Date Prepared: June 26, 2026  
Planning and Zoning Meeting: July 9, 2026  
Preliminary Plat Approval

---

**Subject:** Consider the Preliminary Plat approval of Arena Heights Subdivision, being a 93.99 acres tract of land, more or less, out of Lots 63, 66, and 67 Kelly Pharr Subdivision, as per the map or plat thereof recorded in Volume 3, Page 133-134, Map Records of Hidalgo County, Texas, located at 798 E. Alberta Road, as Requested by Sames, Inc.

**Location:** The property is located 1,239 ft east of S. 169 C and south of E. Alberta , and within the City of Edinburg, City Limits.

**Zoning:** Property zoning is currently Residential, Primary (RP) District and Commercial, General (CG) District.

**Setbacks:** UDC Setbacks for Residential, Primary (RP) District will abide by UDC, Article 3, Table 3.102-1. UDC Setbacks for Commercial, General (CG) District will abide by UDC, Article 3, Table 3.202-2

**Analysis:** The Preliminary Plat development consists of 280 Single Family Residential lots averaging from approximately 5,881.93 square feet to 10,702.63 square feet and 10 Commercial lots averaging from approximately 1.40 acres to 3.89 acres

**Utilities:** Water Distribution System will be provided by North Alamo Water Supply Corporation, and with City of Edinburg Sanitary Sewer Collection System requirements. All utility improvements within the proposed subdivision that are not limited to water system, sewer system, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2021 Standards Manual.

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Recommendations:

**City of Edinburg Planning & Zoning Department:**

Staff recommends approval of the Preliminary Plat, subject to compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

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# SUBMITTAL SUMMARY REPORT (PLAT-2026-0388) FOR THE CITY OF EDINBURG

<b>PERMIT ADDRESS:</b>	798 E ALBERTA Edinburg, TX 78542	<b>PARCEL:</b>	K2400-00-000-0063-10
<b>APPLICATION DATE:</b>	06/02/2026	<b>SQUARE FEET:</b>	0
<b>EXPIRATION DATE:</b>	11/29/2026	<b>VALUATION:</b>	\$0.00
<b>DESCRIPTION:</b>			

CONTACTS	NAME	COMPANY	ADDRESS
Applicant		SAMES INC	200 S 10th AVE 108 McAllen, TX 78504
Owner	Juan Marquez		1900 Crisantema AVE Mission, TX 78572

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
Planning & Zoning Review (PZ, Eng, Fire, Util, SW) v.1	06/04/2026	06/17/2026		Approved
Planning & Zoning Review (PZ, Eng, Fire, Util, SW) v.1				Not Received

### SUBMITTAL DETAILS

#### Planning & Zoning Review (PZ, Eng, Fire, Util, SW) v.1

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Engineering (Engineering)	Reyna Martinez	06/17/2026	06/19/2026	Complete
<i>Comments</i>	See attachment			

Fire (Fire)	Anthony Riojas	06/17/2026	06/17/2026	Complete
<i>Comments</i>	GENERAL COMMENTS:			

1. STREET DETAILS: Shall meet IFC 2018, UDC 2022, and COESM 2021 (i.e. street name, width, block length, cul-de-sac r=96ft minimum)
2. PROPERTY DIMENSIONS: Shall meet IFC 2018 and UDC 2022 (i.e. building separation, property line setbacks, lot width and length details)
3. BUILDING SEPARATION: Shall meet IFC/IBC 2018, UDC 2022, and COESM 2021 (i.e. building separation, lot standards, access roads, fire rating)
4. WATER DISTRIBUTION: Need to provide minimum 8-inch looped waterlines for distribution systems serving fire hydrants. Shall meet UDC 2022 and COESM 2021 standards.
5. FIRE PROTECTION FEATURE SITE PLAN: Shall meet IFC 2018 and UDC 2022 (i.e. FDC, hydrant, fire department access road, and dedicated fire protection water line locations/details)
6. FIRE DEPARTMENT ACCESS ROADS: Need to provide fire department access road(s); shall be established and installed prior to building construction stage. Shall meet IFC 2018, UDC 2022, and COESM 2021 (i.e. approved surface materials, dimensions, construction, location, accessibility, and quantity requirements)
7. CUL-DE-SAC: Need to provide r = 96ft cul-de-sac radius for fire department access road(s) and shall meet IFC 2018 reequipments
8. FIRE HYDRANTS: Need to provide fire hydrant(s) at 300'/600' intervals and shall meet IFC 2018/UDC 2021/EOCSM 2021 (i.e. Minimum 1000gpm @30psi, looped 8-inch waterline, spacing at 300'/600' based on designated zoning district, 30-inch setbacks)
9. FIRE HYDRANTS - RESIDENTIAL: Need to provide fire hydrant(s); shall begin installation nearest the subdivisions main entrance and shall be spaced out every 600'; shall be installed in-between lot lines. Shall meet IFC 2018/UDC 2022/EOCSM 2021 (i.e. Minimum 1000gpm @30psi, looped 8-inch waterline, spacing at 600ft based on designated zoning district, 30-inch setbacks)
10. FIRE HYDRANT MARKING: Need to provide fire hydrant markings: 15ft red fire lane (white lettering "NO PARKING FIRE LANE") and blue reflective street markers (installed on roadway centerline).
11. BUILDING PERMIT PHASE: Property will be subject to additional fire code requirements at Building Permit phase and will be based on occupancy classification(s).
12. PLAT NOTE REQUIREMENT: Pursuant to applicable fire safety regulations, the installation of additional fire hydrants, fire department access road(s), fire rated construction, and other fire protection equipment may be mandated during the Site Plan or Building Permit process.

Planning & Zoning (Planning & Zoning)	Claudia Mariscal	06/17/2026	06/19/2026	Complete
<i>Comments</i>	Redlines & comments in bluebeam			
Planning & Zoning (Planning & Zoning)	Leonel Duran	06/17/2026	06/10/2026	Complete
<i>Comments</i>				

# SUBMITTAL SUMMARY REPORT (PLAT-2026-0388)

A Class B Buffer is required between the Commercial and Residential zonings. This consists of a 6ft. high CMU wall and a 20ft. buffer on the commercial side (to be landscaped during site plan/building permit review). It is required to apply for a building permit for the CMU wall prior to obtaining the Notice to Proceed.

Landscaping will be required during site plan/ building permit review for both the Commercial and Residential zonings.

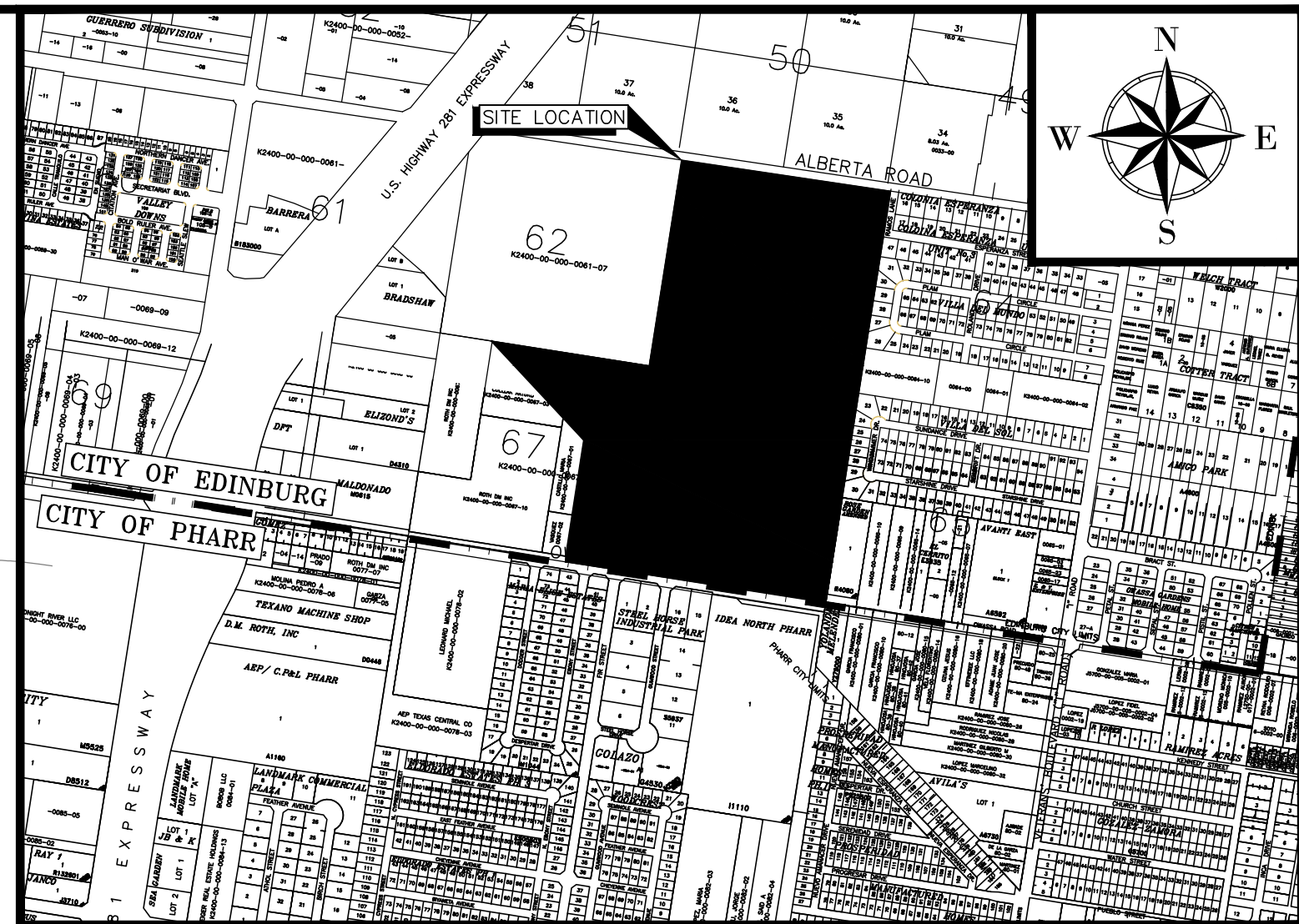
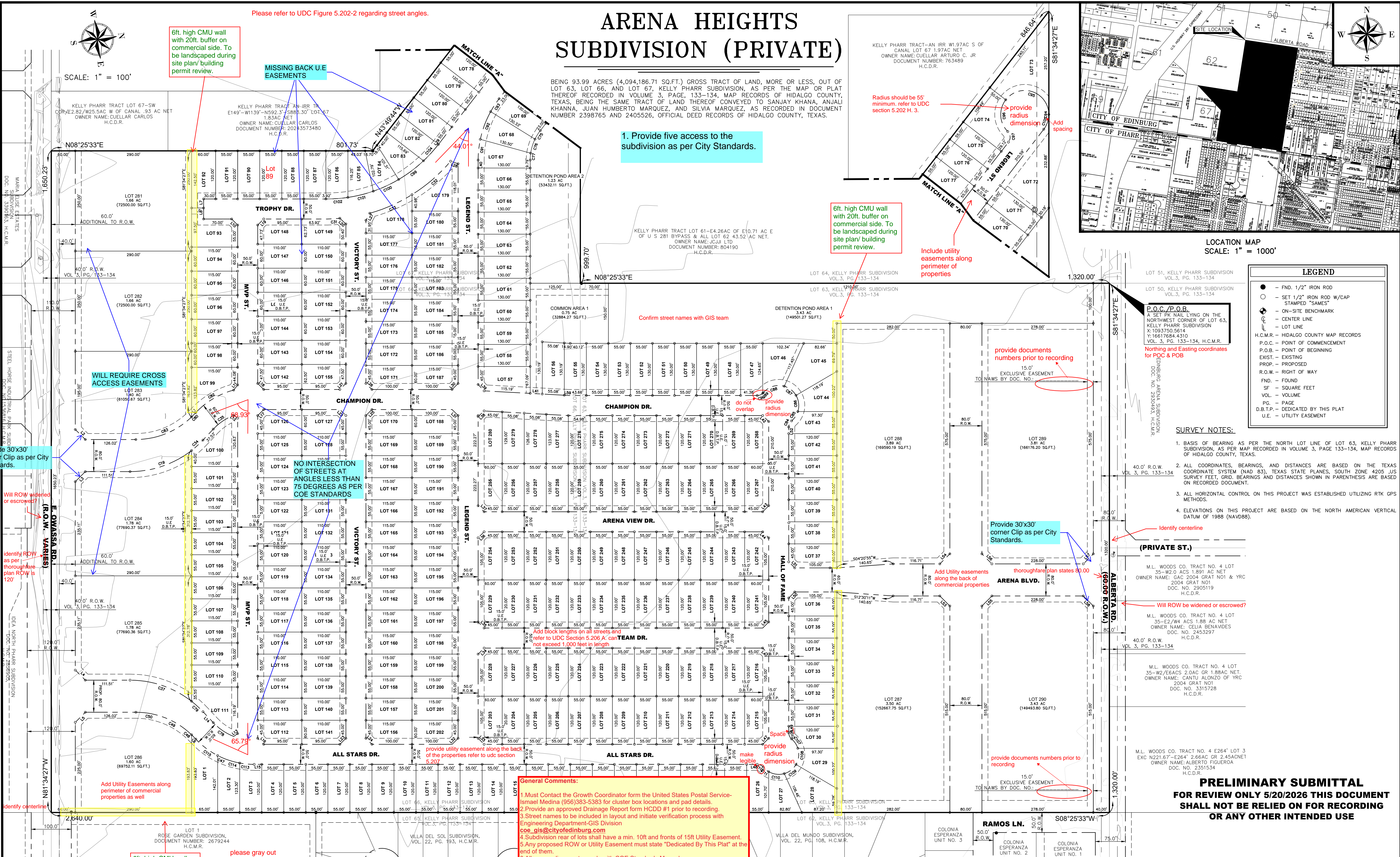
Commercial Landscaped Surface Ratio (LSR) and On-lot landscaping will need to meet the requirements set in sections 3.202 and 4.200 of the City of Edinburg's Unified Development Code (UDC).

The Residential project will require one tree in the front of each lot to provide shading to the lots, paved surfaces, and for pedestrians.

Public Works (Public Works)	David De La Fuente	06/17/2026	06/17/2026	Complete
<i>Comments</i>	SW3P, NOI, Large Construction Notice, Erosion Control Plan, Stormwater Plat Note.			
Solid Waste (Solid Waste)	Laura Olivarez	06/17/2026	06/04/2026	Complete
<i>Comments</i>	Submittal Requirements and Site Development Guidelines sent. (ET)			
Utilities (Utilities)	Alejandro Mercado	06/17/2026	06/10/2026	Approved
<i>Comments</i>	<p>The preliminary utility fees are as follows: The preliminary utility fees are as follows:</p> <ol style="list-style-type: none"> <li>1. Water Tap Fees - NAWSC</li> <li>2. Sewer Fees - \$19,100.00</li> <li>3. Water Rights - N/A</li> <li>4. Transfer Fees - \$1,450.00</li> </ol> <p>Please note that these fees are preliminary and are subject to change based on the final plat. Final fees must be requested from the City and must be paid prior to recording of the plat.</p> <p>Will submit comments to Engineering and Planning &amp; Zoning.</p> <ol style="list-style-type: none"> <li>1. Water Tap Fees -</li> <li>2. Sewer Fees -</li> <li>3. Water Rights -</li> <li>4. Transfer Fees -</li> </ol> <p>Please note that these fees are preliminary and are subject to change based on the final plat. Final fees must be requested from the City and must be paid prior to recording of the plat.</p> <p>Will submit comments to Engineering and Planning &amp; Zoning.</p>			
Utilities (Utilities)	Jose Guajardo	06/17/2026	06/19/2026	Complete
<i>Comments</i>	<p>Need to provide Proposed SS line information for a complete review and Plan and Profile Layouts. Use COE Standard Detail sheets. Label Slopes at all proposed SS lines.</p> <p>NAWSC CCN</p>			

# ARENA HEIGHTS SUBDIVISION (PRIVATE)

BEING 93.99 ACRES (4,094,186.71 SQ.FT.) GROSS TRACT OF LAND, MORE OR LESS, OUT OF LOT 63, LOT 66, AND LOT 67, KELLY PHARR SUBDIVISION, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 3, PAGE 133-134, MAP RECORDS OF HIDALGO COUNTY, TEXAS, BEING THE SAME TRACT OF LAND THEREOF CONVEYED TO SANJAY KHANA, ANJALI KHANNA, JUAN HUMBERTO MARQUEZ, AND SILVIA MARQUEZ, AS RECORDED IN DOCUMENT NUMBER 2398765 AND 2405526, OFFICIAL DEED RECORDS OF HIDALGO COUNTY, TEXAS.



**LEGEND**

- - FND. 1/2" IRON ROD
- - SET 1/2" IRON ROD W/CAP
- ⊙ - STAMPED "SAMES"
- ON-SITE BENCHMARK
- CENTER LINE
- LOT LINE
- H.C.M.R. - HIDALGO COUNTY MAP RECORDS
- P.O.C. - POINT OF COMMENCEMENT
- P.O.B. - POINT OF BEGINNING
- EXIST. - EXISTING
- PROP. - PROPOSED
- R.O.W. - RIGHT OF WAY
- FND. - FOUND
- SF - SQUARE FEET
- VOL. - VOLUME
- PG. - PAGE
- D.B.T.P. - DEDICATED BY THIS PLAT
- U.E. - UTILITY EASEMENT

- SURVEY NOTES:**
1. BASIS OF BEARING AS PER THE NORTH LOT LINE OF LOT 63, KELLY PHARR SUBDIVISION, AS PER MAP RECORDED IN VOLUME 3, PAGE 133-134, MAP RECORDS OF HIDALGO COUNTY, TEXAS.
  2. ALL COORDINATES, BEARINGS, AND DISTANCES ARE BASED ON THE TEXAS COORDINATE SYSTEM (NAD 83), TEXAS STATE PLANES, SOUTH ZONE 4205, US SURVEY FEET, GRID, BEARINGS AND DISTANCES SHOWN IN PARENTHESES ARE BASED ON RECORDED DOCUMENT.
  3. ALL HORIZONTAL CONTROL ON THIS PROJECT WAS ESTABLISHED UTILIZING RTK GPS METHODS.
  4. ELEVATIONS ON THIS PROJECT ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

**General Comments:**

1. Must Contact the Growth Coordinator from the United States Postal Service-Ismael Medina (956)383-5383 for cluster box locations and pad details.
2. Provide an approved Drainage Report form HCCDD #1 prior to recording.
3. Street names to be included in layout and initiate verification process with Engineering Department-GIS Division [coe\\_gis@cityofedinburg.com](mailto:coe_gis@cityofedinburg.com)
4. Subdivision rear of lots shall have a min. 10ft and fronts of 15ft Utility Easement.
5. Any proposed ROW or Utility Easement must state "Dedicated By This Plat" at the end of them.
6. All corner clips must comply with COE Standards Manual.
7. Block length shall not exceed 1000'. Provide additional stubouts to break block length.
8. The plans must be signed and sealed by a licensed professional engineer in the State of Texas. Please ensure this requirement is met for the approved plans.
9. Missing Metes and Bounds description, ensure it includes the POB and POC and have GPS coordinates (Northing and Easting), include on layout.

**PRINCIPAL CONTACTS:**

NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER: Fill out owner information				
ENGINEER: SAUL D. MALDONADO, PE	200 S. 10TH ST, SUITE 108	McALLEN, TEXAS 78501	(956) 702-8880	(956)
SURVEYOR: SAMUEL D. MALDONADO, RPLS	200 S. 10TH ST, SUITE 108	McALLEN, TEXAS 78501	(956) 702-8880	(956)

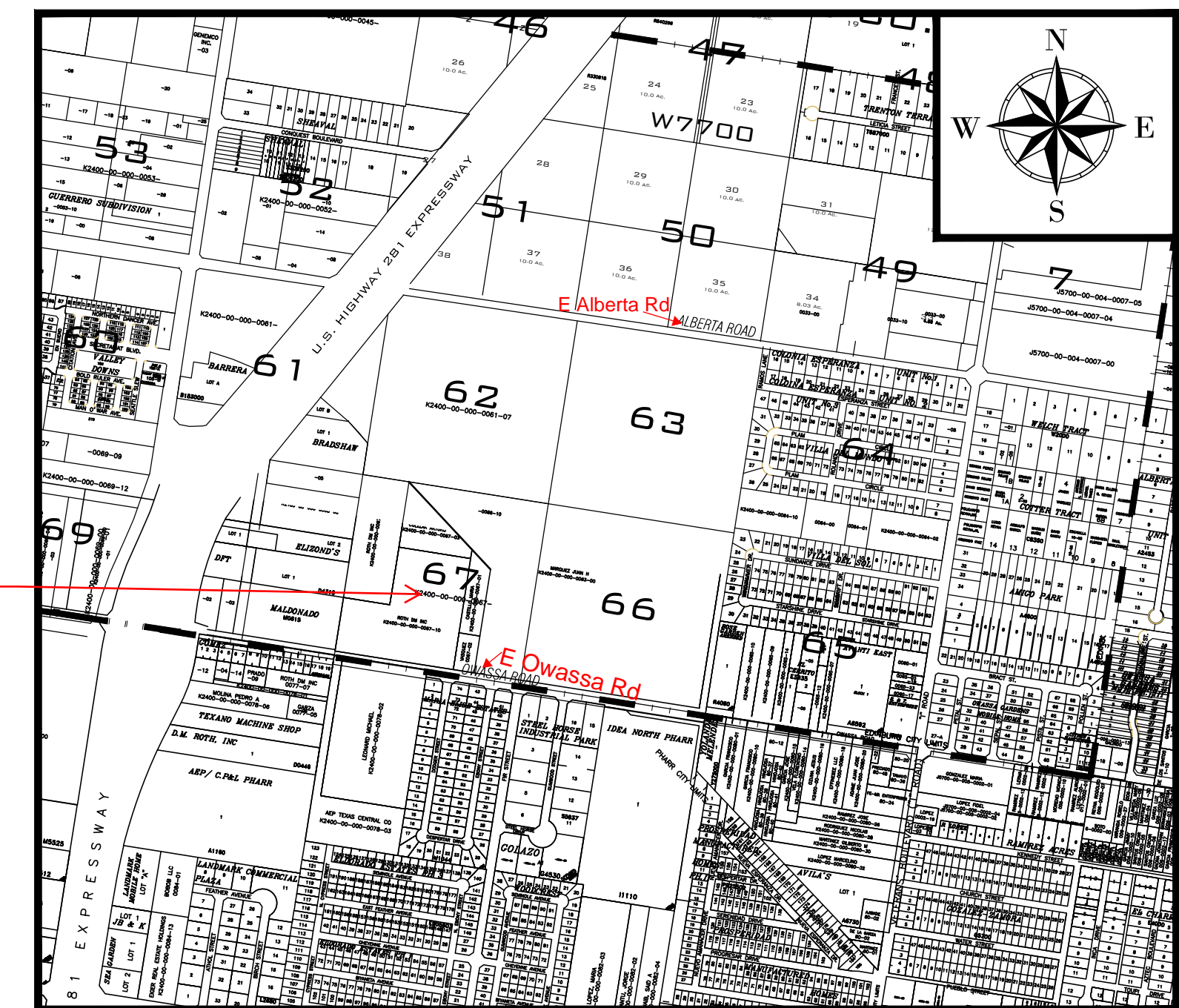
DATE OF PREPARATION: APRIL 2026 SHEET 01 OF 02

4943 S. JACKSON RD. STE 101. TEL. (956) 702-8880  
EDINBURG, TEXAS 78589 FAX: (956) 702-8883

**SAMES**  
TEX. REG. ENGINEERING FIRM F-10602  
TEX. REG. SURVEYING FIRM No. 101416-00

LOT AREA TABLE		LOT AREA TABLE		LOT AREA TABLE		LOT AREA TABLE		LOT AREA TABLE		LOT AREA TABLE		LOT AREA TABLE		LOT AREA TABLE		LOT AREA TABLE		LOT AREA TABLE		LOT AREA TABLE		LOT AREA TABLE	
LOT NO.	AREA (SQ.FT.)	LOT NO.	AREA (SQ.FT.)	LOT NO.	AREA (SQ.FT.)	LOT NO.	AREA (SQ.FT.)	LOT NO.	AREA (SQ.FT.)	LOT NO.	AREA (SQ.FT.)	LOT NO.	AREA (SQ.FT.)	LOT NO.	AREA (SQ.FT.)	LOT NO.	AREA (SQ.FT.)	LOT NO.	AREA (SQ.FT.)	LOT NO.	AREA (SQ.FT.)	LOT NO.	AREA (SQ.FT.)
1	10702.63	21	6599.86	41	6600.00	61	7150.00	81	6600.00	105	6325.00	125	6050.00	145	6600.00	165	6325.00	185	6325.00	205	6600.00	225	6600.00
2	7214.01	22	6599.86	42	6600.00	62	7150.00	82	6521.46	106	6325.00	126	6487.50	146	6600.00	166	6325.00	186	6325.00	206	6600.00	226	6600.00
3	6639.53	23	6599.87	43	6181.44	63	7150.00	83	6326.53	107	6325.00	127	6487.50	147	6600.00	167	6325.00	187	6787.50	207	6600.00	227	6600.00
4	6599.79	24	6599.88	44	6950.27	64	7150.00	84	5109.05	108	6325.00	128	6050.00	148	6788.32	168	6325.00	188	6787.50	208	6600.00	228	7087.50
5	6599.75	25	6599.88	45	10944.17	65	7150.00	85	5918.41	109	6325.00	129	6050.00	149	6843.54	169	6325.00	189	6325.00	209	6600.00	229	7087.50
6	6599.75	26	6388.50	46	8494.62	66	7150.00	86	6536.32	110	6325.00	130	6050.00	150	6600.00	170	6787.50	190	6325.00	210	6600.00	230	6600.00
7	6599.76	27	5881.93	47	7127.18	67	7024.40	87	6600.00	111	10015.03	131	6050.00	151	6600.00	171	6787.50	191	6325.00	211	6600.00	231	6600.00
8	6599.77	28	10094.37	48	7150.00	68	7203.83	88	6600.00	112	6487.50	132	6050.00	152	6600.00	172	6325.00	192	6325.00	212	6600.00	232	6600.00
9	6599.77	29	6950.29	49	7150.00	69	7120.60	89	7875.00	113	6050.00	133	6050.00	153	6600.00	173	6325.00	193	6325.00	213	6600.00	233	6600.00
10	6599.78	30	6181.38	50	7150.00	70	7150.00	94	6900.00	114	6050.00	134	6050.00	154	6600.00	174	6325.00	194	6325.00	214	6600.00	234	6600.00
11	6599.79	31	6600.00	51	7150.00	71	7150.00	95	6900.00	115	6050.00	135	6050.00	155	6762.50	175	6325.00	195	6325.00	215	7087.50	235	6600.00
12	6599.79	32	6600.00	52	7150.00	72	14883.00	96	6900.00	116	6050.00	136	6050.00	156	6787.43	176	6325.00	196	6325.00	216	7087.50	236	6600.00
13	6599.80	33	6600.00	53	7150.00	73	16452.74	97	6900.00	117	6050.00	137	6050.00	157	6325.00	177	6325.00	197	6325.00	217	6600.00	237	6600.00
14	6599.81	34	6600.00	54	7150.00	74	9515.51	98	6900.00	118	6050.00	138	6050.00	158	6325.00	178	7740.50	198	6325.00	218	6600.00	238	6600.00
15	6599.81	35	6600.00	55	7152.53	75	6600.00	99	9196.54	119	6050.00	139	6050.00	159	6325.00	179	9800.10	199	6325.00	219	6600.00	239	6600.00
16	6599.82	36	7087.50	56	7160.63	76	6600.00	100	10526.30	120	6050.00	140	6050.00	160	6325.00	180	6325.00	200	6325.00	220	6600.00	240	6600.00
17	6599.83	37	7152.56	57	8148.58	77	6600.00	101	6325.00	121	6050.00	141	6487.50	161	6325.00	181	6325.00	201	6325.00	221	6600.00	241	7087.50
18	6599.84	38	6600.00	58	7150.00	78	6600.00	102	6325.00	122	6050.00	142	6762.50	162	6325.00	182	6325.00	202	6787.43	222	6600.00	242	7087.50
19	6599.84	39	6600.00	59	7150.00	79	6600.00	103	6325.00	123	6050.00	143	6600.00	163	6325.00	183	6325.00	203	7087.50	223	6600.00	243	6600.00
20	6599.85	40	6600.00	60	7150.00	80	6600.00	104	6325.00	124	6050.00	144	6600.00	164	6325.00	184	6325.00	204	6600.00	224	6600.00	244	6600.00

Missing 89, 90, 91, & 93



Please indicate location

LOT AREA TABLE		LOT AREA TABLE	
LOT NO.	AREA (SQ.FT.)	LOT NO.	AREA (SQ.FT.)
245	6600.00	266	6600.00
246	6600.00	267	7087.50
247	6600.00	268	7087.50
248	6600.00	269	6600.00
249	6600.00	270	6600.00
250	6600.00	271	6600.00
251	6600.00	272	6600.00
252	6600.00	273	6600.00
253	6600.00	274	6600.00
254	7087.50	275	6600.00
255	6600.00	276	6600.00
256	6600.00	277	6682.57
257	6600.00	278	6847.57
258	6600.00	279	7912.58
259	6600.00	280	7725.94
260	6600.00		
261	6600.00		
262	6600.00		
263	6600.00		
264	6600.00		
265	6600.00		

Parcel Line Table			Parcel Line Table			Parcel Line Table		
Line #	Length	Direction	Line #	Length	Direction	Line #	Length	Direction
L1	5.74	S38°18'08"E	L21	21.21	N36°34'27"W	L41	30.04	S11°32'53"W
L2	35.35	S53°25'33"W	L22	21.21	N53°25'33"E	L42	21.21	N53°25'33"E
L3	35.36	N36°34'27"W	L23	21.21	S36°34'27"E	L43	21.21	S36°34'27"E
L4	35.36	S53°25'33"W	L24	21.21	N53°25'33"E	L44	21.21	N53°25'33"E
L5	35.35	S36°34'27"E	L25	21.21	S36°34'27"E	L45	21.21	S36°34'27"E
L6	5.74	S55°09'14"W	L26	21.21	N53°25'33"E	L46	21.21	S53°25'33"E
L7	22.50	S81°34'27"E	L27	20.04	S52°36'27"E	L47	21.21	N36°34'27"W
L8	27.50	S81°34'27"E	L28	19.67	S27°17'54"W	L48	26.38	S08°25'32"W
L9	30.00	S08°25'33"W	L29	0.23	S43°49'44"E	L49	16.38	S81°34'27"E
L10	21.21	S53°25'33"W	L30	21.21	N36°34'27"W	L50	21.21	S36°34'27"E
L11	16.07	S43°06'03"E	L31	21.21	S53°25'33"W	L51	21.21	S53°25'33"W
L12	12.21	N43°25'44"E	L32	21.21	N36°34'27"W	L52	16.38	N81°34'27"W
L13	12.21	S26°34'38"E	L33	21.21	N53°25'33"E	L53	35.36	S53°25'33"W
L14	37.53	S55°09'14"W	L34	21.21	N36°34'27"W	L54	35.36	S36°34'27"E
L15	18.79	S08°25'32"W	L35	21.21	S53°25'33"W	L55	35.36	S36°34'27"E
L16	21.21	S53°25'33"W	L36	21.21	N36°34'27"W	L56	35.36	S53°25'33"W
L17	21.21	N36°34'27"W	L37	21.21	S53°25'33"W	L57	35.36	S36°34'27"E
L18	21.21	N53°25'33"E	L38	26.63	N35°00'47"W	L58	35.36	S53°25'33"W
L19	21.21	S36°34'27"E	L39	21.78	S54°59'13"W	L59	11.36	S11°32'53"W
L20	20.59	S51°46'19"W	L40	19.79	N81°34'27"W			

CURVE DATA TABLE				CURVE DATA TABLE							
CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH	CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH		
C19	165.26	250.00	375°2'30"	162.27	C84	17.45	20.00	425°59'40"	16.90		
C31	311.7	400.00	427°50'	311.66	C85	28.39	50.00	323°21'0"	28.01		
C32	127.98	409.30	175°54'00"	127.46	C86	41.80	50.00	475°35'0"	40.59		
C33	115.49	409.30	167°02'00"	115.11	C87	37.99	50.00	432°20'0"	37.08		
C34	38.63	250.00	87°10'0"	38.59	C88	57.61	50.00	68°10'0"	56.48		
C35	61.78	140.00	251°63'00"	61.26	C89	2.47	20.00	73°54'0"	2.47		
C37	165.26	250.00	375°2'30"	162.27	C90	14.98	20.00	425°44'0"	14.63		
C47	58.30	200.00	164°1'50"	57°12'38"W	58.07	C91	52.19	250.00	115°74'0"	47°53'36"W	52.10
C48	153.65	200.00	44°0'0"	153°26'05"W	149.90	C92	73.92	250.00	16°56'30"	73.65	
C49	153.65	200.00	44°0'0"	153°26'05"W	149.90	C93	38.58	250.00	85°30'0"	38.54	
C50	153.65	200.00	44°0'0"	153°26'05"W	149.90	C94	0.00	190.92	0°0'0"	0.00	
C61	105.02	1,483.29	4°03'20"	508°25'33"W	105.00	C95	148.97	60.00	142°15'20"	527°17'54"W	113.55
C75	24.97	120.00	11°55'30"	S49°47'27"E	24.92	C96	86.73	60.00	82°49'10"	S85°41'9"E	79.37
C76	36.91	120.00	17°37'30"	S64°33'54"E	36.77	C97	28.91	20.00	82°49'10"	S85°41'9"E	26.46
C77	17.17	120.00	81°1'50"	S77°28'33"E	17.15	C99	77.45	300.00	124°40'	S28°29'11"E	77.29
C78	61.78	140.00	251°63'00"	S42°31'00"W	61.26	C100	70.15	350.00	112°29'00"	S16°24'20"E	70.03
C79	38.63	250.00	87°10'0"	S50°43'39"W	38.59	C101	65.35	350.00	107°15'00"	S05°18'54"E	65.25
C80	9.46	200.00	2°42'40"	S36°56'50"E	9.46	C102	51.27	350.00	82°33'00"	S04°13'47"W	51.22
C82	111.33	200.00	31°53'40"	S22°21'19"E	109.90	C104	55.00	350.00	90°07'10"	S39°19'38"E	54.94
C83	153.65	200.00	44°0'0"	S13°45'59"E	149.90	C105	39.53	60.00	374°44'	N62°42'05"W	38.82

Missing C106, C107, C108, C109, C110, C111, C112, C113, C114, C115

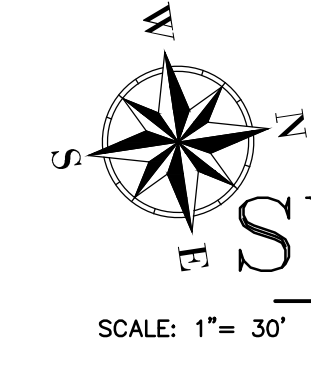
GENERAL NOTES:

- NO PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN UTILITY EASEMENTS, GAS EASEMENTS, IRRIGATION EASEMENTS OR LOT LINES.
- SETBACK AS PER CITY OF EDINBURG ORDINANCE FOR ZONE CLASSIFICATION RESIDENTIAL PRIMARY (RP) DISTRICT.
  - FRONT SETBACK: 20 FT
  - GARAGE SETBACK: 18 FT
  - SIDE SETBACK: 6 FT
  - STREET SIDE SETBACK: 10 FT
  - REAR SETBACK: 20 FT
 OR EASEMENT; WHICHEVER IS GREATER FOR ALL CASES.
  - Include street yard setback for cul-de-sac is 15ft refer to Table 3.102-1 Table Note: 1.
- SETBACK AS PER CITY OF EDINBURG ORDINANCE FOR ZONE CLASSIFICATION GENERAL COMMERCIAL (CM) DISTRICT.
  - FRONT SETBACK: FT
  - SIDE SETBACK: FT
  - STREET SIDE SETBACK: FT
  - REAR SETBACK: FT
 OR EASEMENT; WHICHEVER IS GREATER FOR ALL CASES.
  - Front & Exterior side Yard: 25ft
  - Side Yard: 10ft
  - Rear Yard: 10ft
- FLOOD INSURANCE RATING: COMMUNITY PANEL NUMBER 480334 0425 C, REVISED NOVEMBER 16, 1982, FLOOD ZONE DESIGNATION: "ZONE B (SHADED)" - AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD.(MEDIUM SHADING)
- BENCHMARK 1: please fill out prior to recording
- MINIMUM FINISH FLOOR NOTE: MINIMUM FINISH FLOOR ELEVATION SHALL BE A MINIMUM OF 18" ABOVE THE ELEVATION OF THE LOWEST TOP OF CURB OR 12" FOR CENTER OF THE ROAD WHICH EVER IS GREATER. add 24" for Commercial
- IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1, THE DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF (XXXXX) CUBIC-Feet (XXX) ACRE-Feet OF STORM WATER RUNOFF. DRAINAGE DETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS STATED ON APPROVED DRAINAGE REPORT.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO IMPROVISED AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
- ALL CONSTRUCTION SHALL COMPLY WITH STORMWATER POLLUTION PREVENTION PLAN (SWSP) REQUIREMENTS: EROSION AND SEDIMENTATION CONTROLS CONSTRUCTED IN ACCORDANCE WITH THE STORM ORDINANCE 98.30 OF THE CITY OF EDINBURG ARE REQUIRED FOR ALL CONSTRUCTION ON EACH LOT INCLUDING SINGLE FAMILY AND DUPLEX/ MULTI-FAMILY CONSTRUCTION.
- A 5.0 FOOT WIDE SIDEWALK ALONG THE SOUTH ROW OF ALBERTA ROAD AND THE NORTH ROW OF OWASSA ROAD SHALL BE CONSTRUCTED BY THE DEVELOPER DURING SUBDIVISION CONSTRUCTION PHASE. WITH ADA RAMPS AND SIDEWALKS TO GO INTO SUBDIVISION MONUMENT OR GATE.
- THE HOME OWNERS ASSOCIATION MUST COLLECT DUES AND MAINTAIN SAID PRIVATE STREETS, STREET SIGNS, LANDSCAPE IMPROVEMENTS IN COMMON DRAINAGE AREAS, STREET LIGHTS ELECTRIC BILL, AND OTHER AMENITIES IMPROVEMENTS FOR THIS SUBDIVISION AS PER UDC ARTICLE 5, SEC. 5.102 APPLICABILITY, O HOMEOWNERS ASSOCIATION.
- ALL LOTS SHALL BE GRA

1. Provide five access to the subdivision as per City Standards.

PLEASE PROVIDE TOPO WITH ELEVATIONS

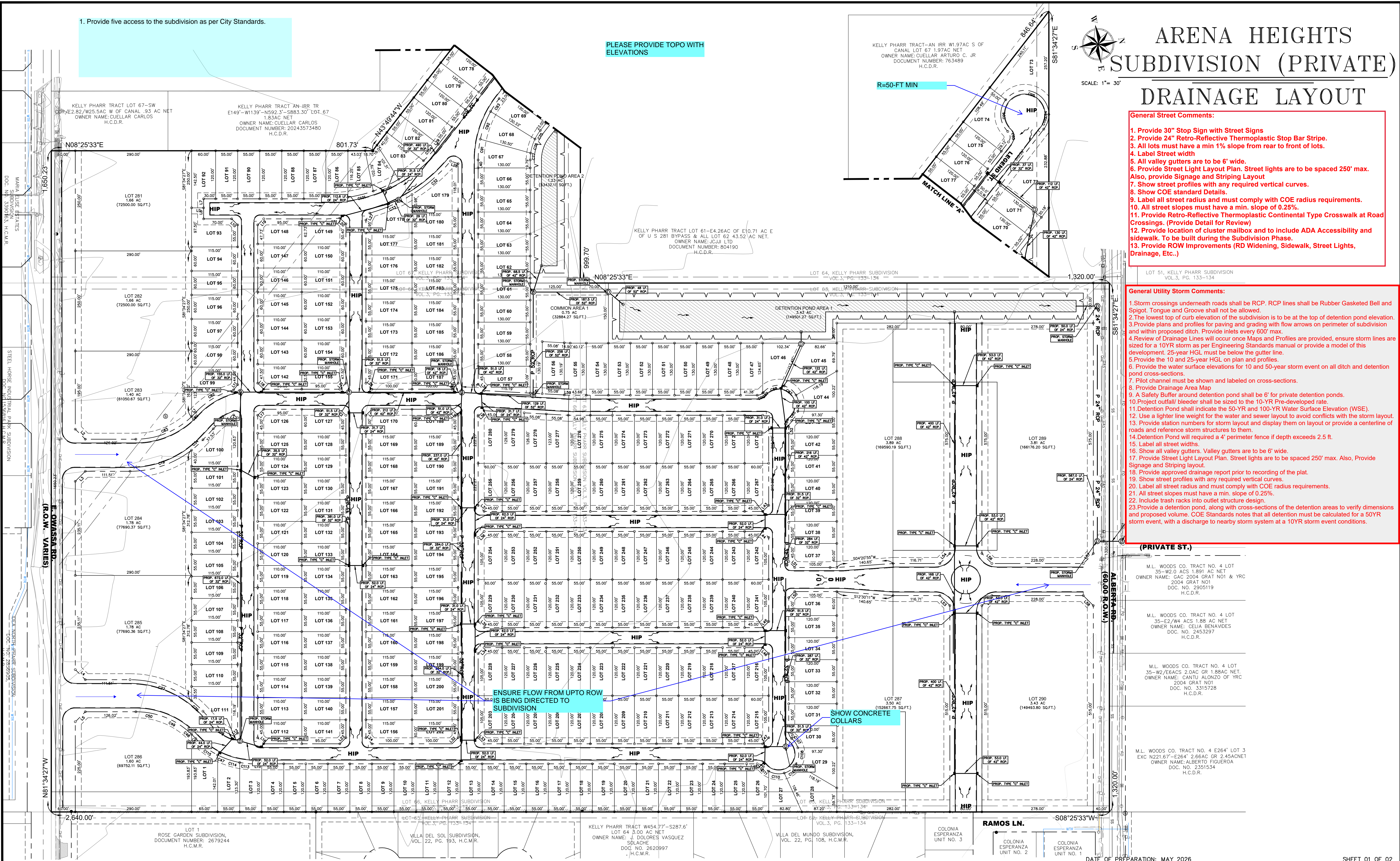
KELLY PHARR TRACT-AN IRR W/9.74C S OF CANAL LOT 67 1.97AC NET OWNER NAME: CUELLAR ARTURO C. JR DOCUMENT NUMBER: 763489 H.C.D.R.



# ARENA HEIGHTS SUBDIVISION (PRIVATE) DRAINAGE LAYOUT

- General Street Comments:**
1. Provide 30" Stop Sign with Street Signs
  2. Provide 24" Retro-Reflective Thermoplastic Stop Bar Stripe.
  3. All lots must have a min 1% slope from rear to front of lots.
  4. Label Street width
  5. All valley gutters are to be 6' wide.
  6. Provide Street Light Layout Plan. Street lights are to be spaced 250' max. Also, provide Signage and Striping Layout
  7. Show street profiles with any required vertical curves.
  8. Show COE standard Details.
  9. Label all street radius and must comply with COE radius requirements.
  10. All street slopes must have a min. slope of 0.25%.
  11. Provide Retro-Reflective Thermoplastic Continental Type Crosswalk at Road Crossings. (Provide Detail for Review)
  12. Provide location of cluster mailbox and to include ADA Accessibility and sidewalk. To be built during the Subdivision Phase.
  13. Provide ROW improvements (RD Widening, Sidewalk, Street Lights, Drainage, Etc.)

- General Utility Storm Comments:**
1. Storm crossings underneath roads shall be RCP. RCP lines shall be Rubber Gasketed Bell and Spigot. Tongue and Groove shall not be allowed.
  2. The lowest top of curb elevation of the subdivision is to be at the top of detention pond elevation.
  3. Provide plans and profiles for paving and grading with flow arrows on perimeter of subdivision and within proposed ditch. Provide inlets every 600' max.
  4. Review of Drainage Lines will occur once Maps and Profiles are provided, ensure storm lines are sized for a 10YR storm as per Engineering Standards manual or provide a model of this development. 25-year HGL must be below the gutter line.
  5. Provide the 10 and 25-year HGL on plan and profiles.
  6. Provide the water surface elevations for 10 and 50-year storm event on all ditch and detention pond cross-sections.
  7. Pilot channel must be shown and labeled on cross-sections.
  8. Provide Drainage Area Map
  9. A Safety Buffer around detention pond shall be 6' for private detention ponds.
  10. Project outfall/bleeder shall be sized to the 10-YR Pre-developed rate.
  11. Detention Pond shall indicate the 50-YR and 100-YR Water Surface Elevation (WSE).
  12. Use a lighter line weight for the water and sewer layout to avoid conflicts with the storm layout.
  13. Provide station numbers for storm layout and display them on layout or provide a centerline of roads and reference storm structures to them.
  14. Detention Pond will require a 4' perimeter fence if depth exceeds 2.5 ft.
  15. Label all street widths.
  16. Show all valley gutters. Valley gutters are to be 6' wide.
  17. Provide Street Light Layout Plan. Street lights are to be spaced 250' max. Also, Provide Signage and Striping layout.
  18. Provide approved drainage report prior to recording of the plat.
  19. Show street profiles with any required vertical curves.
  20. Label all street radius and must comply with COE radius requirements.
  21. All street slopes must have a min. slope of 0.25%.
  22. Include trash racks into outlet structure design.
  23. Provide a detention pond, along with cross-sections of the detention areas to verify dimensions and proposed volume. COE Standards notes that all detention must be calculated for a 50YR storm event, with a discharge to nearby storm system at a 10YR storm event conditions.



(PRIVATE ST.)

M.L. WOODS CO. TRACT NO. 4 LOT 35-W/2 ACS 1.891 AC NET OWNER NAME: GAC 2004 GRAT N01 & YRC 2004 GRAT N01 DOC. NO. 2905119 H.C.D.R.

M.L. WOODS CO. TRACT NO. 4 LOT 35-E2/W/4 ACS 1.88 AC NET OWNER NAME: CELIA BENAVIDES DOC. NO. 2453297 H.C.D.R.

M.L. WOODS CO. TRACT NO. 4 LOT 35-W/2/E/ACS 2.0AC GR 1.88AC NET OWNER NAME: CANTU ALONZO OF YRC 2004 GRAT N01 DOC. NO. 3315728 H.C.D.R.

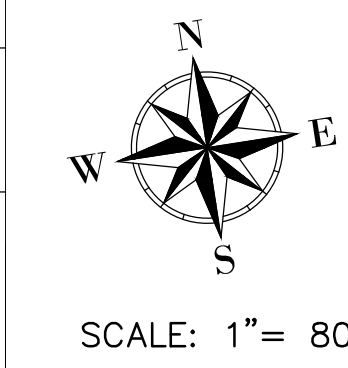
M.L. WOODS CO. TRACT NO. 4 E264' LOT 3 EXC N221.67'-E264' 2.66AC GR 2.45AC NET OWNER NAME: ALBERTO FIGUEROA DOC. NO. 2351534 H.C.D.R.

DATE OF PREPARATION: MAY 2026

SHEET 01 OF 02

**SAMES** 4943 S. JACKSON RD. STE. 101 TEL. (956) 702-8880  
 EDINBURG, TEXAS 78589 FAX: (956) 702-8883  
 TEX. REG. ENGINEERING FIRM F-10602  
 TEX. REG. SURVEYING FIRM No. 101416-00

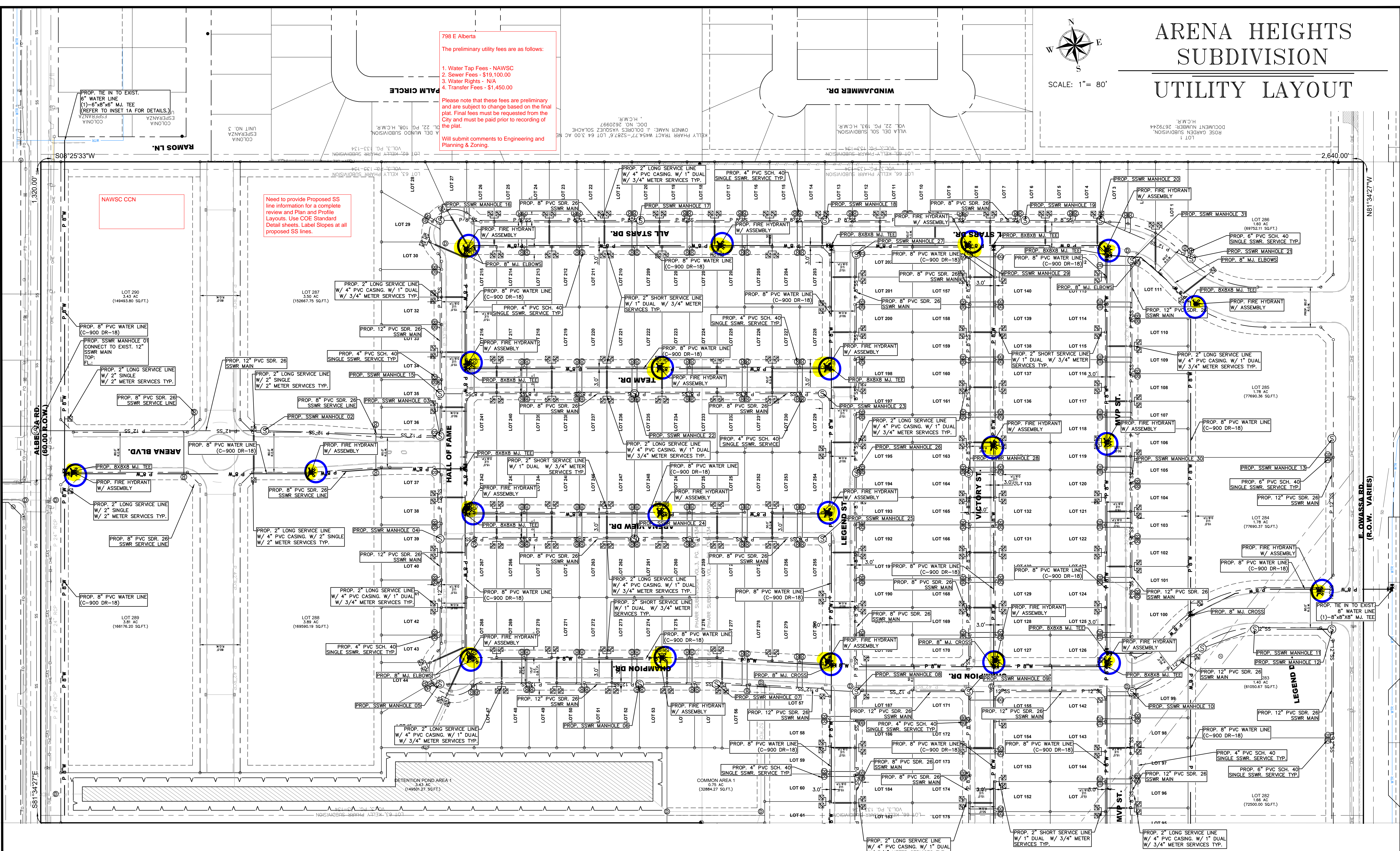
# ARENA HEIGHTS SUBDIVISION UTILITY LAYOUT



798 E Alberta  
The preliminary utility fees are as follows:  
1. Water Tap Fees - NAWSC  
2. Sewer Fees - \$19,100.00  
3. Water Rights - N/A  
4. Transfer Fees - \$1,450.00

Please note that these fees are preliminary and are subject to change based on the final plat. Final fees must be requested from the City and must be paid prior to recording of the plat.

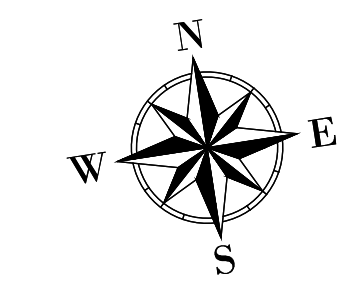
Will submit comments to Engineering and Planning & Zoning.



NAWSC CCN

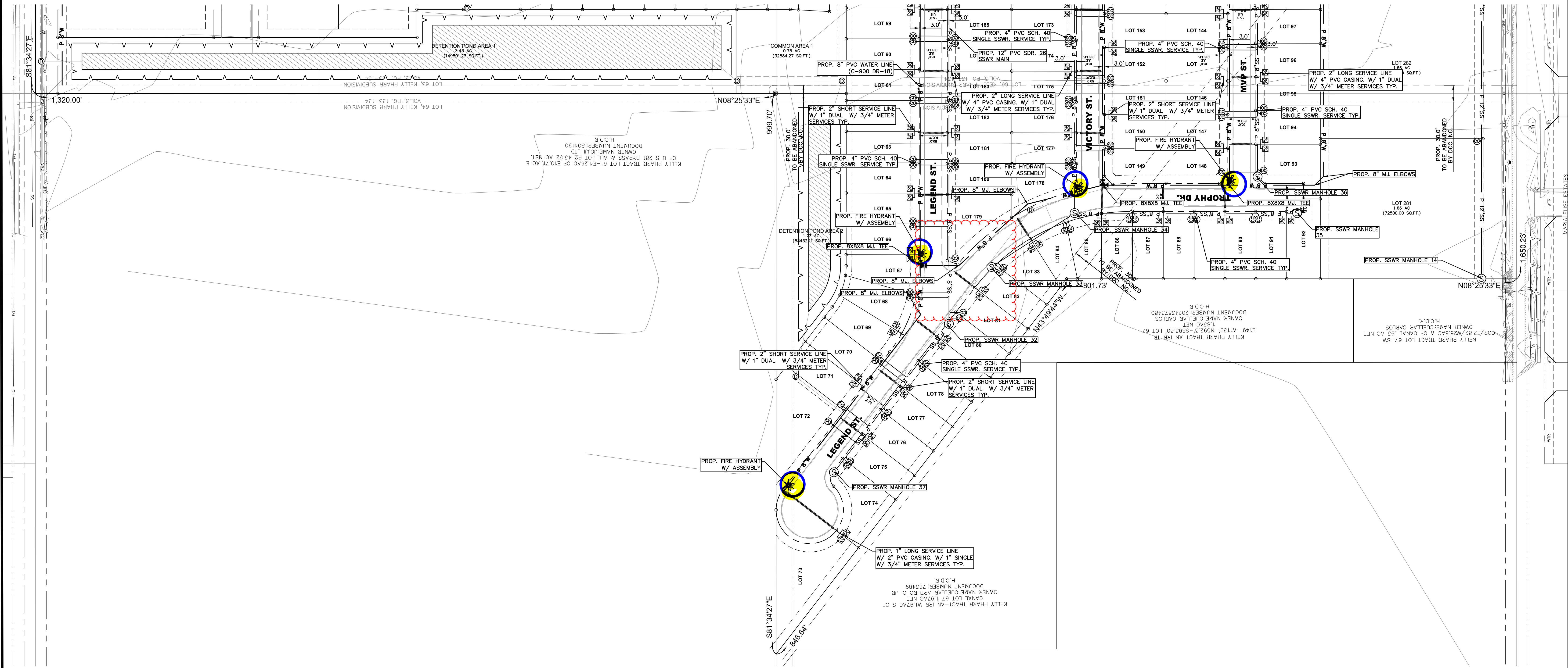
Need to provide Proposed SS line information for a complete review and Plan and Profile Layouts. Use COE Standard Detail sheets. Label Slopes at all proposed SS lines.

**SAMES** 4943 S. JACKSON RD. STE. 101. TEL. (956) 702-8880  
EDINBURG, TEXAS 78589 FAX: (956) 702-8883  
TEX. REG. ENGINEERING FIRM F-10602  
TEX. REG. SURVEYING FIRM No. 101416-00



SCALE: 1" = 80'

# ARENA HEIGHTS SUBDIVISION UTILITY LAYOUT



DATE OF PREPARATION: MAY 2026

SHEET 04 OF 06

	4943 S. JACKSON RD. STE. 101. TEL. (956) 702-8880
	EDINBURG, TEXAS 78589 FAX: (956) 702-8883
	TEX. REG. ENGINEERING FIRM F-10602
	TEX. REG. SURVEYING FIRM No. 101416-00

# **PROPOSED ARENA HEIGHTS SUBDIVISION**

**Edinburg, Hidalgo County, Texas**

## **DRAINAGE REPORT**

**Prepared For:**

**City of Edinburg and Hidalgo County Drainage District No. 1**

**902 N. Doolittle**

**Edinburg, Texas 78541**

**Prepared By:**



**Reg. No. F-10602**

**SAM Engineering & Surveying**

**200 S. 10St, Ste. 1500**

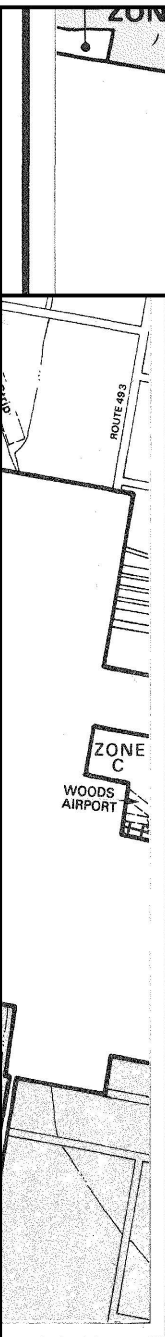
**McAllen, TX 78501**

**Tel 956.702.8880; Fax 956.702.8883**

**May 2026**

**PRELIMINARY SUBMITTAL**

**FOR REVIEW ONLY 05/21/2026 THIS  
DOCUMENT SHALL NOT BE RELIED ON FOR  
RECORDING OR ANY OTHER INTENDED USE**



NATIONAL FLOOD INSURANCE PROGRAM


**FIRM**  
FLOOD INSURANCE RATE MAP

**HIDALGO COUNTY, TEXAS**  
(UNINCORPORATED AREA)

PANEL 425 OF 525  
(SEE MAP INDEX FOR PANELS NOT PRINTED)

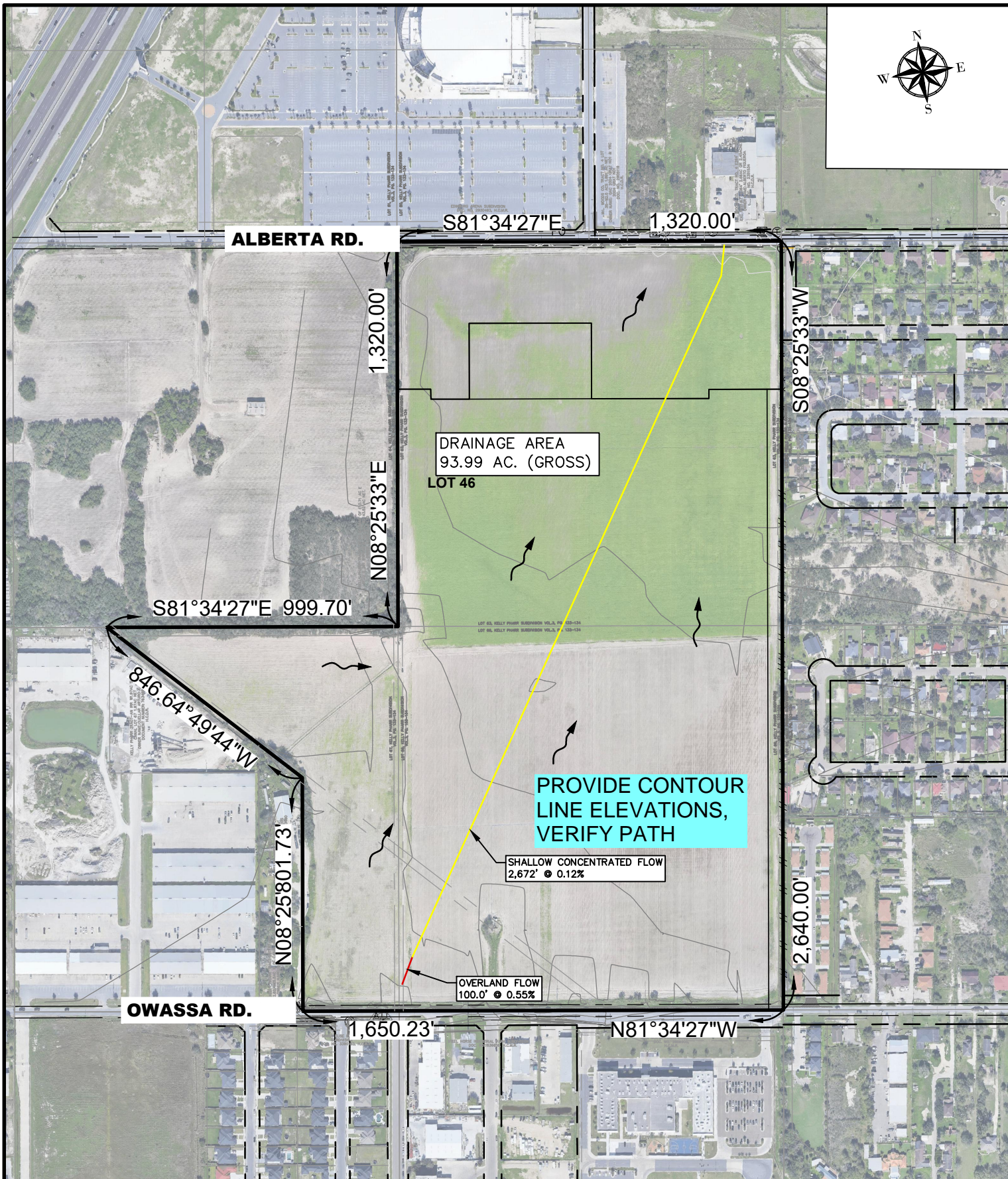
COMMUNITY-PANEL NUMBER  
480334 0425 C

MAP REVISED:  
NOVEMBER 16, 1982



federal emergency management agency

This is an official FIRMette showing a portion of the above-referenced flood map created from the MSC FIRMette Web tool. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For additional information about how to make sure the map is current, please see the Flood Hazard Mapping Updates Overview Fact Sheet available on the FEMA Flood Map Service Center home page at <https://msc.fema.gov>.

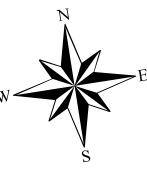
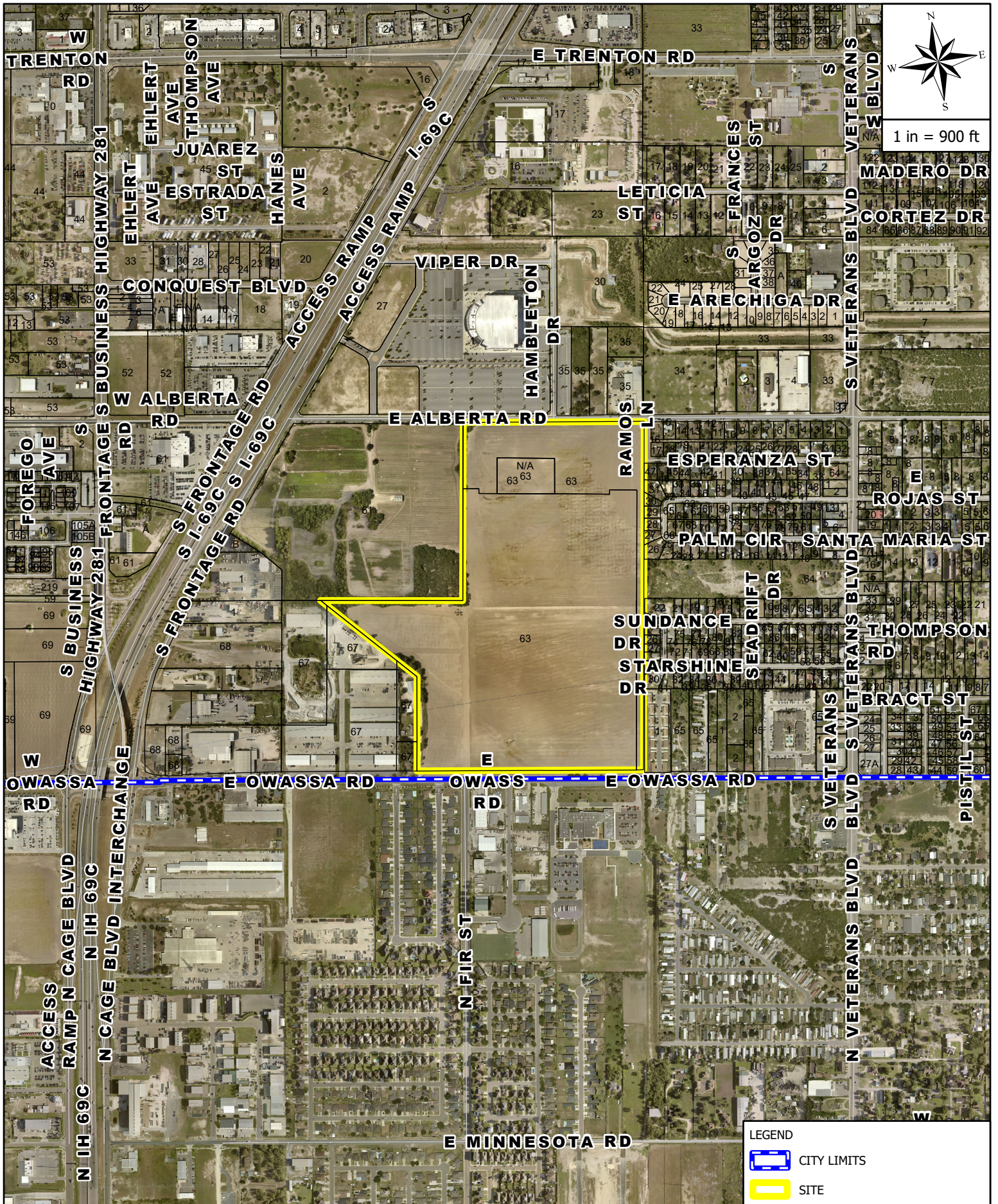


**PRE-DEVELOPMENT STORM RUNOFF**  
N.T.S.





**SAM Engineering & Surveying**  
200 S. 10TH STREET, SUITE 1500 TEL: (956) 702-8860  
MCALLEN, TEXAS 78501 FAX: (956) 702-8863  
SURVEY FIRM REG. No. 101416-00



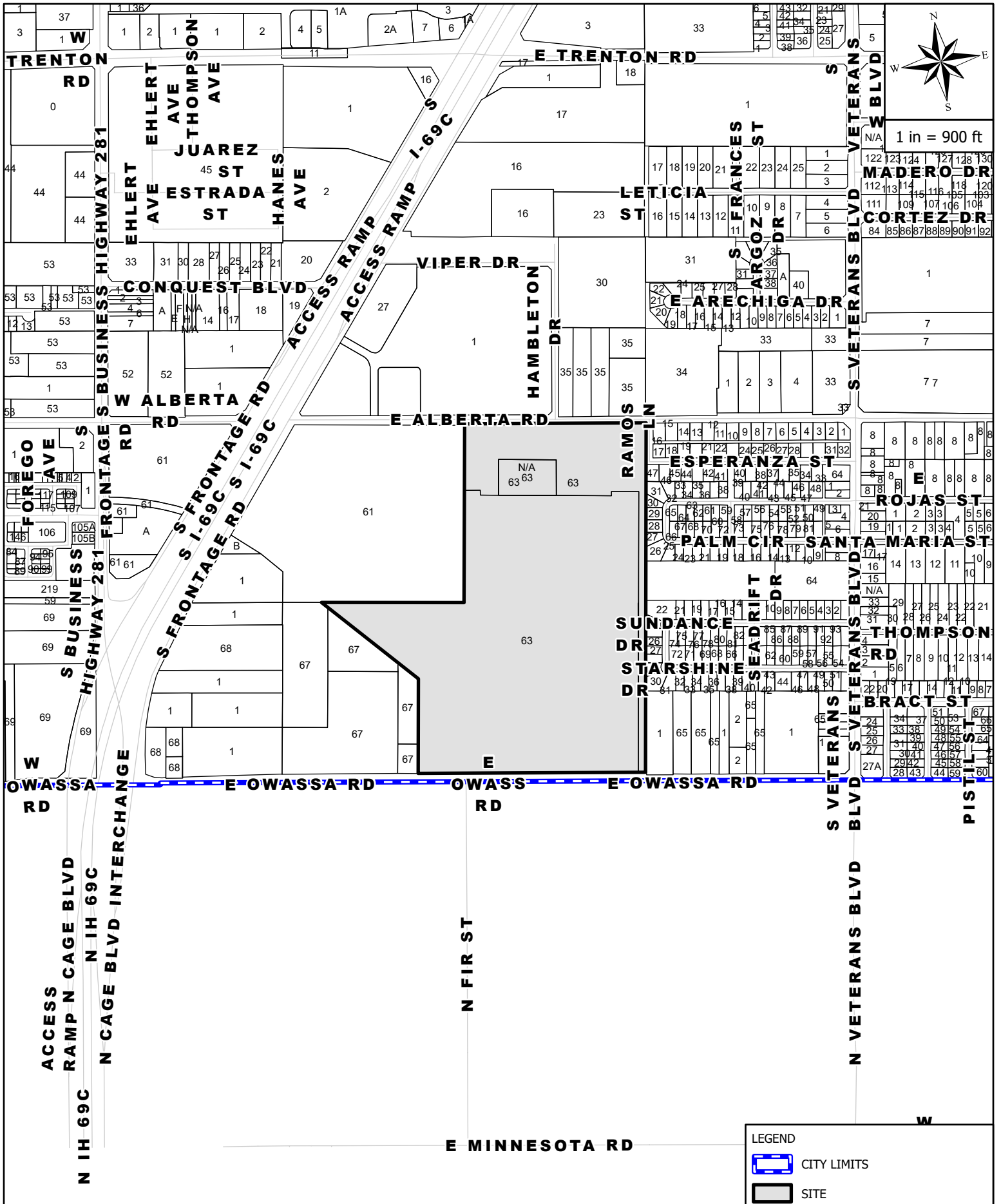


1 in = 900 ft

- LEGEND**
-  CITY LIMITS
  -  SITE

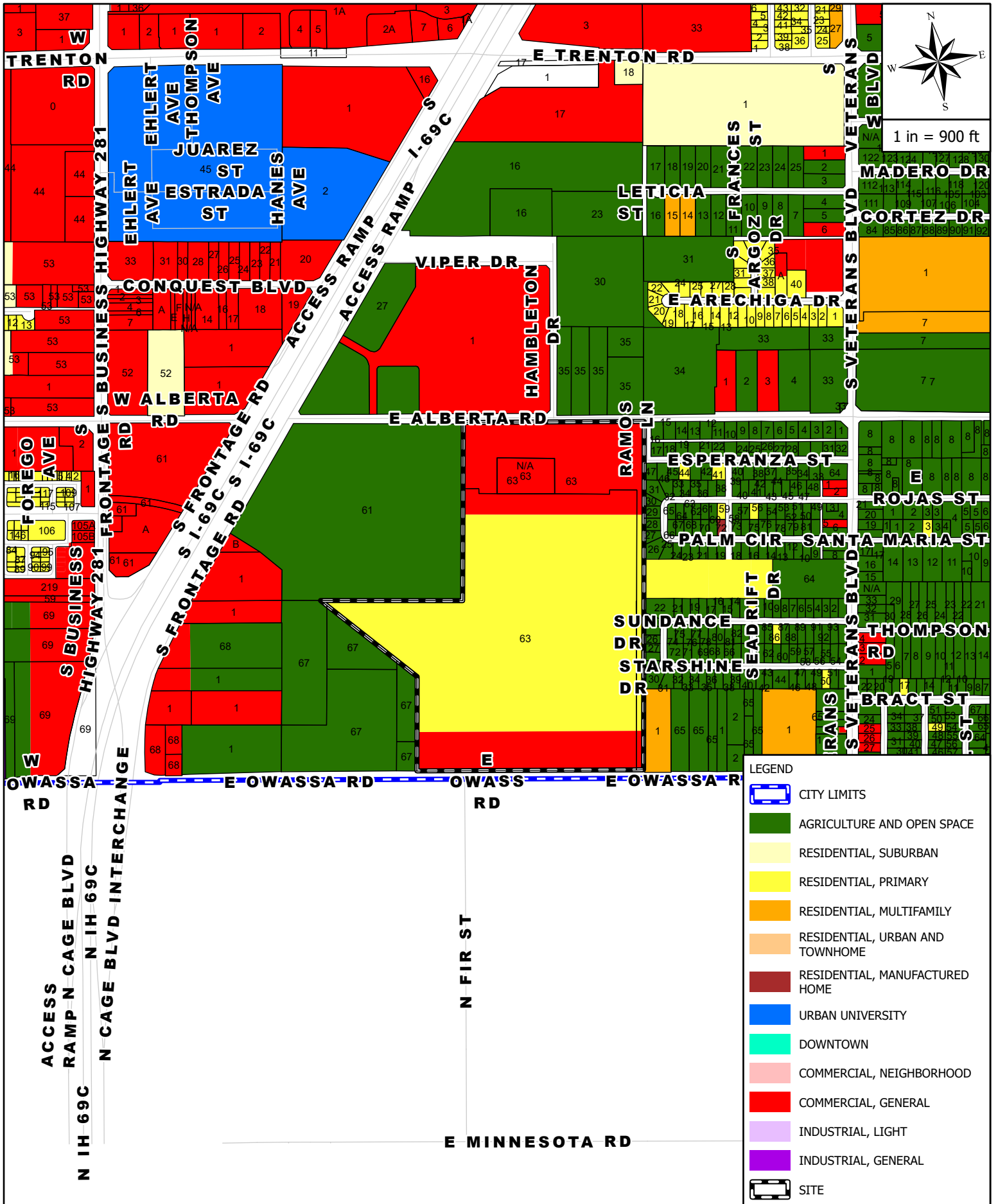


**AERIAL MAP**  
798 E ALBERTA RD

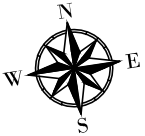


**MAILOUT AND SITE MAP**

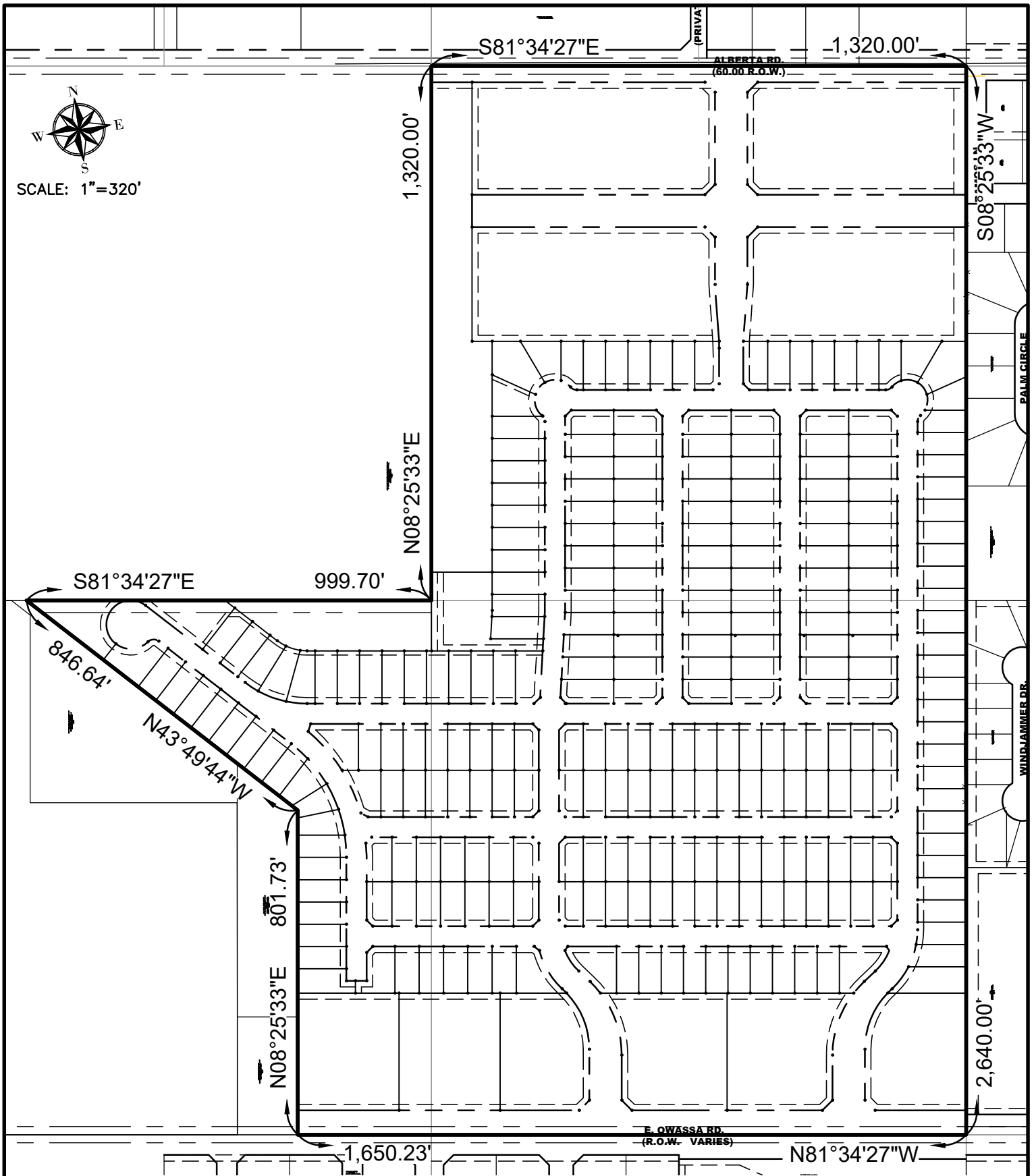
**798 E ALBERTA RD**



**ZONING MAP**  
798 E ALBERTA RD



SCALE: 1"=320'



PLAT SHOWING  
ARENA HEIGHTS SUBDIVISION

	4943 S. JACKSON RD., STE. 101	TEL: (956) 702-8880
	EDINBURG, TEXAS 78589	FAX: (956) 702-8883
SURVEY FIRM REG. No. 101416-00		
EDINBURG TX		

**STAFF REPORT: MCCOLL WALLS SUBDIVISION**

Date Prepared: June 26, 2026  
Planning and Zoning Meeting: July 9, 2026  
Final Plat Approval

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**Subject:** Consider the Final Plat approval of McColl Walls Subdivision, being a 5.00 acre tract of land being the south 5.00 acres of the north 10.00 acres of the south 30.00 acres of Lot 15, Section 237, Texas-Mexican Railway Company’s Survey, Hidalgo County, Texas, according to the plat or map thereof recorded in Volume 1, Page 12, Map Records Hidalgo County, Texas and according to General Warranty Deed recorded under County Clerk’s document number 3225359, Official records, Hidalgo County, Texas, located at 1000 N. McColl Road, as Requested by Quintanilla, Headley & Associates, Inc.

**Location:** The property is located on the east side of N. McColl Rd and approximately 658 ft. north of W. Schunior Street, and is within the City of Edinburg, City Limits.

**Setbacks:** As per the City of Edinburg Unified Development Code Front 25 ft, Rear 10 ft., Side 10 ft., or easement whichever is greater.

**Zoning:** Property is currently zoned Commercial, General (CG), District

**Analysis:** The Final Plat consists of 1 commercial development lot consisting of 4.24 acres (184,624.82 square feet).

**Utilities:** Water Distribution System will be provided by Sharyland Water Distribution System and sewer service will be provided by The City of Edinburg. All utility improvements within the proposed subdivision that are not limited to water system, sewer system, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2021 Standards Manual.

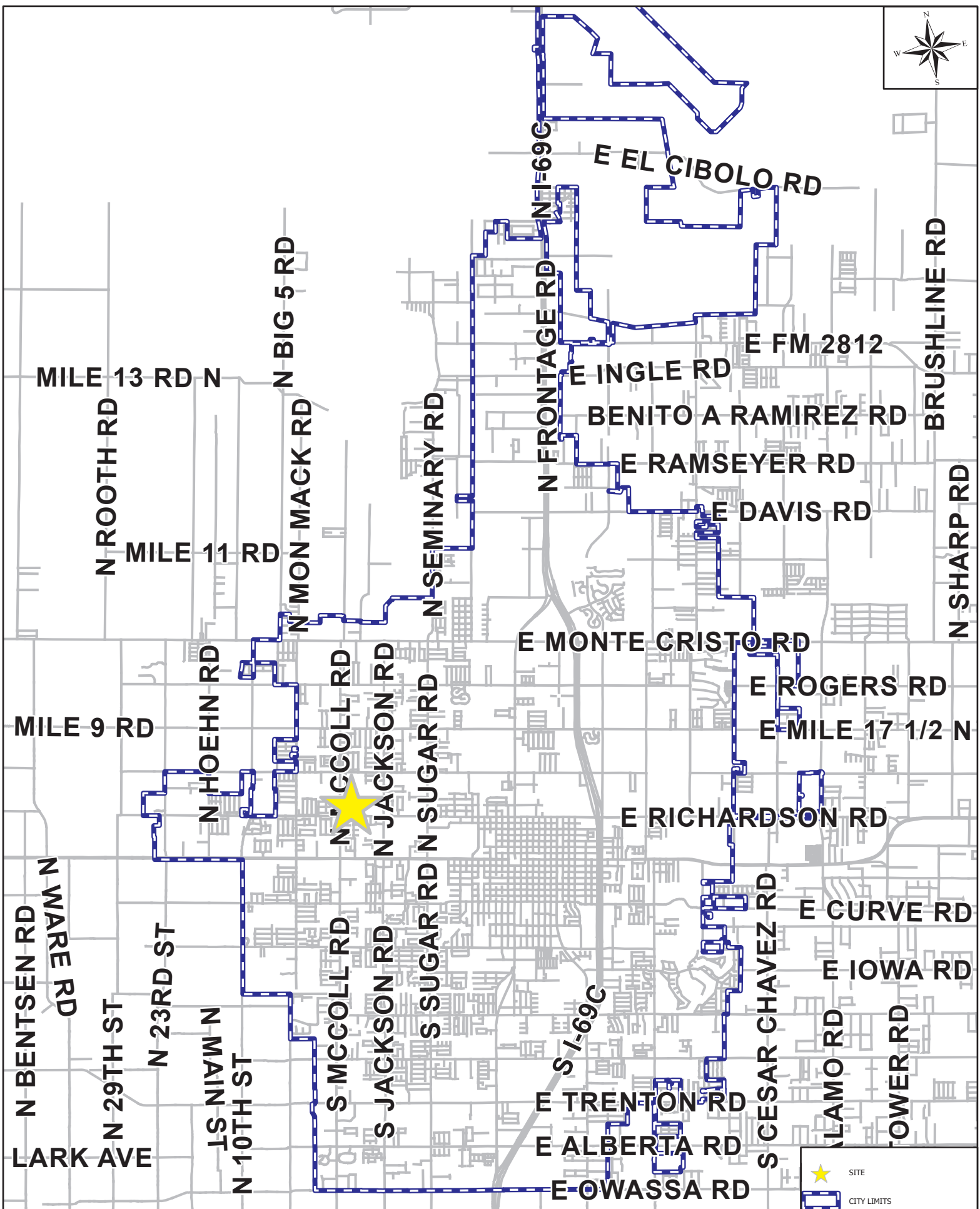
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**Recommendations:**

**City of Edinburg Planning & Zoning Department:**



Staff recommends approval of the Final Plat, subject to compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

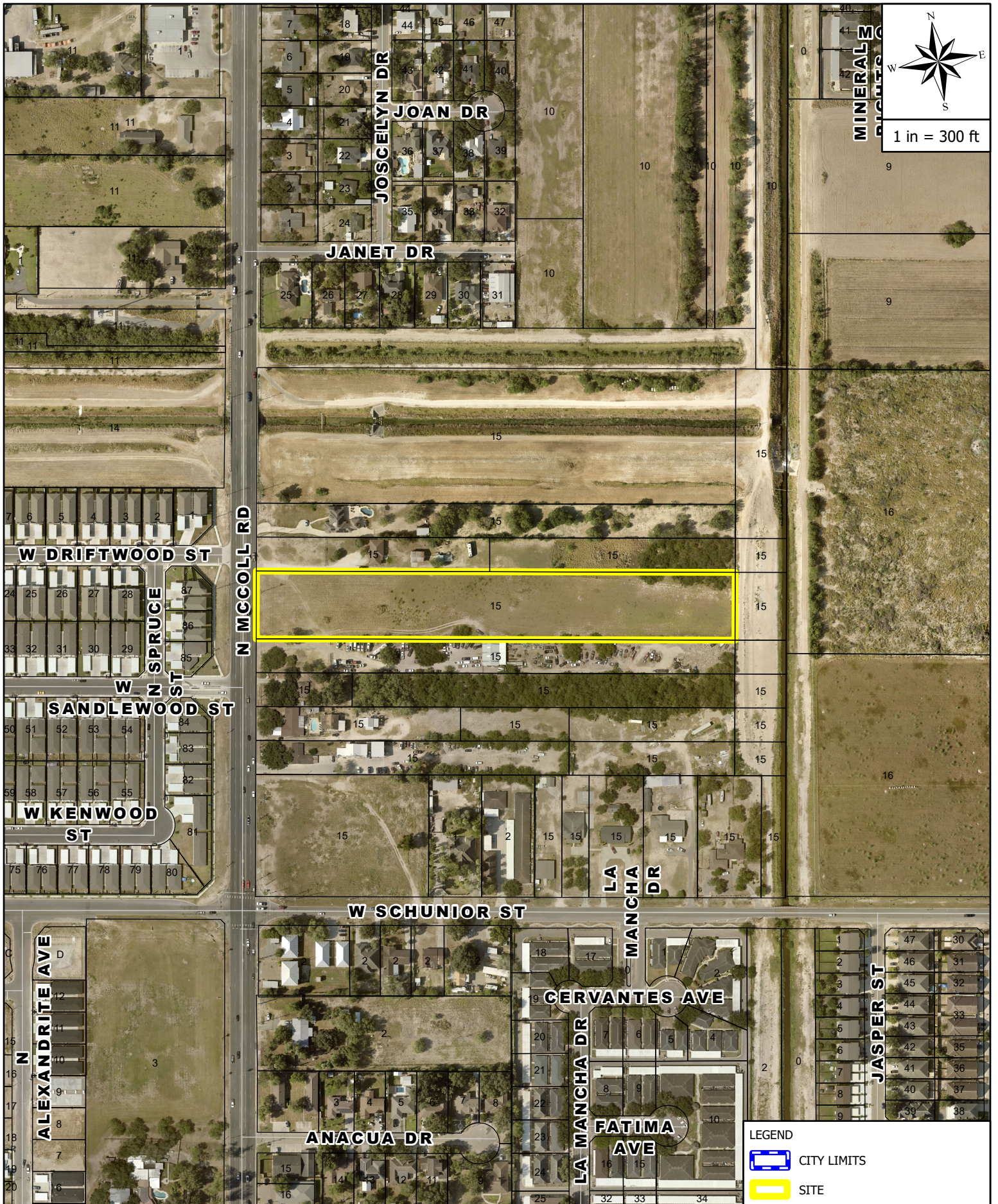




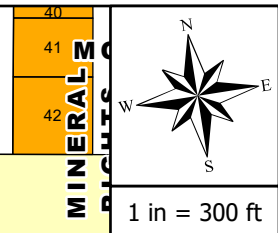
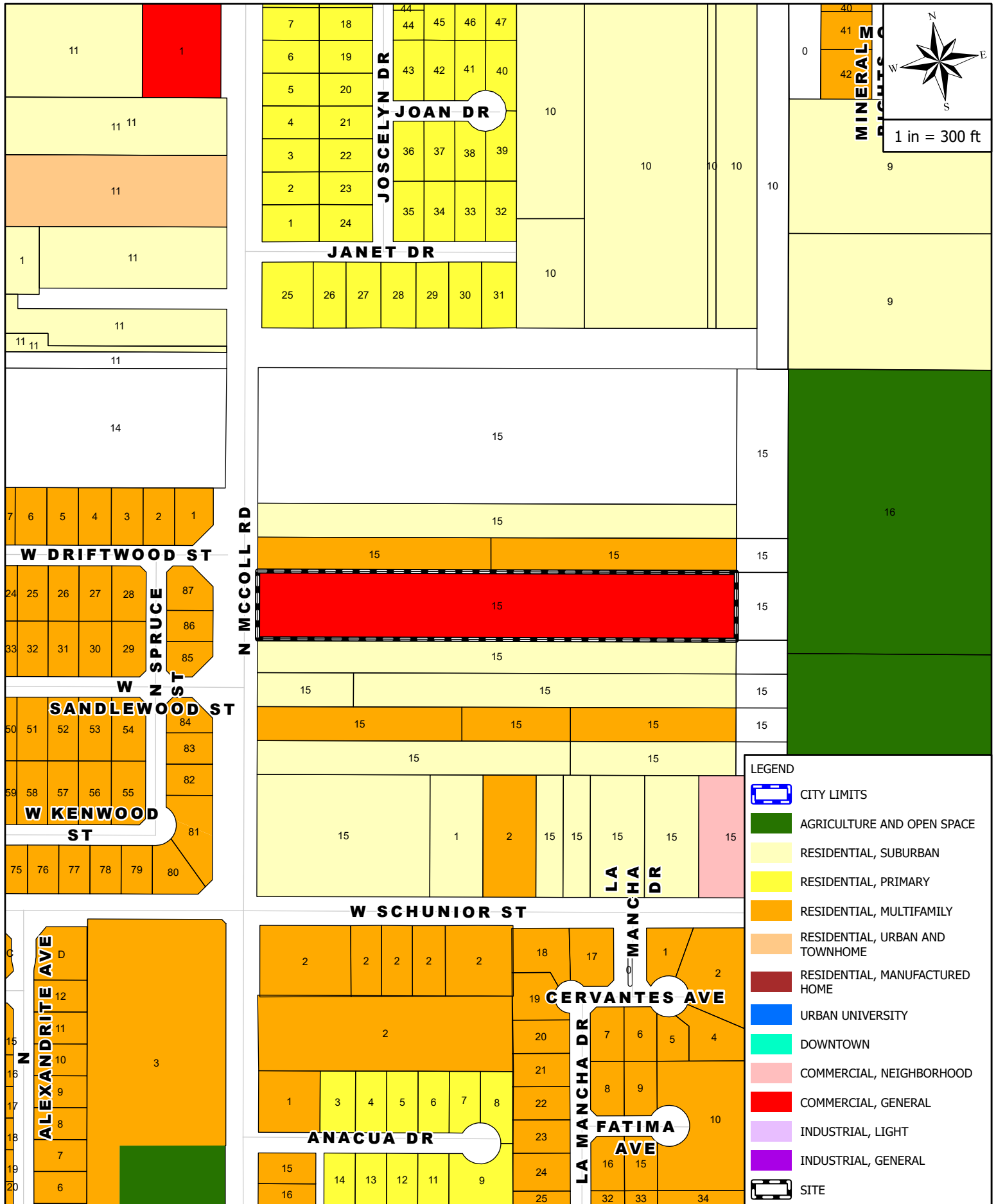
**EDINBURG NEW DEVELOPMENT MAP**

1000 N MCCOLL RD

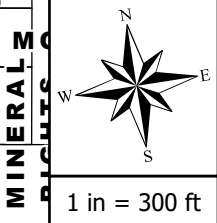
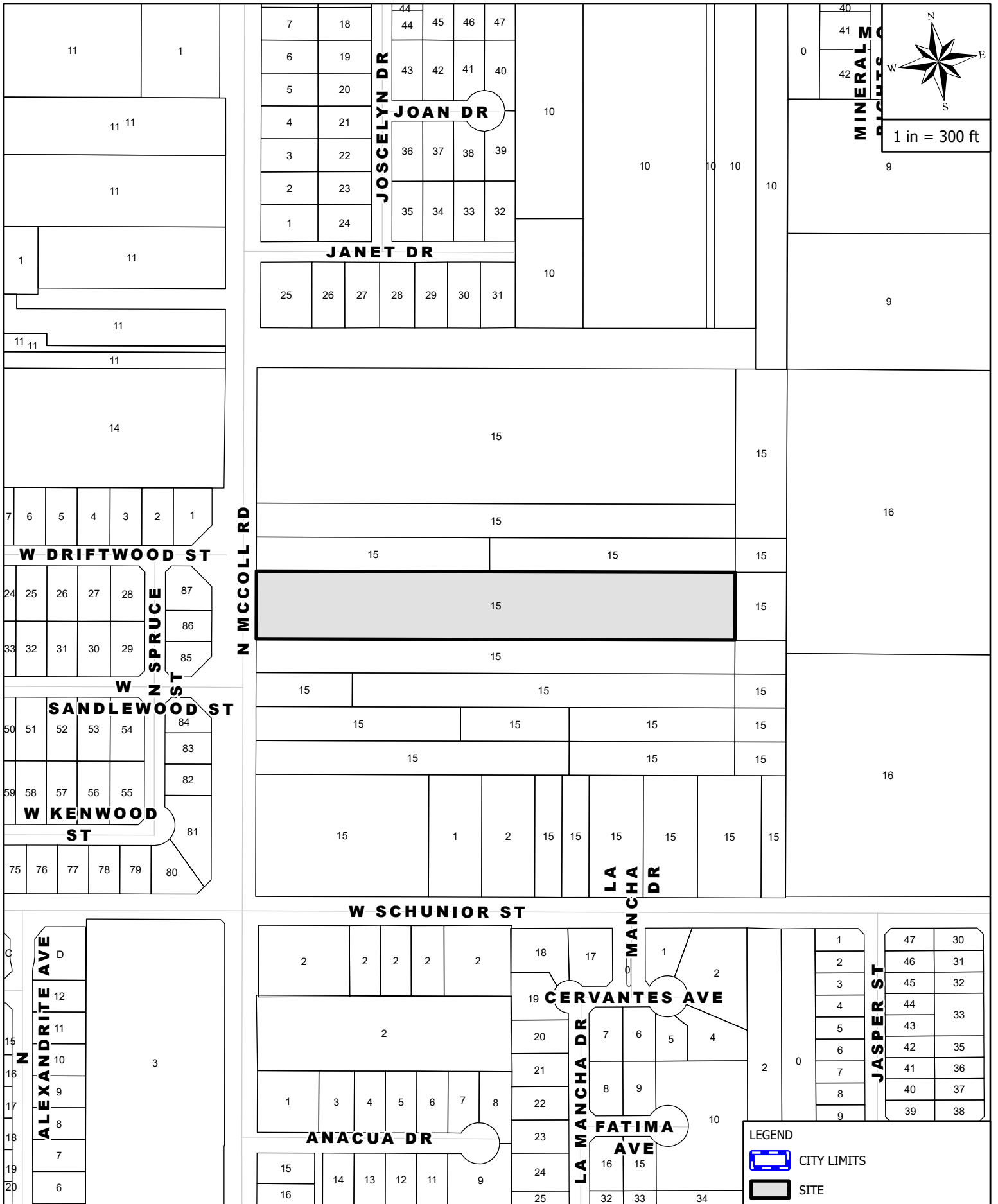
-  SITE
-  CITY LIMITS



**AERIAL MAP**  
 1000 N MCCOLL RD



- LEGEND**
- CITY LIMITS
  - AGRICULTURE AND OPEN SPACE
  - RESIDENTIAL, SUBURBAN
  - RESIDENTIAL, PRIMARY
  - RESIDENTIAL, MULTIFAMILY
  - RESIDENTIAL, URBAN AND TOWNHOME
  - RESIDENTIAL, MANUFACTURED HOME
  - URBAN UNIVERSITY
  - DOWNTOWN
  - COMMERCIAL, NEIGHBORHOOD
  - COMMERCIAL, GENERAL
  - INDUSTRIAL, LIGHT
  - INDUSTRIAL, GENERAL
  - SITE



**LEGEND**

- CITY LIMITS
- SITE

**STAFF REPORT: COPPER COVE SUBDIVISION**

Date Prepared: June 29, 2026  
Planning and Zoning Meeting: July 9, 2026  
Final Plat Approval

---

**Subject:** Consider the Final Plat approval of Copper Cove Subdivision, being 12.79 acres of land situated in Hidalgo County, Texas, same being all of Lot 13, Block 7 and a part or portion of the south half of Lot 12, Block 7, Santa Cruz Gardens Unit No. 3, Volume 9, Page 3, Hidalgo County Map Records, located at 4918 N. Doolittle Road, as Requested by Rio Delta Engineering.

**Location:** The property is located on the east side of North Doolittle Road and approximately 1,100 ft. north of E. Mile 19 N Road, and is within the City of Edinburg

**Zoning:** Residential, Primary (RP) District

**Setbacks:** Residential, Primary (RP) District setbacks are: Front 20 ft., Side 6 ft., Corner side 10 ft., and Rear 20 ft.

**Analysis:** The Final Plat consists of fifty-seven (57) Single-Family Residential lots with home averaging approximately 7,000 square feet.

**Utilities:** Water Distribution System will be provided by North Alamo Water Supply Corporation Corporation. The development will comply with City of Edinburg Sanitary Sewer Collection System requirements. All utility improvements within the proposed subdivision that are not limited to water system, sewer system, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2021 Standards Manual.

---

Recommendations:

**City of Edinburg Planning & Zoning Department:**

Staff recommends approval of the Final Plat, subject to compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

# COPPER COVE SUBDIVISION

BEING A 12.79 ACRES TRACT OF LAND, SAME BEING ALL LOT 13, BLOCK 7, AND OUT OF LOT 12, BLOCK 7, SANTA CRUZ GARDENS UNIT No.3 SUBDIVISION, RECORDED IN VOLUME 9, PAGE 3, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

35.94 ACRE TRACT  
JOHN P. ABRAHAM AND WIFE, MERCY KUTTY ABRAHAM  
VOLUME 2942, PG. 283, O.R.H.C.

JOHN P. ABRAHAM AND WIFE, MERCY KUTTY ABRAHAM  
VOLUME 2942, PG. 283, O.R.H.C.

JOHN P. ABRAHAM AND WIFE, MERCY KUTTY ABRAHAM  
VOLUME 2942, PG. 283, O.R.H.C.

JOHN P. ABRAHAM AND WIFE, MERCY KUTTY ABRAHAM  
VOLUME 2942, PG. 283, O.R.H.C.

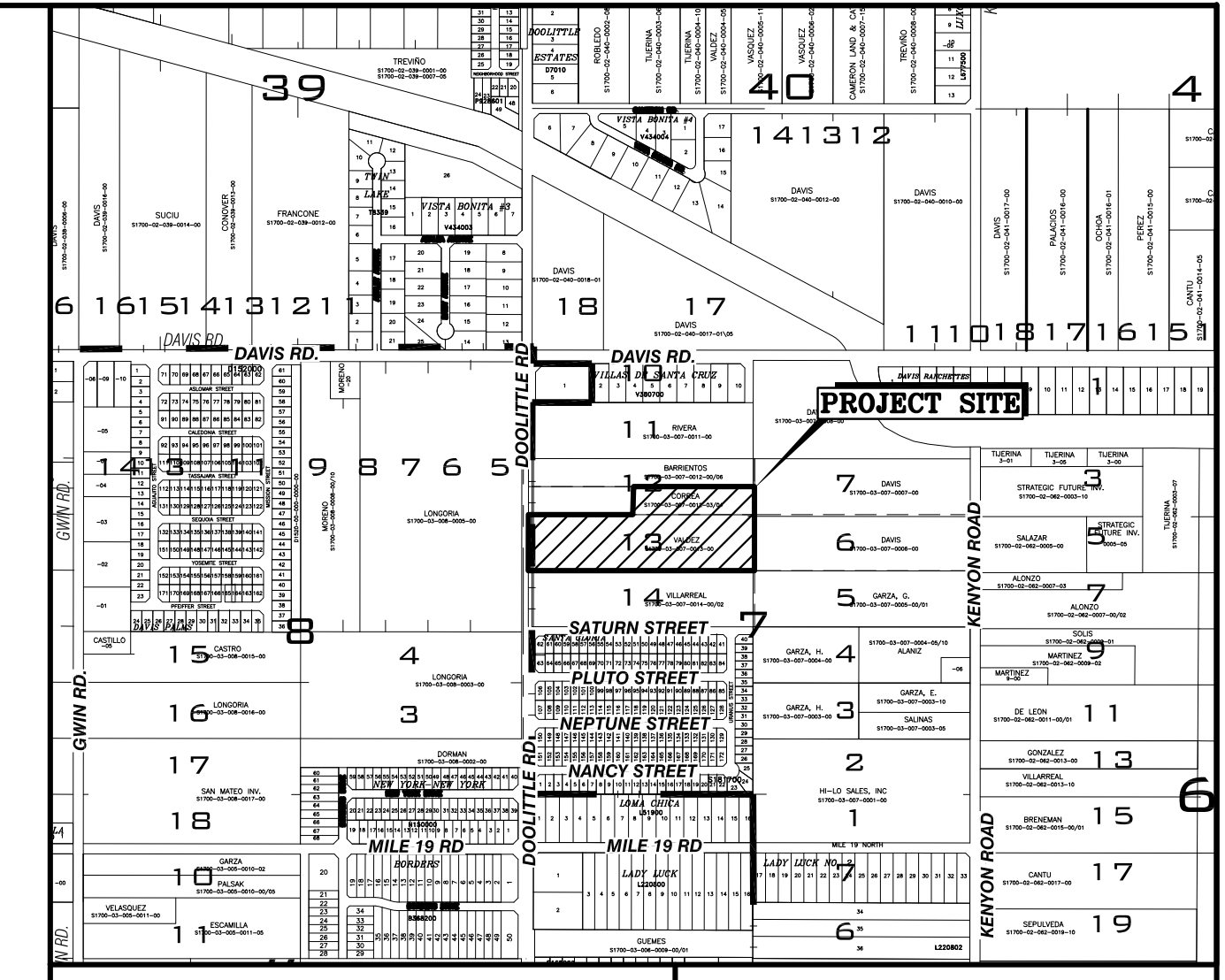
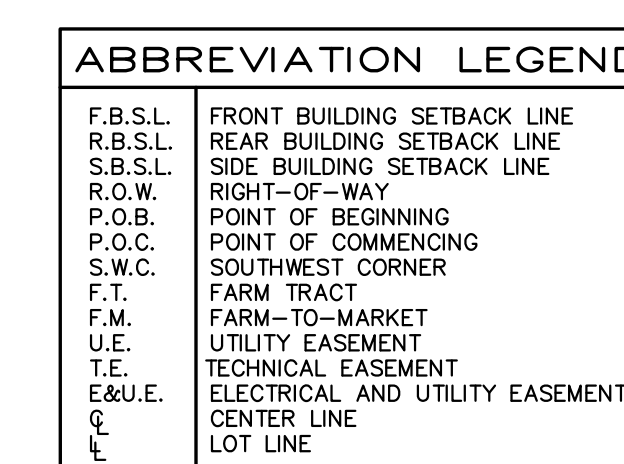
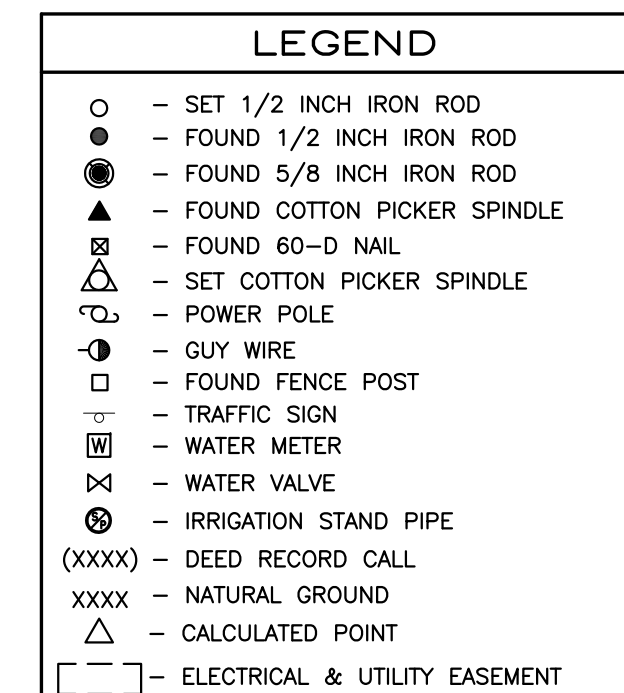
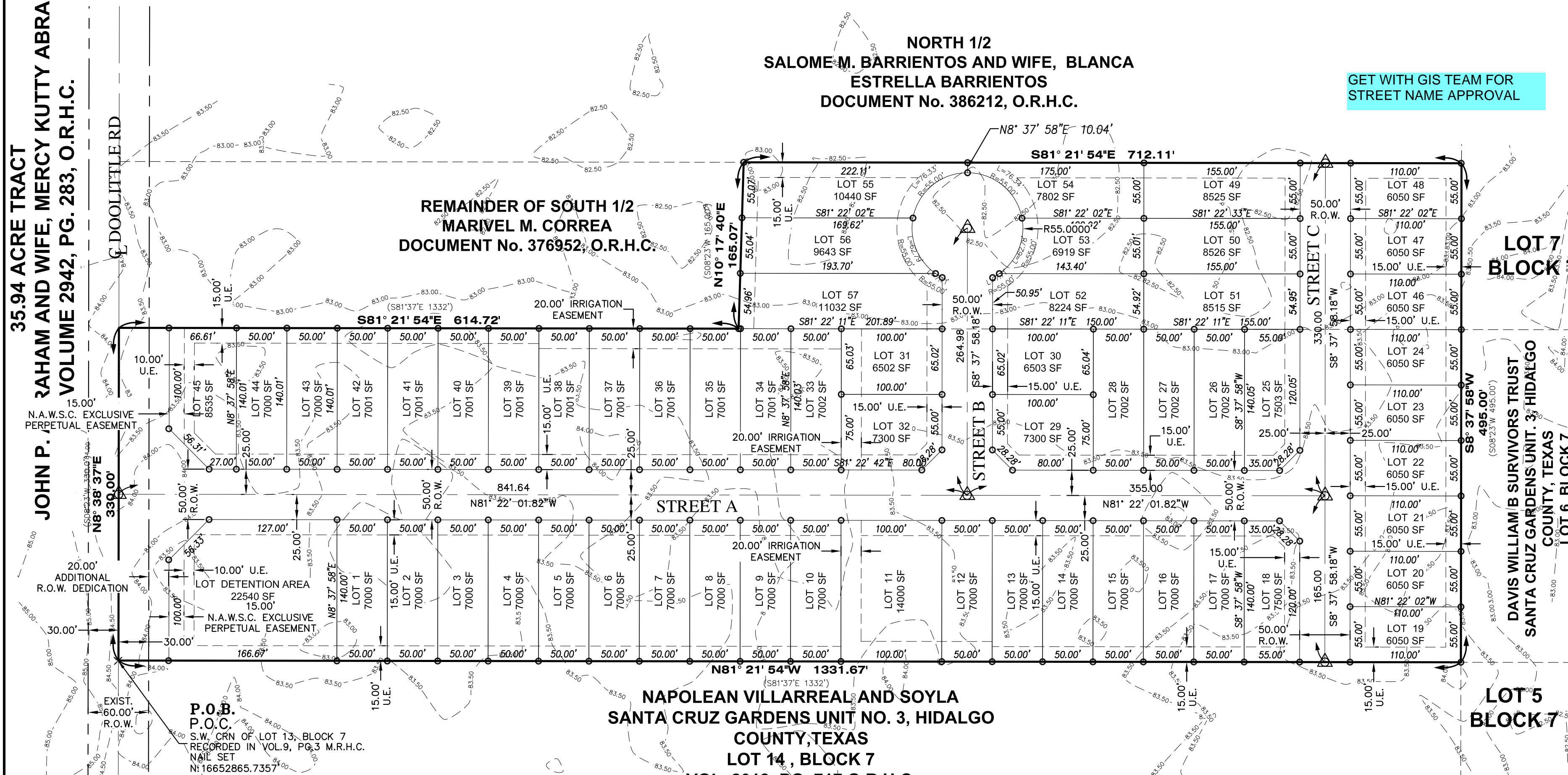
JOHN P. ABRAHAM AND WIFE, MERCY KUTTY ABRAHAM  
VOLUME 2942, PG. 283, O.R.H.C.

JOHN P. ABRAHAM AND WIFE, MERCY KUTTY ABRAHAM  
VOLUME 2942, PG. 283, O.R.H.C.

NORTH 1/2  
SALOME M. BARRIENTOS AND WIFE, BLANCA  
ESTRELLA BARRIENTOS  
DOCUMENT No. 386212, O.R.H.C.

GET WITH GIS TEAM FOR  
STREET NAME APPROVAL

SCALE: 1" = 80'  
BASIS OF BEARING  
TEXAS STATE PLANE COORDINATES  
NAD 83  
TEXAS SOUTH ZONE (4205)  
WESTERN DATA SYSTEMS NETWORK



GENERAL PLAT NOTES

- FLOOD ZONE STATEMENT:  
FLOOD ZONE DESIGNATION: THE SUBDIVISION IS IN ZONE "X" (SHADED), AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE. COMMUNITY PLAN NO. 480334 0325 D, REVISED SEPTEMBER 3, 2003. REVISED TO REFLECTED LOMR DATED SEPTEMBER 3, 2003.
- SETBACKS:  
FRONT: 10.00 FEET OR EASEMENT WHICHEVER IS GREATER  
REAR: 15.00 FEET OR EASEMENT WHICHEVER IS GREATER  
SIDES: 5.00 FEET OR EASEMENT WHICHEVER IS GREATER  
CORNER: 10.00 FEET OR EASEMENT WHICHEVER IS GREATER
- ANY ADDITION TO EXISTING RESIDENCE STRUCTURE OR NEW PROPOSED DWELLING ON THE LOT MUST COMPLY WITH ALL SETBACK RESTRICTIONS RECORDED ON THIS PLAT.
- MINIMUM FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE TOP OF CURB AT FRONT AND CENTER OF LOT.
- THE LOT SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE REAR OF THE LOT TO THE CURB AT A 1% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS ACCORDANCE WITH CITY OF EDINBURG STANDARDS.
- BENCHMARKS (B.M.):  
SANITARY SEWER MANHOLE LID BEING APPROXIMATELY 100 FEET SOUTH OF THE ENTRANCE OF THIS SUBDIVISION. TOP OF M.H. ELEV.=82.40 (N.A.V.D. 88) NORTHING:16648063.97 EASTING:1107976.12 (TEXAS STATE PLANE COORDINATES, N.A.D. 83)
- DRAINAGE:  
IN ACCORDANCE WITH THE CITY OF EDINBURG DRAINAGE POLICY, HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 REQUIREMENTS AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 51,947 CUBIC- FEET OR 1.193 ACRE-FEET OF STORM WATER RUNOFF.
- LOT DETENTION AREA SHALL BE USED FOR THE PURPOSES OF DRAINAGE DETENTION FOR COPPER COVE SUBDIVISION ONLY AND CANNOT BE EXCHANGED OR CONVEYED OWNERSHIP; MUST BE FURNISHED AND MAINTAINED BY THE SUBDIVISION DEVELOPER UNTIL A HOME OWNER'S ASSOCIATION IS ESTABLISHED.
- ONLY ONE SINGLE FAMILY DWELLING PER LOT.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- ALL LOT CORNERS ARE SET 1/2 INCH IRON RODS WITH CAP.
- A FIVE (5.00') FOOT SIDEWALK IS REQUIRED AT BUILDING PERMIT STAGE BY LOT OWNER.
- THIS PROPERTY IS ZONED URBAN RESIDENTIAL.
- ALL RIGHT-OF-WAY & EASEMENTS SHOWN ARE DEDICATED BY THIS PLAT, UNLESS STATED OTHERWISE.
- THERE ARE NO WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION
- THE HOMEOWNER'S ASSOCIATION FOR THIS SUBDIVISION WILL BE RESPONSIBLE FOR ALL MAINTENANCE OF THE PROPOSED DETENTION AREA.
- 5' WIDE CONCRETE SIDEWALK AND ADA RAMP ARE REQUIRED ALONG N. DOOLITTLE ROAD AT SUBDIVISION CONSTRUCTION PHASE.
- ALL CONSTRUCTION SHALL COMPLY WITH STORMWATER POLLUTION PREVENTION PLAN (SWPP) REQUIREMENTS. EROSION AND SEDIMENTATION CONTROLS CONSTRUCTED IN ACCORDANCE WITH THE STORMWATER ORDINANCE 98.30 OF THE CITY OF EDINBURG ARE REQUIRED FOR ALL CONSTRUCTION ON EACH LOT INCLUDING SINGLE FAMILY AND DUPLEX/MULTI-FAMILY CONSTRUCTION.
- LOT NO.46 WILL NOT HAVE ACCESS ON TO DOOLITTLE ROAD.
- LOT DETENTION AREA SHALL BE USED FOR THE PURPOSE OF DRAINAGE DETENTION FOR COPPER COVE SUBDIVISION ONLY AND CANNOT BE EXCHANGED OR CONVEYED OWNERSHIP; MUST BE FURNISHED AND MAINTAINED BY THE SUBDIVISION DEVELOPER UNTIL A HOME OWNER'S ASSOCIATION IS ESTABLISHED.

### METES AND BOUNDS DESCRIPTION

BEING A 12.79 ACRES TRACT OF LAND MORE OR LESS, SITUATED IN THE CITY OF EDINBURG, HIDALGO COUNTY, TEXAS, SAID 12.79 ACRES TRACT CONSISTING OF: A PART OR PORTION OUT OF LOT 12 AND ALL OF LOT 13, BLOCK 7, SANTA CRUZ GARDENS UNIT No. 3, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 9, PAGE 3, MAP RECORDS OF HIDALGO COUNTY, TEXAS, AND SAID 12.79 ACRES TRACT ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A NAIL SET AT THE SOUTHWEST CORNER OF SAID LOT 13, SAME BEING AT THE CENTERLINE OF DOOLITTLE ROAD (60.00 FOOT RIGHT-OF-WAY AS PER SAID SANTA CRUZ GARDENS UNIT No. 3) FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT AND THE POINT OF BEGINNING;

THENCE, N 08° 38' 37" E ALONG THE WEST LINE OF SAID LOT 13, SAME BEING ALONG THE CENTERLINE OF DOOLITTLE ROAD, TO THE NORTHWEST CORNER OF SAID LOT 13, A DISTANCE OF 330.00 FEET TO A NAIL SET, FOR THE SOUTHERNMOST NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, S 81° 21' 54" E ALONG THE COMMON LINE OF SAID LOT 12 AND 13, PASSING AT A DISTANCE OF 30.00 FEET A 1/2-INCH CAPPED IRON ROD SET AT THE EXISTING EAST RIGHT-OF-WAY LINE OF DOOLITTLE ROAD, AND CONTINUING FOR A TOTAL DISTANCE OF 614.72 FEET TO A 1/2-INCH CAPPED IRON ROD SET FOR AN INTERIOR CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, N 10° 17' 40" E ACROSS SAID LOT 12, A DISTANCE OF 165.07 FEET TO A 1/2-INCH CAPPED IRON ROD SET AT THE NORTH LINE OF SAID LOT 12, FOR THE NORTHERNMOST NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, S 81° 21' 54" E ALONG THE NORTH LINE OF SAID SOUTH HALF (1/2) OF LOT 12, TO THE NORTHEAST CORNER OF SAID SOUTH HALF (1/2) OF LOT 12, A DISTANCE OF 712.11 FEET TO A 1/2-INCH CAPPED IRON ROD SET, FOR THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, S 08° 37' 58" W ALONG THE EAST LINE OF SAID LOTS 12 AND 13, A DISTANCE OF 495 FEET TO A 1/2-INCH CAPPED IRON ROD SET AT THE SOUTHEAST CORNER OF SAID LOT 13, FOR THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, N 81°21' 54" W ALONG THE SOUTH LINE OF SAID LOT 13, A DISTANCE OF 1331.67 FEET TO THE POINT AND PLACE OF BEGINNING, SAID TRACT CONTAINING 12.79 ACRES OF LAND, MORE OR LESS.

Plat and Metes and Bounds Description shall include POB and POC and have GPS

**OWNER'S ACKNOWLEDGMENT**  
STATE OF TEXAS  
COUNTY OF HIDALGO  
I, (WE) THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE COPPER COVE SUBDIVISION, ADDITION OF THE CITY OF EDINBURG AND COUNTY OF HIDALGO, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE OF CONSIDERATION THEREIN EXPRESSED.

RAMON SAENZ JR (MANAGING MEMBER)  
COPPER COVE SUBDIVISION, LLC (OWNER)  
3911 N. 10TH STREET, STE A  
MCALLEN, TEXAS 78501

STATE OF TEXAS  
COUNTY OF HIDALGO  
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED **RAMON SAENZ JR**, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN STATED.

NOTARY PUBLIC IN AND FOR THE  
STATE OF TEXAS  
MY COMMISSION EXPIRES \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF HIDALGO  
THIS PLAT APPROVED BY SANTA CRUZ IRRIGATION DISTRICT No. 15 ON THIS DAY OF \_\_\_\_\_, 2024 SUBJECT TO THE FOLLOWING

- NO BUILDINGS ALLOWED ON TOP OF AN IRRIGATION LINE;
- FIFTEEN FOOT (15') EASEMENT ON EACH SIDE OF IRRIGATION LINE OR CANAL;
- ALL LOTS SUBJECT TO RULES, REGULATION, RIGHTS-OF-WAY AND EASEMENTS OF DISTRICT; AND
- IF SUBDIVISION IS NOT EXCLUDED FROM DISTRICT AND IRRIGATION TO INDIVIDUAL LOTS IS DESIRED, EASEMENTS FOR NECESSARY IRRIGATION FACILITIES TO SUCH LOTS FROM THE CLOSEST DELIVERY POINT SHALL BE PROVIDED, THE LOT OWNER BEING RESPONSIBLE TO INSTALL NECESSARY FACILITIES.

GENERAL MANAGER \_\_\_\_\_ DATE \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF HIDALGO  
I, THE UNDERSIGNED CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT KNOWN AS COPPER COVE SUBDIVISION CONFORMS TO ALL REQUIREMENTS TO THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED AND HAS BEEN APPROVED FOR RECORDING ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024

CHAIRPERSON, PLANNING AND ZONING COMMISSION \_\_\_\_\_

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATE  
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.21(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

RAUL E. SESIN, P.E., C.F.M.  
GENERAL MANAGER \_\_\_\_\_ DATE \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF HIDALGO  
WE, THE UNDERSIGNED, CERTIFY THAT THIS PLAT OF COPPER COVE SUBDIVISION WAS REVIEWED AND APPROVED BY THE CITY OF EDINBURG ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.

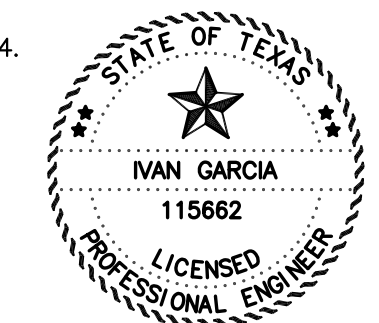
MAYOR, CITY OF EDINBURG \_\_\_\_\_ DATE \_\_\_\_\_

SECRETARY, CITY OF EDINBURG \_\_\_\_\_ DATE \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF HIDALGO  
I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.

IVAN GARCIA, P.E.  
REGISTERED PROFESSIONAL ENGINEER  
NO. 90156 - STATE OF TEXAS



STATE OF TEXAS  
COUNTY OF HIDALGO  
I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OR OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF EDINBURG AND HIDALGO COUNTY, TEXAS.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.

IVAN GARCIA  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6496  
SURVEY FIRM # 10194207



**RIGHT OF WAY EASEMENT**

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, OWNERS OF THE PROPERTY SHOWN ON THIS PLAT, THEIR SUCCESSORS, ASSIGNS, AND TRANSFEREES (HEREINAFTER CALLED "GRANTOR" WHETHER ONE OR MORE PERSONS ARE NAMED), IN CONSIDERATION OF ONE DOLLAR (\$1.00) AND OTHER GOOD AND VALUABLE CONSIDERATION PAID BY NORTH ALAMO WATER SUPPLY CORPORATION, (HEREINAFTER CALLED "GRANTEE"), THE RECEIPT AND SUFFICIENCY OF WHICH IS HEREBY ACKNOWLEDGED, DOES HEREBY GRANT, BARGAIN, SELL, TRANSFER, AND CONVEY TO SAID GRANTEE, ITS SUCCESSORS, AND ASSIGNS, AN EXCLUSIVE, PERPETUAL EASEMENT WITH THE RIGHT TO ERECT, CONSTRUCT, INSTALL AND LAY AND THEREAFTER USE, OPERATE, INSPECT, REPAIR, MAINTAIN, REPLACE, AND REMOVE WATER DISTRIBUTION LINES AND APPURTENANCES OVER AND ACROSS THE LANDS SHOWN ON THIS PLAT, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE FOR WHICH THE ABOVE- MENTIONED RIGHTS ARE GRANTED. THE EASEMENT HEREBY GRANTED SHALL NOT EXCEED 15' IN WIDTH, AND GRANTEE IS HEREBY AUTHORIZED TO DESIGNATE THE COURSE OF THE EASEMENT HEREIN CONVEYED EXCEPT THAT WHEN THE PIPELINES) IS INSTALLED, THE EASEMENT HEREBY GRANTED SHALL BE LIMITED TO A STRIP OF LAND 15' IN WIDTH, THE CENTER LINE THEREOF BEING THE PIPELINE INSTALLED.

IN THE EVENT THE EASEMENT HEREBY GRANTED ABUTS ON A PUBLIC ROAD AND THE CITY, COUNTY OR STATE HEREAFTER WIDENS OR RELOCATES THE PUBLIC ROAD SO AS TO REQUIRE THE RELOCATION OF THIS WATER LINE AS INSTALLED, GRANTEE FURTHER GRANTS TO GRANTEE AN ADDITIONAL EASEMENT OVER AND ACROSS THE LAND SHOWN ON THIS PLAT FOR THE PURPOSE OF LATERALLY RELOCATING SAID WATER LINE AS MAY BE NECESSARY TO CLEAR THE ROAD IMPROVEMENTS, WHICH EASEMENT HEREBY GRANTED SHALL BE LIMITED TO A STRIP OF LAND 10' IN WIDTH, THE CENTER LINE THEREOF BEING THE PIPELINE AS RELOCATED.

THE CONSIDERATION RECITED HEREIN SHALL CONSTITUTE PAYMENT IN FULL FOR ALL DAMAGES SUSTAINED BY GRANTEE BY REASON OF THE INSTALLATION, MAINTENANCE, REPAIR, REPLACEMENT AND RELOCATION OF THE EASEMENT CONVEYED HEREIN WAS OBTAINED OR IMPROVED THROUGH FEDERAL FINANCIAL ASSISTANCE. THIS EASEMENT IS SUBJECT TO THE PROVISIONS OF TITLE VI OF THE CIVIL RIGHTS ACT OF 1964 AND THE REGULATIONS ISSUED PURSUANT THERETO FOR SO LONG AS THE EASEMENT CONTINUES TO BE USED FOR THE SAME OR SIMILAR PURPOSE FOR WHICH FINANCIAL ASSISTANCE WAS EXTENDED OR FOR SO LONG AS THE GRANTEE OWNS IT, WHICHEVER IS LONGER.

IN WITNESS WHEREOF THE SAID GRANTEE EXECUTED THIS INSTRUMENT THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.

RAMON SAENZ JR \_\_\_\_\_ DATE \_\_\_\_\_  
3911 N. 10TH ST. STE A  
MCALLEN, TEXAS 78501

PRINCIPAL CONTACTS:

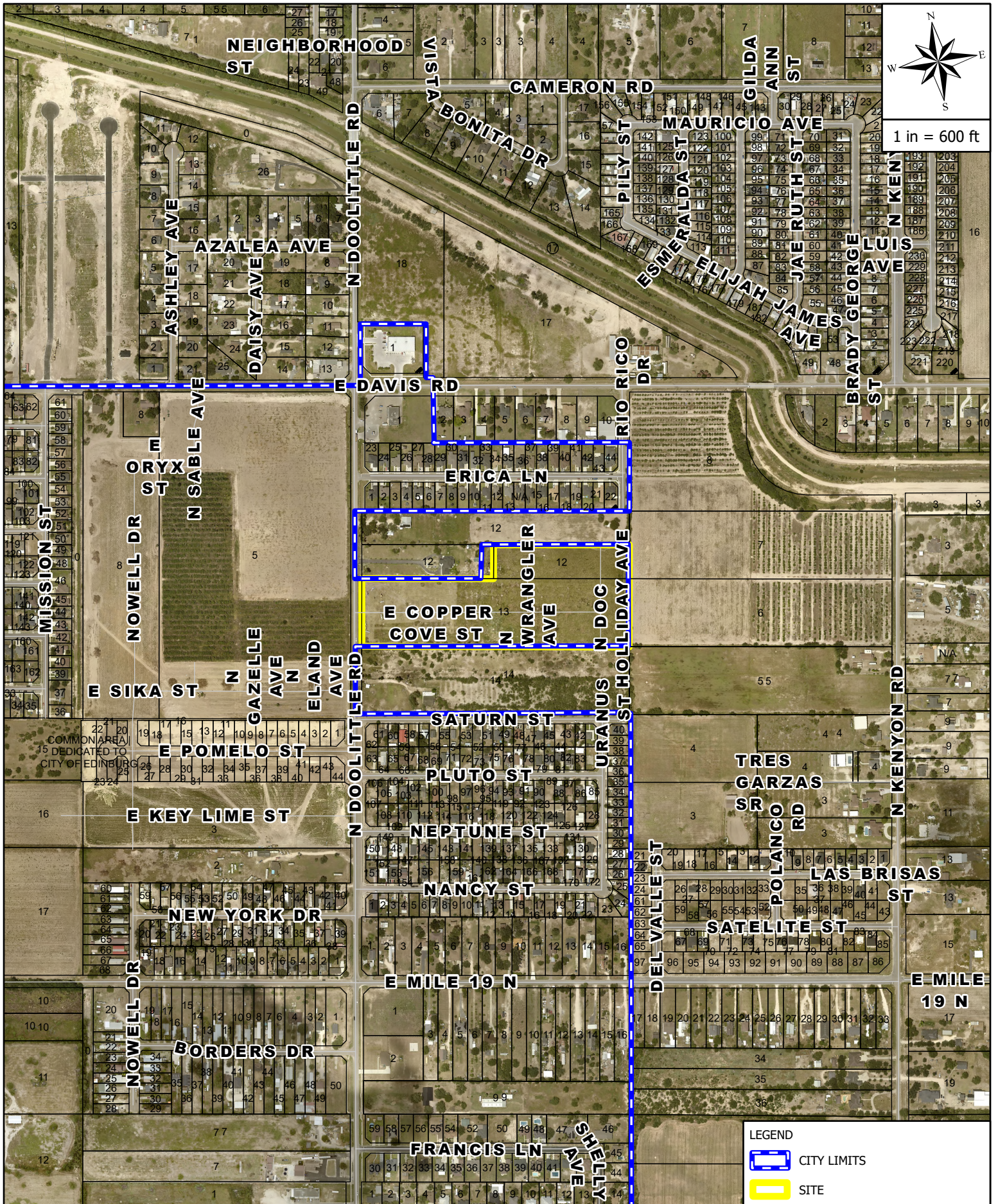
NAME	ADDRESS	PHONE & FAX
OWNER: RAMON SAENZ JR	3911 N. 10TH ST. STE A MCALLEN, TX 78501	(956) 500-1690
ENGINEER: IVAN GARCIA, P.E., R.P.L.S.	921 SOUTH 10th AVE. EDINBURG, TX 78539	(956) 380-5152 (956) 380-5083
SURVEYOR: IVAN GARCIA, P.E., R.P.L.S.	921 SOUTH 10th AVE. EDINBURG, TX 78539	(956) 380-5152 (956) 380-5083

**RIO DELTA ENGINEERING**  
FIRM REGISTRATION No. F-7628  
SURVEY FIRM No. 10194027  
921 S. 10TH AVENUE EDINBURG, TEXAS 78539  
(TEL) 956-380-5152 (FAX) 956-380-5083

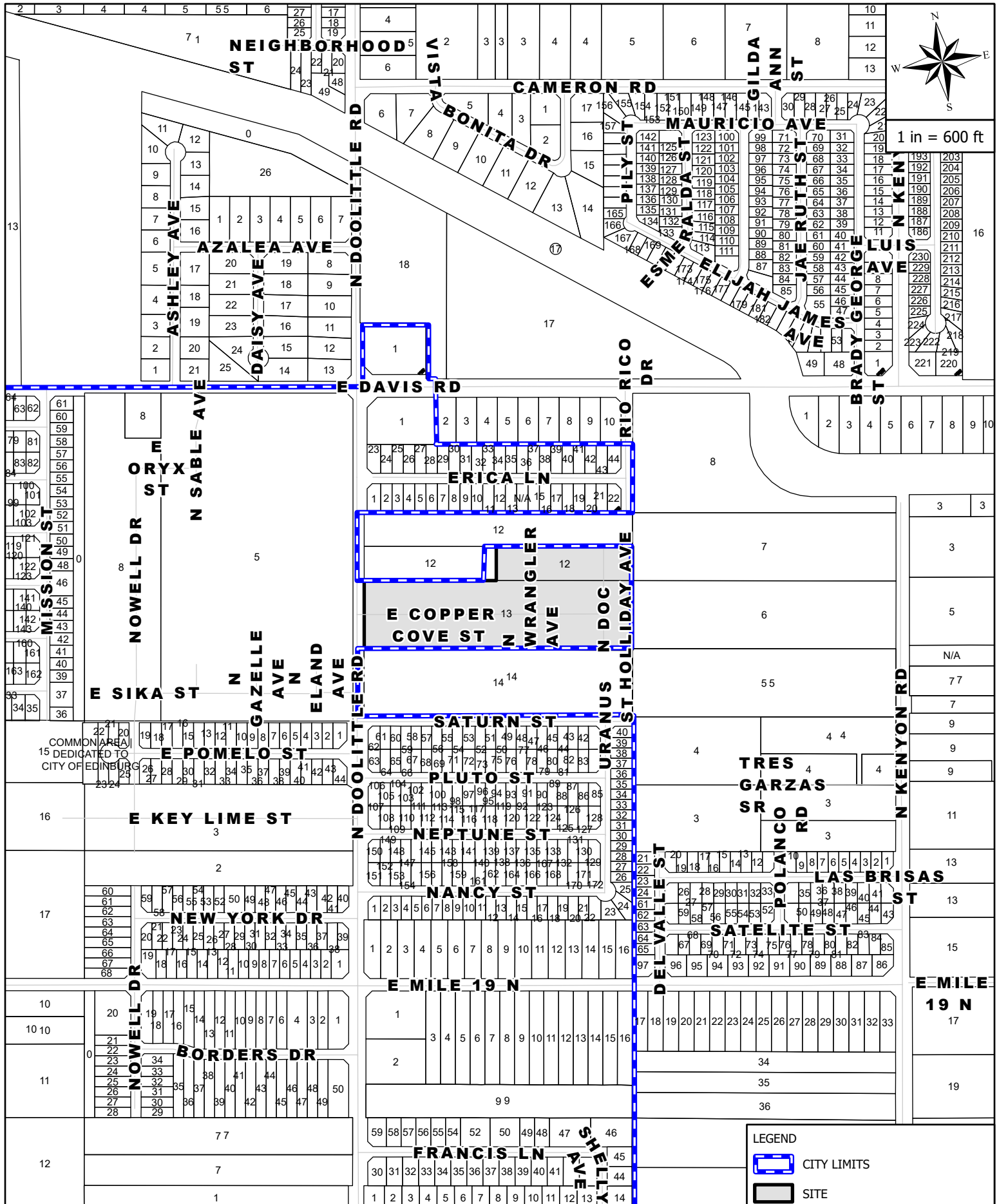
ISSUED FOR:  
**FINAL**

**PLAT SHEET**  
COPPER COVE SUBDIVISION  
CITY OF EDINBURG  
HIDALGO COUNTY, TEXAS

PROJECT: \_\_\_\_\_  
ENGINEER: IVAN GARCIA P.E. R.P.L.S.  
SURVEYOR: IVAN GARCIA P.E. R.P.L.S.  
CHECKED: IVAN GARCIA P.E. R.P.L.S.  
DRAWN: H.G./O.A./G.F.  
SCALE: 1"=80'  
DATE: DECEMBER 5, 2025  
PROJECT: SUB 23 032  
REVISIONS: \_\_\_\_\_  
PAGE NO. 1-OF-1



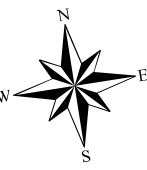
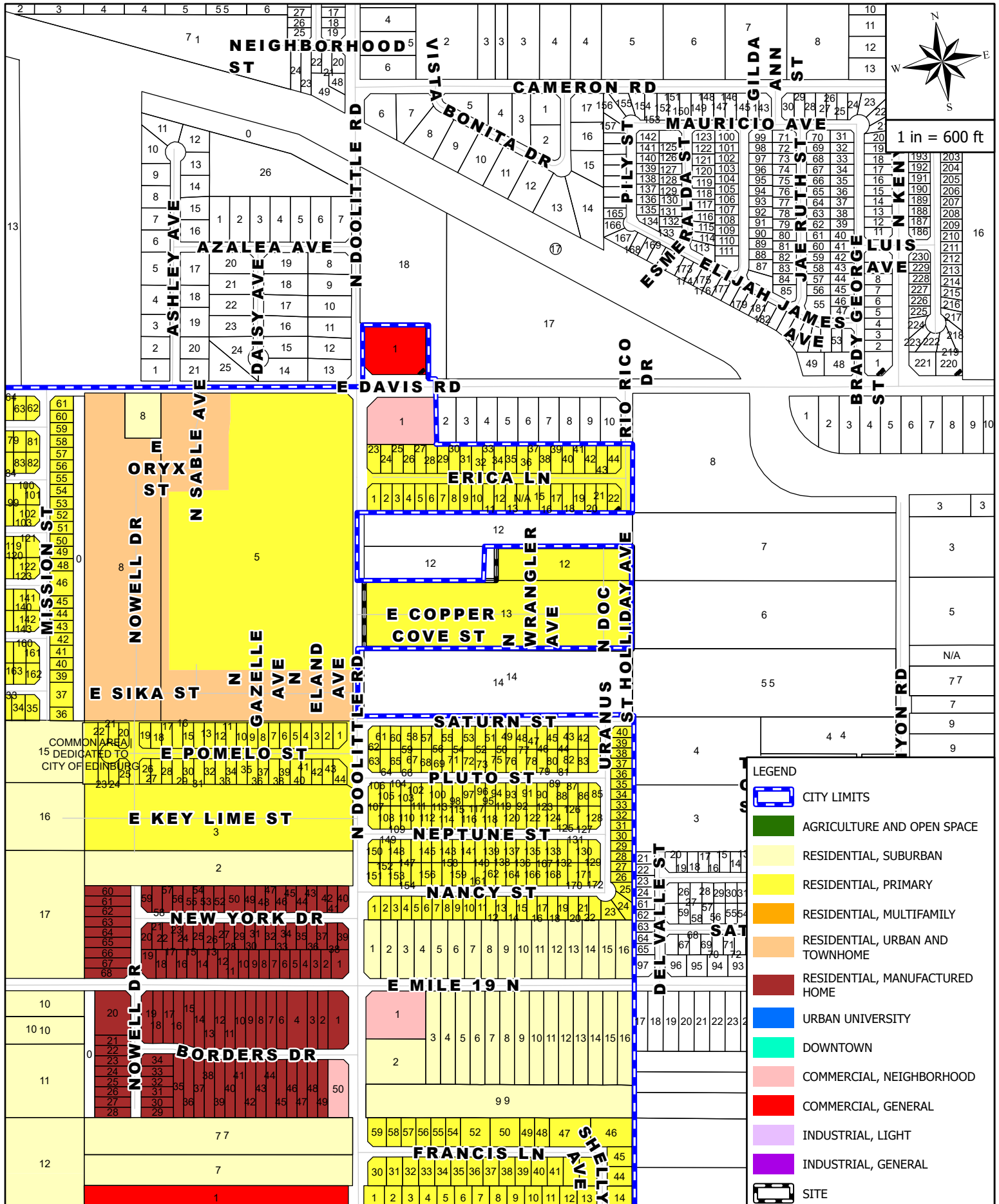
**AERIAL MAP**  
 4918 N DOOLITTLE RD



**MAILOUT AND SITE MAP**

4918 N DOOLITTLE RD





1 in = 600 ft

- LEGEND**
- CITY LIMITS
  - AGRICULTURE AND OPEN SPACE
  - RESIDENTIAL, SUBURBAN
  - RESIDENTIAL, PRIMARY
  - RESIDENTIAL, MULTIFAMILY
  - RESIDENTIAL, URBAN AND TOWNHOME
  - RESIDENTIAL, MANUFACTURED HOME
  - URBAN UNIVERSITY
  - DOWNTOWN
  - COMMERCIAL, NEIGHBORHOOD
  - COMMERCIAL, GENERAL
  - INDUSTRIAL, LIGHT
  - INDUSTRIAL, GENERAL
  - SITE



**ZONING MAP**  
4918 N DOOLITTLE RD

**STAFF REPORT: KINGS LANDING SUBDIVISION**

Date Prepared: June 26, 2026  
Planning and Zoning Meeting: July 09, 2026  
Final Plat Approval

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**Subject:** Consider the Final Plat approval of Kings Landing Subdivision, being a 17.274 acres tract of land out of Lots 49, 50, and 51, Lehigh Plaza Subdivision, recorded in Volume 5, Page 43, Hidalgo County Map Records, and according to Special Warranty Deed recorded under County Clerks document number 3555596, located at 2700 W. Wisconsin Road, As Requested By Quintanilla, Headley, and Associates.

**Location:** The property is located on the southeast corner of W Wisconsin Rd and south McColl Rd, and within the City of Edinburg, City Limits.

**Zoning:** Property zoning is currently Residential, Multifamily (RM) District and Commercial General (CG) District.

**Setbacks:** UDC Setbacks for Residential, Primary (RP) District will abide by UDC, Article 3, Table 3.102-4. UDC Setbacks for Commercial, General (CG) District will abide by UDC, Article 3, Table 3.202-2. Front and Exterior Side Yard: 25 feet, Side Yard: 10 feet, and Rear Yard: 10 feet.

**Analysis:** The Final Plat development consists of 38 Residential Multifamily lots averaging approximately 12,000.00 square feet, and 8 Commercial, General lots averaging approximately 10,300.00 square feet.

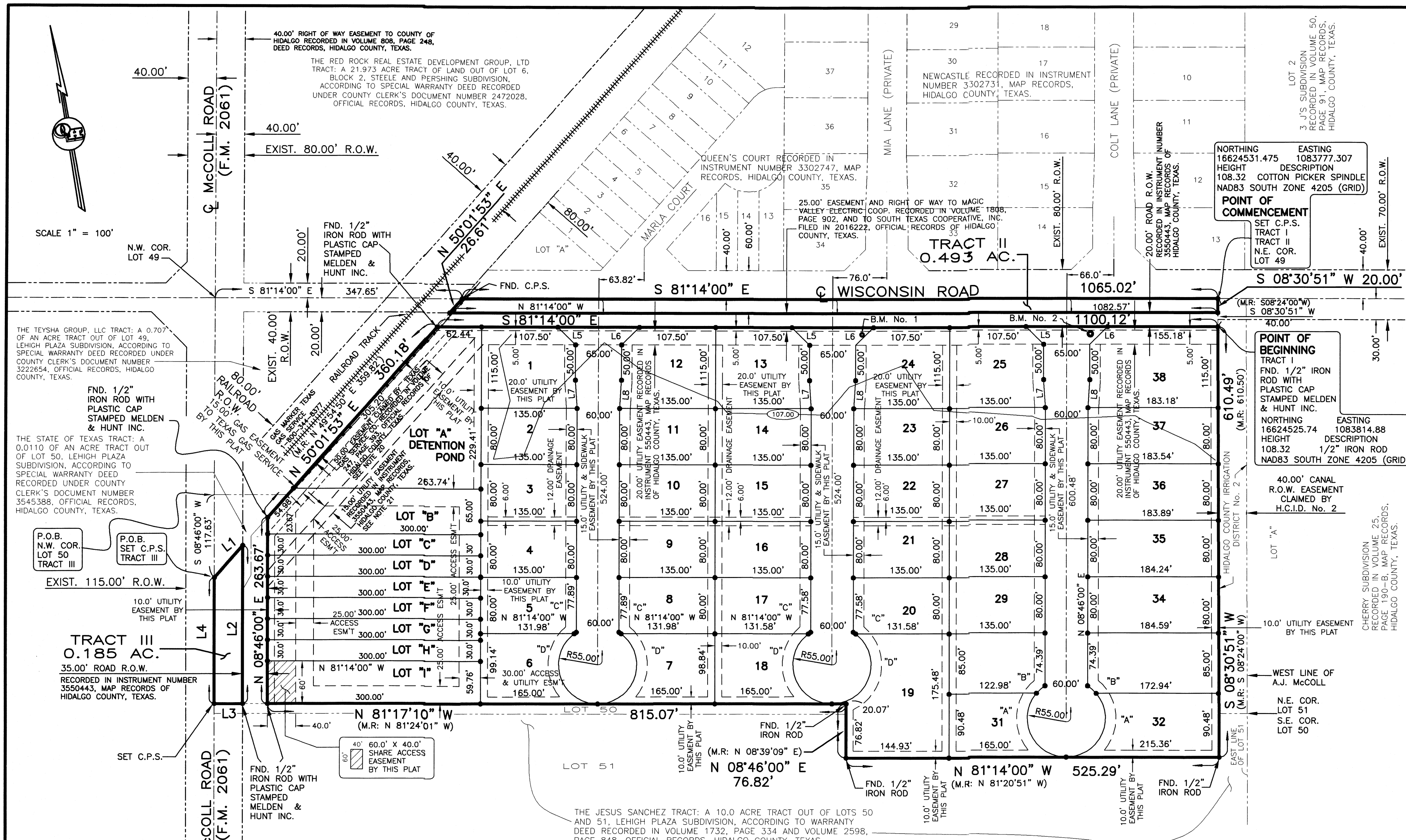
**Utilities:** Water Distribution System and Sanitary Sewer Collection System will be provided by the City of Edinburg. All utility improvements within the proposed subdivision that are not limited to water system, sewer system, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2021 Standards Manual.

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**Recommendations:**

**City of Edinburg Planning & Zoning Department:**

Staff recommends approval of the Final Plat, subject to compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.



## KING'S LANDING

**A 17.274 ACRE TRACT OF LAND OUT OF LOTS 49, 50 AND 51, LEHIGH PLAZA SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN VOLUME 5, PAGE 43, MAP RECORDS, HIDALGO COUNTY, TEXAS, AND ACCORDING TO SPECIAL WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 3555596, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.**

**METES AND BOUNDS**

TRACT I  
A 16.596 ACRE TRACT OF LAND OUT OF LOTS 49, 50 AND 51, LEHIGH PLAZA SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN VOLUME 5, PAGE 43, MAP RECORDS, HIDALGO COUNTY, TEXAS, AND ACCORDING TO SPECIAL WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 3555596, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINS AT A 1/2" IRON ROD WITH CAP STAMPED MELDEN & HUNT, INC. FOUND ON THE EAST LINE OF LOT 49 AND ON THE SOUTH RIGHT OF WAY LINE OF WISCONSIN ROAD FOR THE NORTHEAST CORNER OF THIS TRACT, SAID ROD BEARS S 08°30'51" W (DEED RECORD: S 08°24'00" W), 40.00 FEET FROM THE NORTHEAST CORNER OF LOT 49.

THENCE: S 08°30'51" W (DEED RECORD: S 08°24'00" W), ALONG THE EAST LINE OF LOTS 49 AND 50, A DISTANCE OF 610.49 FEET (MAP RECORD: 610.50 FEET) TO A 1/2" IRON ROD FOUND ON THE NORTH OF THE JESUS SANCHEZ TRACT (A 10.00 ACRE TRACT OUT OF LOTS 50 AND 51, LEHIGH PLAZA SUBDIVISION, ACCORDING TO WARRANTY DEED RECORDED IN VOLUME 1732, PAGE 334, AND VOLUME 2598, PAGE 848, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS) FOR THE SOUTHWEST CORNER OF THIS TRACT.

THENCE: N 81°14'00" W (MAP RECORD: N 81°20'51" W), ALONG THE NORTH LINE OF THE JESUS SANCHEZ TRACT, A DISTANCE OF 525.29 FEET TO A 1/2" IRON ROD FOUND FOR AN EXTERIOR CORNER OF THIS TRACT.

THENCE: N 08°46'00" E (MAP RECORD: N 08°39'09" E), ALONG THE NORTH LINE OF THE JESUS SANCHEZ TRACT, A DISTANCE OF 78.82 FEET TO A 1/2" IRON ROD FOUND FOR AN INTERIOR CORNER OF THIS TRACT.

THENCE: N 81°17'10" W (MAP RECORD: N 81°24'01" W), ALONG THE NORTH LINE OF THE JESUS SANCHEZ TRACT, A DISTANCE OF 815.07 FEET TO A 1/2" IRON ROD WITH CAP STAMPED MELDEN & HUNT, INC. FOUND ON THE NEW EAST RIGHT OF WAY LINE OF MCCOLL ROAD (F.M. 2061) FOR THE SOUTHWEST CORNER OF THIS TRACT.

THENCE: N 08°46'00" E, ALONG THE NEW EAST RIGHT OF WAY LINE OF MCCOLL ROAD (F.M. 2061), A DISTANCE OF 263.67 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET ON THE EAST RIGHT OF WAY LINE OF AN 80.00 FOOT RAILROAD RIGHT OF WAY FOR AN EXTERIOR CORNER OF THIS TRACT.

THENCE: N 50°01'53" E (MAP RECORD: N 49°54'50" E), ALONG THE EAST RIGHT OF WAY LINE OF SAID 80.00 FOOT RAILROAD RIGHT OF WAY, A DISTANCE OF 360.18 FEET (MAP RECORD: 359.82 FEET) TO A 1/2" IRON ROD WITH CAP STAMPED MELDEN & HUNT, INC. ON THE SOUTH RIGHT OF WAY LINE OF WISCONSIN ROAD FOR THE NORTHEAST CORNER OF THIS TRACT.

THENCE: S 81°14'00" E, ALONG THE SOUTH RIGHT OF WAY LINE OF WISCONSIN ROAD, A DISTANCE OF 1,100.12 FEET TO THE POINT OF BEGINNING AND CONTAINING 16.596 ACRES OF LAND MORE OR LESS.

STATE OF TEXAS  
COUNTY OF HIDALGO  
OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

WE, THE UNDERSIGNED OWNERS OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS **KING'S LANDING**, DO HEREBY GRANT AN EASEMENT TO THE CITY OF EDINBURG AND THOSE WHO MAY NOW OR HEREAFTER HOLD FRENCH EASEMENTS UNDER SAID CITY, THE STREETS, STREET LIGHTS, TRAFFIC CONTROL DEVICES, SIDEWALKS AND OTHER IMPROVEMENTS AND EASEMENTS THEREON SHOWN, SURFACE USE OF THE STREET AND ALLEYS IS RESTRICTED TO THE EMPLOYEES OR AGENTS OF THE CITY OF EDINBURG, EMPLOYEES OF UTILITIES OPERATING UNDER FRANCHISE TO THE CITY OF EDINBURG AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS.

THE STREETS, AS REFLECTED UPON THE SUBDIVISION PLAT, HAVE NOT BEEN DEDICATED TO THE PUBLIC FOR PUBLIC ACCESS NOR HAVE BEEN ACCEPTED BY THE CITY AS PUBLIC IMPROVEMENTS, AND THE STREETS, STREET LIGHTS, TRAFFIC CONTROL DEVICES, SIDEWALKS AND OTHER IMPROVEMENTS SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION WITHIN THE SUBDIVISION, THE STREETS SHALL ALWAYS BE OPEN TO EMERGENCY VEHICLES, PUBLIC AND PRIVATE UTILITY SERVICE PERSONNEL, THE U.S. POSTAL SERVICE AND GOVERNMENTAL EMPLOYEES IN PURSUIT OF THEIR OFFICIAL DUTIES.

THE OWNERS OF LOTS SERVED BY THE PRIVATE STREETS, ALLEYS, AND ACCESS EASEMENTS WITHIN THIS PLAT AGREE TO RELEASE, INDEMNIFY, DEFEND AND HOLD HARMLESS ANY GOVERNMENTAL ENTITY FOR DAMAGES TO THE PRIVATE STREETS, ALLEYS, AND ACCESS EASEMENTS OCCASIONED BY THE REASONABLE USE THEREOF BY THE GOVERNMENTAL ENTITY FOR GOVERNMENTAL PURPOSES, AND TO RELEASE, INDEMNIFY, DEFEND AND HOLD HARMLESS ANY GOVERNMENTAL ENTITY FOR DAMAGES ARISING FROM THE CONDITION OF PRIVATE STREETS, ALLEYS, OR PRIVATE ACCESS EASEMENTS, THE MAINTENANCE OF PRIVATE STREET SIGNS SHALL NOT BE RESPONSIBILITY OF THE CITY OF EDINBURG.

TRACT II  
A 0.493 OF AN ACRE TRACT OF LAND OUT OF LOT 49, LEHIGH PLAZA SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN VOLUME 5, PAGE 43, MAP RECORDS, HIDALGO COUNTY, TEXAS, AND ACCORDING TO SPECIAL WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 3555596, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINS AT A COTTON PICKER SPINDLE SET IN THE CENTERLINE OF WISCONSIN ROAD FOR THE NORTHEAST CORNER OF LOT 49 AND THE NORTHEAST CORNER OF THIS TRACT.

THENCE: N 81°14'00" W, ALONG THE EAST LINE OF LOT 49, A DISTANCE OF 20.00 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET ON THE ORIGINAL SOUTH RIGHT OF WAY LINE OF WISCONSIN ROAD FOR THE SOUTHWEST CORNER OF THIS TRACT.

THENCE: N 81°14'00" W, ALONG THE EAST LINE OF LOT 49, A DISTANCE OF 20.00 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET ON THE ORIGINAL SOUTH RIGHT OF WAY LINE OF WISCONSIN ROAD FOR THE SOUTHWEST CORNER OF THIS TRACT.

THENCE: N 50°01'53" E (MAP RECORD: N 49°54'50" E), ALONG THE EAST LINE OF SAID 80.00 FOOT RAILROAD RIGHT OF WAY, A DISTANCE OF 26.61 FEET TO A COTTON PICKER SPINDLE FOUND ON THE NORTH LINE OF LOT 49 AND IN THE CENTERLINE OF WISCONSIN ROAD FOR THE NORTHEAST CORNER OF THIS TRACT.

THENCE: S 81°14'00" E, ALONG THE NORTH LINE OF LOT 49 AND THE CENTERLINE OF WISCONSIN ROAD, A DISTANCE OF 1,065.02 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.493 OF AN ACRE OF LAND MORE OR LESS.

TRACT III  
A 0.185 OF AN ACRE TRACT OF LAND OUT OF LOT 50, LEHIGH PLAZA SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN VOLUME 5, PAGE 43, MAP RECORDS, HIDALGO COUNTY, TEXAS, AND ACCORDING TO SPECIAL WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 3555596, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINS AT A COTTON PICKER SPINDLE SET ON THE WEST LINE OF LOT 50 AND IN THE CENTERLINE OF MCCOLL ROAD (F.M. 2061) FOR THE NORTHWEST CORNER OF THIS TRACT, SAID SPINDLE BEARS S 08°46'00" W, 117.63 FEET FROM THE NORTHWEST CORNER OF LOT 49.

THENCE: N 50°01'53" E, A DISTANCE OF 60.65 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET ON THE EAST RIGHT OF WAY LINE OF MCCOLL ROAD (F.M. 2061) FOR THE NORTHEAST CORNER OF THIS TRACT.

THENCE: S 08°46'00" W, ALONG THE EAST RIGHT OF WAY LINE OF MCCOLL ROAD (F.M. 2061), A DISTANCE OF 223.78 FEET TO A 1/2" IRON ROD WITH CAP STAMPED MELDEN & HUNT, INC. FOUND ON THE NORTH LINE OF THE JESUS SANCHEZ TRACT (A 10.00 ACRE TRACT OUT OF LOTS 50 AND 51, LEHIGH PLAZA SUBDIVISION, ACCORDING TO WARRANTY DEED RECORDED IN VOLUME 1732, PAGE 334, AND VOLUME 2598, PAGE 848, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS) FOR THE SOUTHWEST CORNER OF THIS TRACT.

THENCE: N 81°17'10" W, ALONG THE NORTH LINE OF THE JESUS SANCHEZ TRACT, A DISTANCE OF 40.00 FEET TO A COTTON PICKER SPINDLE SET ON THE WEST LINE OF LOT 49 AND IN THE CENTERLINE OF MCCOLL ROAD (F.M. 2061) FOR THE NORTHWEST CORNER OF SAID TRACT AND THE SOUTHWEST CORNER OF THIS TRACT.

THENCE: N 08°46'00" E, ALONG THE WEST LINE OF LOT 49 AND THE CENTERLINE OF MCCOLL ROAD (F.M. 2061), A DISTANCE OF 178.20 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.185 OF AN ACRE OF LAND MORE OR LESS.

BEARINGS ARE IN ACCORDANCE WITH NEWCASTLE, RECORDED IN INSTRUMENT NUMBER 3302731, MAP RECORDS, HIDALGO COUNTY, TEXAS.

CLARISSA QUINTANILLA  
Notary ID #219615255  
My Commission Expires  
November 04, 2025  
CLARISSA QUINTANILLA-NOTARY PUBLIC

PLANNING & ZONING COMMISSION CERTIFICATION  
I, the undersigned, Chairperson of the Planning and Zoning Commission of the City of Edinburg, hereby certify that this subdivision plat known as **KING'S LANDING** conforms to all requirements of the Subdivision Regulations of this City wherein my approval is required and has been approved for recording on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

CHAIRPERSON-PLANNING & ZONING COMMISSION

MAYOR'S CERTIFICATION  
I, the undersigned, Mayor of the City of Edinburg, hereby certify that this subdivision plat conforms to all requirements of the Subdivision Regulations of this City wherein my approval is required."

MAYOR-CITY OF EDINBURG \_\_\_\_\_ DATE \_\_\_\_\_

ATTEST: CITY SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

- PLAT NOTES AND RESTRICTIONS:**
- FLOOD ZONE DESIGNATION: ZONE "X" (SHADED) DEFINED AS "AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD." COMMUNITY-PANEL NUMBER: 480338 0030 E. MAP REVISED: JUNE 6, 2000 LOMR DATED MAY 14, 2001
  - LEGEND: ● - DENOTES 1/2" x 24" IRON ROD SET WITH PLASTIC CAP STAMPED RPLS 4856, UNLESS OTHERWISE NOTED.
  - SETBACKS:  
FRONT ..... 20.00 FEET  
REAR ..... 10.00 FEET  
SIDE ..... 6.00 FEET  
CORNER SIDE ..... 10.00 FEET  
OR TO EASEMENT LINE WHICHEVER IS GREATER IN ALL CASES.  
SIDE FOR COMMERCIAL LOTS 0.00' WITH FIRE RATED WALL.
  - MINIMUM FINISH FLOOR ELEVATION: 18" ABOVE TOP OF CURB OR BASE FLOOR ELEVATION, WHICHEVER IS GREATER
  - BENCHMARK NOTE:  
B.M. No. 1 ELEVATION = 107.00 TOP OF SANITARY SEWER MAN HOLE LOCATED AT THE NORTHWEST CORNER OF LOT 24 OF THIS SUBDIVISION, N.A.V.D. 88 DATUM.  
B.M. No. 2 ELEVATION = 107.00 TOP OF SANITARY SEWER MAN HOLE LOCATED AT THE NORTHWEST CORNER OF LOT 38 OF THIS SUBDIVISION, N.A.V.D. 88 DATUM.
  - TOTAL DRAINAGE DETENTION IS: 151,384.93 C.F. (3,475 AC.-FT.) (MULTIFAMILY LOTS=128,577.37 SF, COMMERCIAL LOTS=22,787.56 SF)
  - NO PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN UTILITY EASEMENT BY THIS PLATS OR IRRIGATION EASEMENTS
  - 50% OF PARK LAND FEE (\$300.00) PER UNIT WILL BE DUE AT BUILDING PERMIT STAGE.
  - ALL SUBDIVISION IMPROVEMENTS SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SW3P) REQUIREMENTS.
  - A FIVE (5.0') FOOT SIDEWALK AS PER LATEST CITY OF EDINBURG ENGINEERING DEPARTMENT STANDARDS OR AS APPROVED BY THE CITY ENGINEER IS REQUIRED AT BUILDING PERMIT STAGE BY LOT OWNER, ADA RAMPS WITHIN THE SUBDIVISION ARE TO BE CONSTRUCTED DURING SUBDIVISION CONSTRUCTION STAGE.
  - ALL WATER AND SANITARY SEWER FEES SHALL BE PAID BY DEVELOPER.
  - NO ACCESS TO WISCONSIN ROAD FROM LOTS 1, 12, 13, 24, 25, & 38
  - THE HOMEOWNERS' ASSOCIATION MUST COLLECT DUES TO MAINTAIN SAID PRIVATE STREETS, STREET SIGNS, LANDSCAPE IMPROVEMENTS IN COMMON AREAS, STREET LIGHTS ELECTRIC BILL, AND OTHER AMENITIES IMPROVEMENTS FOR THIS SUBDIVISION.
  - U.E. DENOTES UTILITY EASEMENT BY THIS PLAT E.E. DENOTES ELECTRICAL EASEMENT
  - ALL COMMON ACCESS, PARKING LOT AND LANDSCAPING AREAS WILL BE MAINTAINED BY HOME OWNERS ASSOCIATION
  - THE OWNERS OF LOTS SERVED BY THE PRIVATE ACCESS, ALLEYS AND ACCESS EASEMENTS WITHIN THIS PLAT AGREE TO RELEASE, INDEMNIFY, DEFEND AND HOLD HARMLESS ANY GOVERNMENTAL ENTITY FOR DAMAGES TO THE PRIVATE ACCESS, ALLEYS AND ACCESS EASEMENTS OCCASIONED BY THE REASONABLE USE THEREOF BY THE GOVERNMENT ENTITY FOR GOVERNMENTAL PURPOSES, AND TO RELEASE, INDEMNIFY DEFEND AND HOLD HARMLESS ANY GOVERNMENTAL ENTITY FOR DAMAGES ARISING FROM THE CONDITION OF THE PRIVATE ACCESS, ALLEYS OR PRIVATE ACCESS EASEMENTS. THE MAINTENANCE OF SIGNS SHALL NOT BE THE RESPONSIBILITY OF THE CITY OF EDINBURG.
  - A SIX (6.00') FOOT SIDEWALK WITH ADA RAMPS IS REQUIRED ALONG WISCONSIN ROAD AS PER LATEST CITY OF EDINBURG ENGINEERING DEPARTMENT STANDARDS OR AS APPROVED BY THE CITY ENGINEER DURING SUBDIVISION CONSTRUCTION BY DEVELOPER.
  - A 6.00' BUFFER FENCE TO BE BUILT AND MAINTAINED BY THE HOME OWNERS ASSOCIATION WILL BE REQUIRED BETWEEN RESIDENTIAL AND MULTI-FAMILY LOTS. A OPAQUE FENCE IS REQUIRED BETWEEN COMMERCIAL AND MULTI-FAMILY LOTS. OPAQUE FENCE TO BE MAINTAINED BY COMMERCIAL LOT OWNERS.
  - ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE REAR OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 1.0% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH CITY OF EDINBURG STANDARDS
  - 50.00' EASEMENT CLAIMED BY TEXAS GAS SERVICE CO. RECORDED IN VOLUME 247, PAGE 393, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS. (TO BE ABANDONED BY THIS PLAT)
  - 15.00' UTILITY EASEMENT RECORDED IN INSTRUMENT NUMBER 3550443, MAP RECORDS OF HIDALGO COUNTY, TEXAS. (TO BE ABANDONED BY THIS PLAT)

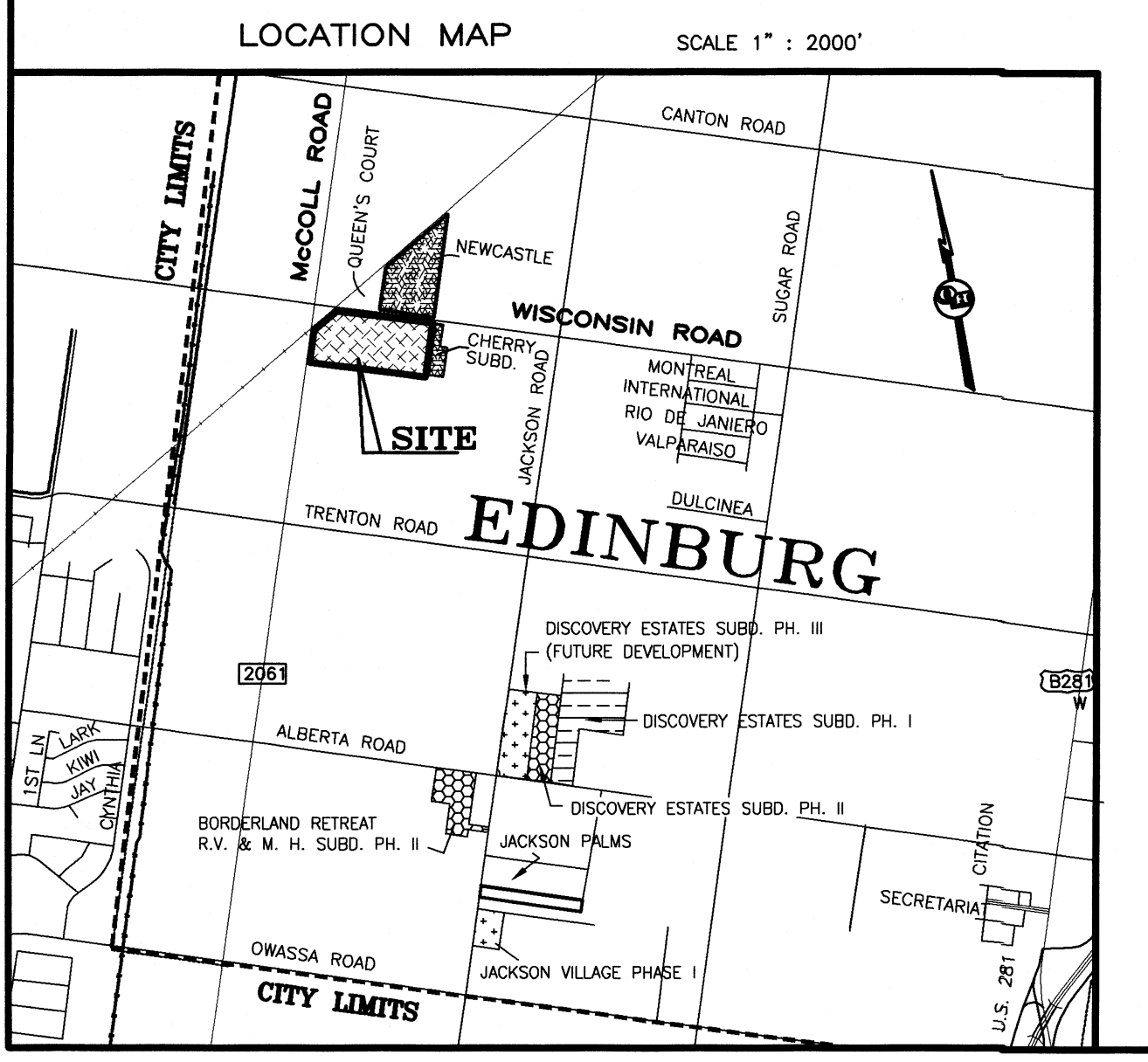
**LINE DATA TABLE**

DATA	BEARING	LENGTH
L1	N 50°01'53" E	60.65'
L2	S 08°46'00" W	223.78'
L3	N 81°17'10" W	40.00'
L4	N 08°46'00" E	178.20'
L5	S 36°14'00" E	35.36'
L6	N 53°46'00" E	35.36'
L7	S 05°11'25" W	40.08'
L8	N 12°20'35" E	40.08'

**CURVE DATA**


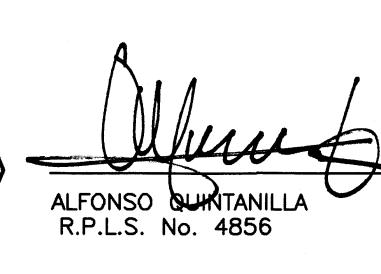
CURVE	DELTA	RADIUS	LENGTH	CHORD LENGTH
"A"	143°07'48"	55.00'	124.90'	94.87'

LOT	AREA (S.F.)
1	14975.00
2-4	10800.00
5	10796.73
6	11841.19
7	11816.17
8	10796.73
9-11	10800.00
12-13	14975.00
14-16	10800.00
17	10795.76
18	11801.20
19	22919.05
20	10795.76
19-23	10800.00
24-25	14975.00
26-29	10800.00
30	11404.90
31	10747.73
32	15286.98
33	15636.22
34	14753.34
35	14725.14
36	14696.94
37	14668.74
38	20486.90
LOT "A"	37415.06
LOT "B"	18750.67
LOT "C"- "H"	9000.00
LOT "I"	17958.64



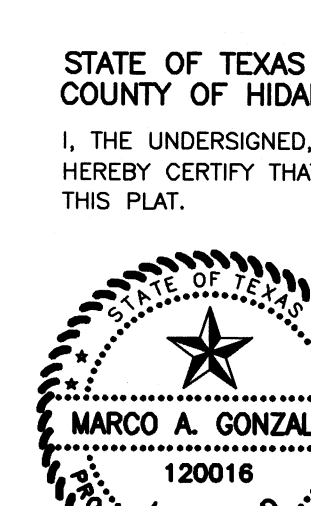
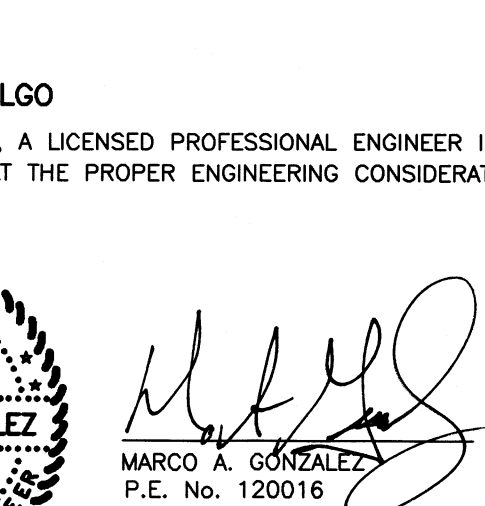
STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, AND WAS MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY DONE ON THE GROUND UNDER MY SUPERVISION.

  6-5-2024  
ALFONSO QUINTANILLA  
R.P.L.S. No. 4856  
DATE

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.

  6-3-24  
MARCO A. GONZALEZ  
P.E. No. 120016  
DATE

**QUINTANILLA, HEADLEY AND ASSOCIATES, INC.**  
CONSULTING ENGINEERS LAND SURVEYORS  
124 E. STUBBS ST. PHONE 956-381-6480  
EDINBURG, TEXAS 78539 FAX 956-381-0527  
REGISTRATION NUMBER F-1513 ALFONSO@QQA-ENG.COM  
SURVEYING REGISTRATION NUMBER 100411-00

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL SESIN, P.E., C.F.M.  
GENERAL MANAGER \_\_\_\_\_ DATE \_\_\_\_\_

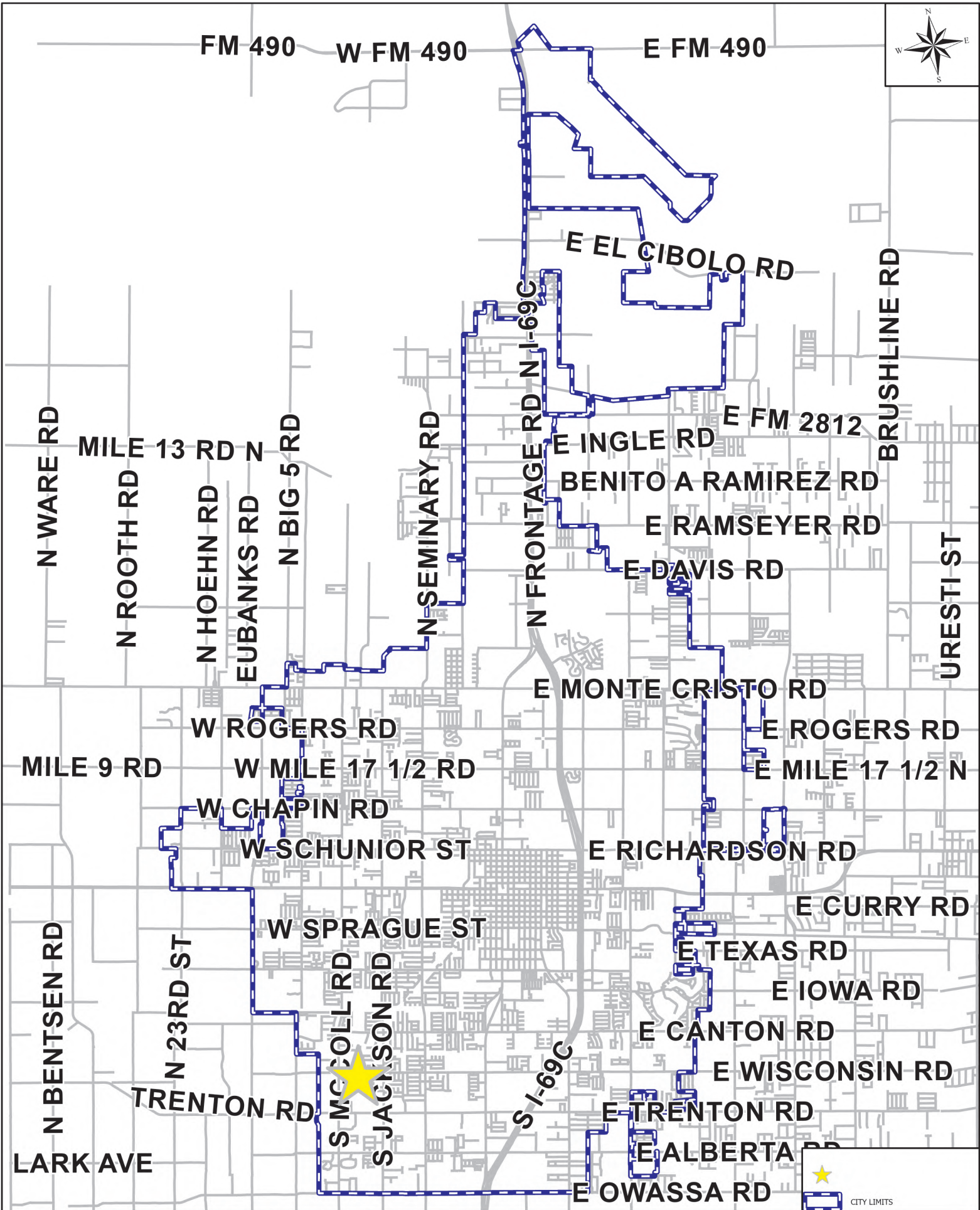
FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUAJARDO, JR.  
HIDALGO COUNTY CLERK

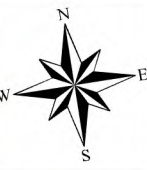
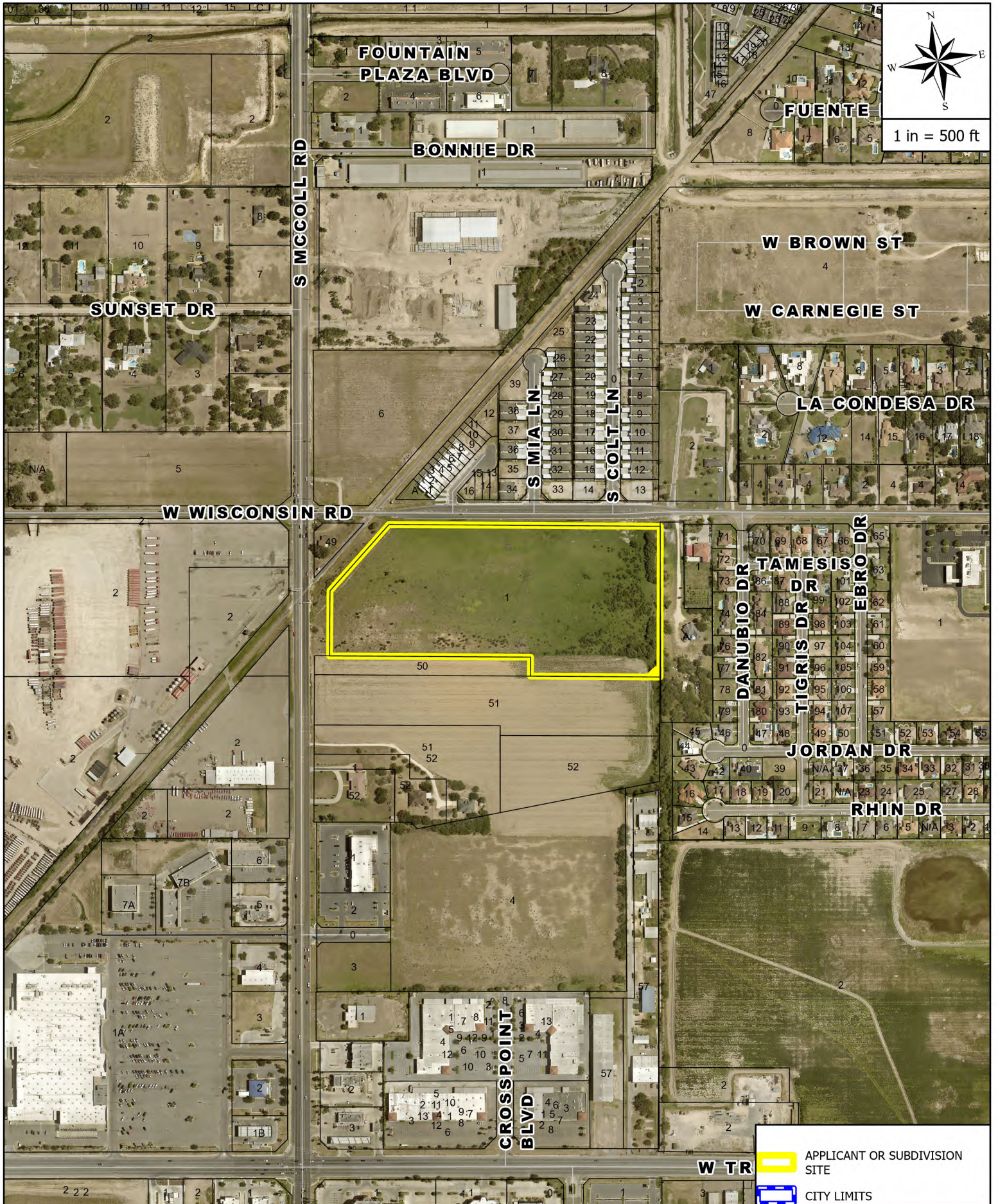
ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

By: \_\_\_\_\_ DEPUTY

FILENAME	DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
F:\DATA\SUBDIVISIONS\EDINBURG\KING'S LANDING PLAT 65 ENTRANCE	6-13-2024	JS		
	DATE REVISD	REVISD BY	CHECKED BY	APPROVED BY
	07-13-2024	JS		

DATE OF PREPARATION: JUNE 13, 2024



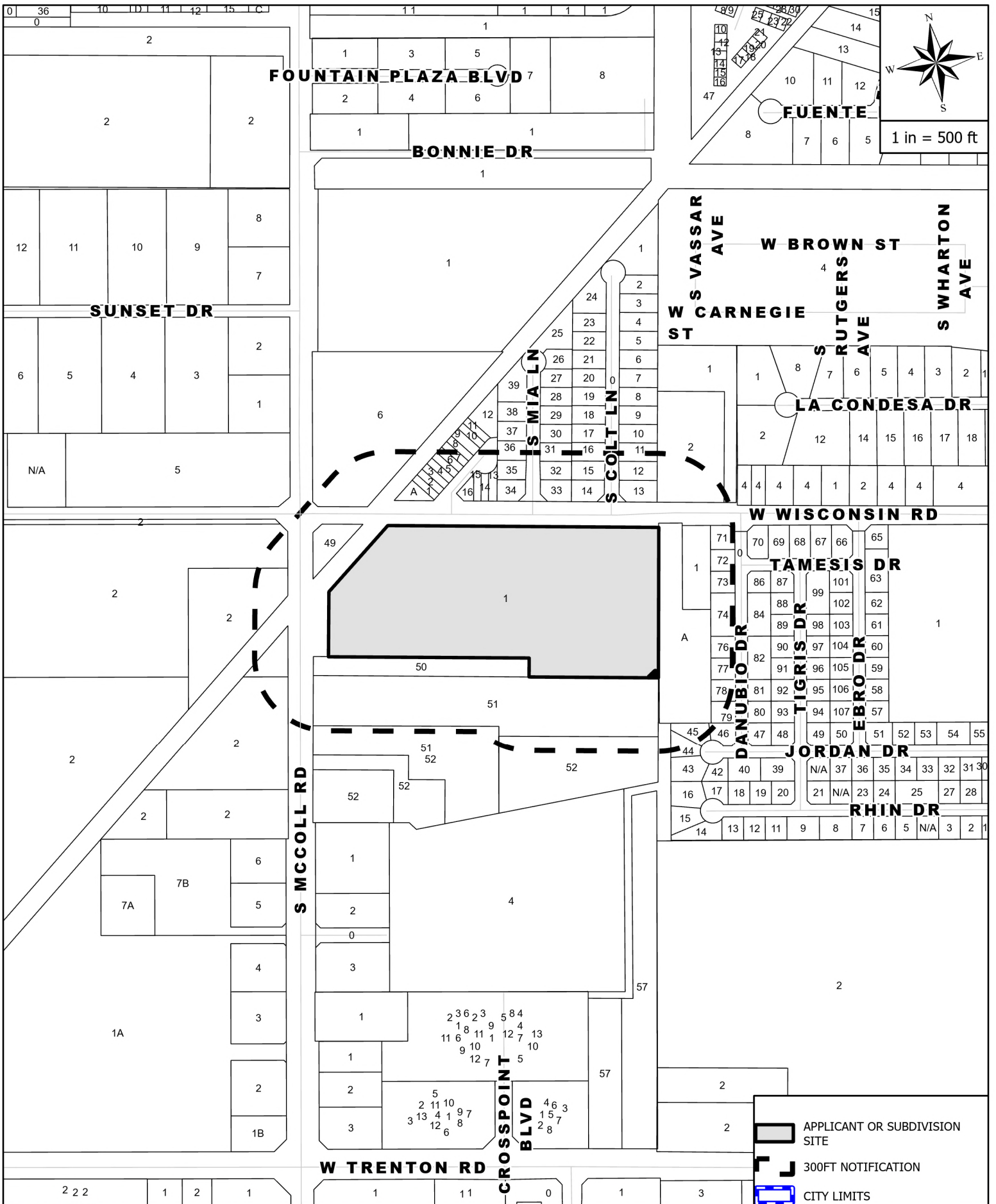


1 in = 500 ft

- APPLICANT OR SUBDIVISION SITE
- CITY LIMITS

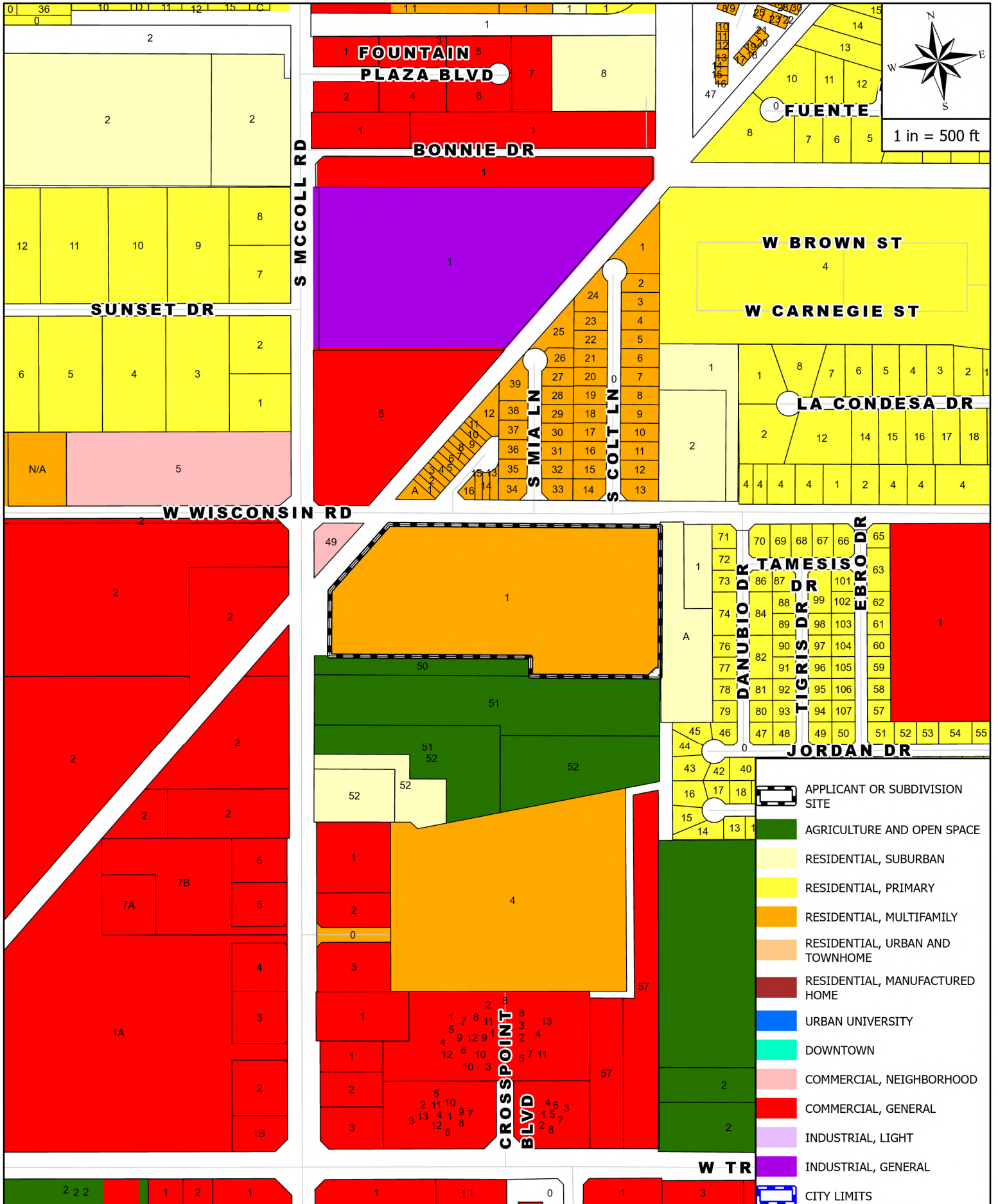


**AERIAL MAP**  
**APPLICANT AND/OR SUBDIVISION:**  
**KINGS LANDING**



**MAILOUT AND SITE MAP**  
**APPLICANT AND/OR SUBDIVISION:**  
 KINGS LANDING





**ZONING MAP**

**APPLICANT AND/OR SUBDIVISION:**

KINGS LANDING



Planning and Zoning Commission

Attendance 2026

2026

First Name	Last Name	Position	8-Jan	22-Jan	12-Feb	26-Feb	12-Mar	26-Mar	9-Apr	23-Apr	14-May	28-May	11-Jun	25-Jun	9-Jul	23-Jul	13-Aug	27-Aug	10-Sep	24-Sep	8-Oct	22-Oct	12-Nov	10-Dec
Jorge	Sotelo	Chairperson	P	P	P	P	P			P	P	P	P											
Elias	Longoria, Jr.	Vice-Chair	P	P	P	A	P			P	P	P	A											
Ruby	Casas	Commissioner	P	P	P	P	P			P	P	A	P											
Jorge	Gonzalez	Commissioner	P	P	P																			
Victor	Daniec	Commissioner	P	A	P	A	P			P	P	A	A											
Rene	Olivarez	Commissioner	P	P	A																			
Rodolfo "Rudy"	Ramirez	Commissioner	A	P	P	A	A			P	A	P	A											
Eliseo	Garza	Commissioner				P	P			P	P	P	P											
Gregory	Vasquez	Commissioner				P	P			A	P	P	P											