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**PLANNING AND ZONING COMMISSION  
REGULAR MEETING  
NOVEMBER 20, 2025 – 5:30 P.M.  
CITY HALL-COUNCIL CHAMBERS  
415 WEST UNIVERSITY DRIVE  
EDINBURG, TEXAS 78539**

**AGENDA**

1. Call Meeting to Order, Establish Quorum
  - A. Prayer
  - B. Pledge of Allegiance
2. Certification of Public Notice
3. Disclosure of Conflict of Interest
4. Meeting Procedures

The following are the meeting procedures used by the Planning & Zoning Commission:

- A. All the items are generally considered as they appear on the agenda as each item is introduced.
- B. Staff will present its findings and recommendation on the item being considered.
- C. The party making the request may make a presentation and may address the Commission on any issues arising during the discussion of the item being considered.
- D. Anyone in the audience desiring to speak in favor or in opposition may do so. A three (3) minute time limit will be given to each person interested in speaking on the item. The use of a spokesperson for large groups of people will be required.



- E. Once the Chairperson closes the public hearing, the Commission may question anyone and maintain any discussion which clarifies the proposal and will take what action it feels to be appropriate.

5. **PUBLIC COMMENTS**

- A. Public comments are limited to three (3) minutes. If a resident desires to make a Public comment, please notify the Chairperson prior to the start of the meeting. A spokesperson for large groups is required. We ask for everyone's cooperation in following these procedures.

6. **ABSENCES**

- A. Consider excusing the absence of board member Rodolfo “Rudy” Ramirez from the October 23, 2025, regular meeting.
- B. Consider excusing the absence of board member Jorge Gonzalez from the October 23, 2025 regular meeting.
- C. Consider excusing the absence of board member Ruby Casas from the October 23, 2025, regular meeting.

7. **MINUTES**

- A. Consider Approval of the Minutes for the October 23, 2025, Regular Meeting.

8. **PUBLIC HEARINGS**

- A. Consider the Comprehensive Plan Amendment from Neighborhood Commercial Uses to Multi-Family Residential Uses and the Rezoning Request from Commercial, Neighborhood (CN) District to Residential, Multi-Family (RM) District, Lot 1, Brandy Estates, Located at 4020 W. Sprague Street, as Requested by Abraham Mejia Jr.
- B. Consider the Comprehensive Plan Amendment from Neighborhood Commercial and Auto-Urban Uses to General Commercial Uses and the Rezoning Request from Commercial, Neighborhood (CN) District to Commercial, General (CG) District, 5.000 Acres out of Lot 27, Kelly-Pharr Subdivision, Volume 3, Pages 133-134, H.C.D.R., City of Edinburg, Hidalgo County, Texas, Located at 1014 W. Wisconsin Road, as Requested by Melden & Hunt, Inc.

- C. Consider the Rezoning Request from Residential, Primary (RP) District to Commercial, Neighborhood (CN) District, Lot 8, Primarosa Estates Unit 2 Subdivision, Located at 3606 W. Monte Cristo Road, as Requested by Jose Antelmo and Anita M. Valdez.
- D. Consider the Rezoning Request from Agriculture and Open Space (AO) District to Residential, Primary (RP) District, All of Lot 26, Trenton Manor Subdivision, Located at 1919 Wayne Drive, as Requested by Rolando Ramirez.
- E. Consider the Variance Request to the City's Unified Development Code Article 4, Section 4.303, Permanent Signs, Crestwood Estates Subdivision, Located at 3201 N. Roegiers Road, as Requested by Khristian Galvan.
- F. Special Use Permit for On Premise Consumption for Alcoholic Beverages, Being 15.287 Acres, More or Less, Out of Lot 10, Block 271, Texas-Mexican Survey, Located at 123 E. Mark S. Pena Drive, as Requested by Edinburg Arts Foundation.

9. **SUBDIVISION VARIANCES**

- A. Consider Variance Request to the City's Unified Development Code, Article 4, Section 4.204, Bufferyards, Table 4.204-1, Bufferyard Classifications for The Woodlands at Jackson Subdivision, Being a 4.00-Acre Tract of Land Out of Lot 4, Section 242, Texas-Mexican Railway Company's Survey, Hidalgo County, Texas, as Per Map Recorded in Volume 1, Page 12, Hidalgo County Map Records, Located at 1802 N. Jackson Road, as Requested by Marco Santivanez.
- B. Consider Variance Request to the City's Unified Development Code, Article 5, Table 5.203-1, Right-of-Way Widths, Being 19.858 Acres Situated in the City of Edinburg, County of Hidalgo, Texas Being a Part or Portion Out of Lot 7, Section 240, Texas- Mexican Railway Company's Survey Subdivision, According to the Plat Thereof Recorded in Volume 1, Page 12, Hidalgo County Map Records, Located at 2800 N. McColl Road, as Requested by Melden & Hunt, Inc.
- C. Consider Variance Request to the City's Unified Development Code, Article 5, Table 5.203-1, Right-of-Way Widths, Being a 7.434-Acre Tract of Land, More or Less, Out of the South 25.20 Acres of Lot Five (5), Section Two Hundred Thirty-Nine (239), Texas-Mexican Railway Company's Survey, Hidalgo County, Texas, Located at 1901 W. Rogers Road, as Requested by Melden & Hunt, Inc.

10. **SUBDIVISION CONSENT**

- A. Consider the Preliminary Plat Approval of Garco North Industrial Park Subdivision, being a 5.87 Acres Tract of Land Out of Lots 1, 2 And 4, Block 49, Santa Cruz Gardens Unit No. 2 Subdivision, Hidalgo County, Texas, Recorded in Volume 8, Pages 28 and 29, Hidalgo County Map Records, Located at 104 Constitution Drive, as Requested by Quintanilla, Headley and Associates.
- B. Consider the Preliminary Plat approval of Vaquero Edinburg Subdivision, being a 2.052 acres tract of land out of Lots 12 and 13, Block C, Amended Map of Edinburg, recorded in Volume 1, Page 23, Hidalgo County Map Records, located at 103 E. Schunior Street, as Requested by Melden & Hunt, Inc.
- C. Consider the Preliminary Plat Approval of Sunrise Trails Phase I Subdivision, being a 10.882 Acres Tract of Land Out of Lots 9 and 10, Block 36 Amended Map of Santa Cruz Gardens Unit No. 2, Recorded in Volume 8, Page 28-29, Hidalgo County Map Records, Located at 1403 E. Ramseyer Road, as Requested by Melden & Hunt, Inc.
- D. Consider the Preliminary Plat Approval of Vista Linda Subdivision, Being a 19.985 Acre Tract Being Out of Lot 9, Section 236, Texas-Mexican Railway Company's Survey, Hidalgo County, Texas, Located at 5500 W. Rogers Road, as Requested by Melden & Hunt, Inc.
- E. Consider the Final Plat Approval of Garden Walk at Canton Subdivision, Being 8.33-Acres Tract of Land Out a 24.99 Acre Tract of Land out of Lot 4, Block 1, John Closner Subdivision, Hidalgo County, Texas, According to the Map Recorded in Volume 0, Page 4 And 5, Hidalgo County Map Records, Located at 2020 E. Canton Road, as Requested by Rio Delta Engineering.
- F. Consider the Final Plat Approval of Sapphire at La Sienna Phase I Subdivision, Being a 18.682 Acres Tract of Land Out of Lots 50, 51, and 52, Santa Cruz Ranch Subdivision, According to the Plat or Map thereof Recorded in Volume Z, Page 161, Hidalgo County Map Records, Located at 4401 La Sienna Parkway, as Requested by Melden & Hunt, Inc.
- G. Consider the Final Plat Approval of Villas at La Sienna Subdivision, being a 4.906 Acres Tract of Land out of Lot 1, La Sienna Development, According to the Plat or Map thereof Recorded in Volume 53, Page 124, Hidalgo County Map Records, Located at 1891 Burns Boulevard, as Requested by Melden & Hunt, Inc.



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11. **DIRECTOR'S REPORT**

- A. City Council Actions
- B. Attendance Roster

12. **ADJOURNMENT**

I hereby certify that this notice of meeting was posted in accordance with the Open Meetings Act, V.T.C.A., Government Code, Section 551.041, at the Edinburg City Hall Building, 415 West University Drive, Edinburg, Texas, visible and accessible to the general public after regular working hours, at 11:00 A.M. on this 12<sup>th</sup> day of November, 2025.

*Erika Monreal*

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Erika Monreal, Administrative Assistant  
Planning & Zoning Department

**NOTICE**

PERSONS WITH DISABILITIES WHO NEED TO COMMUNICATE MORE EFFECTIVELY WITH CITY OFFICIALS AND WHO MAY NEED AUXILIARY AIDS OR SERVICES SUCH AS INTERPRETERS FOR PERSONS WHO ARE DEAF OR HEARING IMPAIRED ARE REQUESTED TO CONTACT THE OFFICE OF THE CITY SECRETARY AT (956) 388-8204 THREE WORKING DAYS PRIOR TO ANY MEETING SO THAT APPROPRIATE ARRANGEMENTS CAN BE MADE.





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**PLANNING AND ZONING COMMISSION  
REGULAR MEETING  
OCTOBER 23, 2025 – 5:30 P.M.  
CITY HALL-COUNCIL CHAMBERS  
415 WEST UNIVERSITY DRIVE  
EDINBURG, TEXAS 78539**

**MINUTES**

**PRESENT:**

**JORGE SOTELO – CHAIRMAN  
ELIAS LONGORIA, JR. – VICE CHAIRMAN**

**BOARD MEMBERS:**

**RENE OLIVAREZ  
VICTOR DANIEC**

**ABSENT:**

**BOARD MEMBERS:  
RODOLFO “RUDY” RAMIREZ  
JORGE GONZALEZ  
RUBY CASAS**

1. Call Meeting to Order, Establish Quorum
  - A. Prayer
  - B. Pledge of Allegiance
2. Certification of Public Notice
3. Disclosure of Conflict of Interest
4. Meeting Procedures

The following are the meeting procedures used by the Planning & Zoning Commission:



- A. All the items are generally considered as they appear on the agenda as each item is introduced.
- B. Staff will present its findings and recommendation on the item being considered.
- C. The party making the request may make a presentation and may address the Commission on any issues arising during the discussion of the item being considered.
- D. Anyone in the audience desiring to speak in favor or in opposition may do so. A three (3) minute time limit will be given to each person interested in speaking on the item. The use of a spokesperson for large groups of people will be required.
- E. Once the Chairperson closes the public hearing, the Commission may question anyone and maintain any discussion which clarifies the proposal and will take what action it feels to be appropriate.

5. **PUBLIC COMMENTS**

- A. Public comments are limited to three (3) minutes. If a resident desires to make a Public comment, please notify the Chairperson prior to the start of the meeting. A spokesperson for large groups is required. We ask for everyone's cooperation in following these procedures.

6. **MINUTES**

- A. Consider Approval of the Minutes for the September 11, 2025, Regular Meeting.

**A MOTION WAS MADE BY VICE CHAIRMAN ELIAS LONGORIA, JR., AND SECONDED BY BOARD MEMBER VICTOR DANIEC TO APPROVE THE SEPTEMBER 11, 2025, REGULAR MEETING. MOTION CARRIED UNANIMOUSLY WITH A 4-0 VOTE.**

7. **PUBLIC HEARINGS**

- A. Consider the Rezoning Request from Agriculture and Open Space (AO) District to Residential, Primary (RP) District, All Of Lot 13, Tierra Buena Subdivision Number 1, Located At 3817 Duberney Boulevard, as Requested by Gerardo & Estephania Ordonez.

**A MOTION WAS MADE BY VICE CHAIRMAN ELIAS LONGORIA, JR., AND SECONDED BY BOARD MEMBER VICTOR DANIEC TO APPROVE THE REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A 4-0 VOTE. – ITEM APPROVED**

8. **SUBDIVISION VARIANCES**

- A. Consider Variance Request to the City's Unified Development Code, Article 3, Table 3.102-1, Single-Family Detached Lot and Building Standards, Rear Yard Setbacks, Being a 18.682-Acre Tract of Land Out of Lot 50, 51 and 52, Santa Cruz Ranch Subdivision, According to the Plat or Map Thereof Recorded in Volume Z, Page 161, Hidalgo County Map Records, Located at 4401 La Sienna Parkway, as Requested by Melden & Hunt, Inc.

**MARLON GARZA, A REPRESENTATIVE FOR MELDEN & HUNT, INC., WAS PRESENT AND ADDRESSED THE BOARD IN FAVOR OF THE REQUEST.**

**A MOTION WAS MADE BY BOARD MEMBER VICTOR DANIEC AND SECONDED BY VICE CHAIRMAN ELIAS LONGORIA, JR., TO APPROVE THE VARIANCE REQUEST. MOTION CARRIED UNANIMOUSLY WITH A 4-0 VOTE. – ITEM APPROVED**

- B. Consider Variance Request to the City's Unified Development Code, Article 3, Table 3.102-1, Single-Family Detached Lot and Building Standards, Rear Yard Setbacks and Minimum Lot Area, for the Proposed Villas at La Sienna Subdivision, Being a 4.906 Acres Tract of Land Out of Lot 1, La Sienna Development, According to the Plat or Map Thereof Recorded in Volume 53, Page 124, Hidalgo County Map Records, Located at 1891 Burns Boulevard, as Requested by Melden & Hunt, Inc.

**MARLON GARZA, A REPRESENTATIVE FOR MELDEN & HUNT, INC., WAS PRESENT AND ADDRESSED THE BOARD IN FAVOR OF THE VARIANCE REQUEST.**



**ISRAEL POSADAS, CITY OF EDINBURG ENGINEER, WAS PRESENT AND ADDRESSED THE BOARD FROM A PROFESSIONAL STANDPOINT.**

**A MOTION WAS MADE BY VICE CHAIRMAN ELIAS LONGORIA, JR., AND SECONDED BY CHAIRMAN JORGE SOTELO TO APPROVE THE REAR YARD SETBACK VARIANCE REQUEST. MOTION CARRIED WITH A 3-1 VOTE. BOARD MEMBER VICTOR DANIEC OPPOSED. – ITEM APPROVED**

**A MOTION WAS MADE BY BOARD MEMBER VICTOR DANIEC AND SECONDED BY VICE CHAIRMAN ELIAS LONGORIA, JR., TO APPROVE THE MINIMUM LOT AREA VARIANCE REQUEST. MOTION CARRIED UNANIMOUSLY WITH A 4-0 VOTE. – ITEM APPROVED**

- C. Consider Variance Request to the City's Unified Development Code, Article 3, Table 3.102-5, Apartment Lot and Building Standards, Being a 0.37 Acre Tract of Land, More or Less, Being the North 114.00 Feet of Lot 1, Wood Subdivision, City of Edinburg, Hidalgo County, Texas According to the Map or Plat Thereof Recorded Under Volume 10, Page 35 of the Plat Records of Hidalgo County, Texas Located at 513 S. 4th Avenue, as Requested by Jorge E. Vallina, on Behalf of Zaashila Construction Group, LLC.

**JAVIER FLORES, CEO OF ZAASHILA CONSTRUCTION GROUP, WAS PRESENT AND ADDRESSED THE BOARD IN FAVOR OF THE VARIANCE REQUEST.**

**THE PROJECT DESIGNER WAS PRESENT AND ADDRESSED THE BOARD IN FAVOR OF THE VARIANCE REQUEST.**

**ANTHONY RIOJAS, CITY OF EDINBURG FIRE MARSHALL, WAS PRESENT AND ADDRESSED THE BOARD FROM A PROFESSIONAL STANDPOINT.**

**A MOTION WAS MADE BY BOARD MEMBER VICTOR DANIEC AND SECONDED BY BOARD MEMBER RENE OLIVAREZ TO TABLE THE VARIANCE REQUEST. MOTION CARRIED UNANIMOUSLY WITH A 4-0 VOTE. – ITEM TABLED**



9. **SUBDIVISION CONSENT**

- A. Consider the Final Plat Approval of Jalpa Oaks Subdivision, Being a 17.280 Acre Tract of Land Out of Lots 31 & 32, the M.L. Woods Co. Tract No. 4 Subdivision, as Per Map or Plat Thereof Recorded in Volume 5, Page 51, Hidalgo County Map Records of Hidalgo County, Texas, Located at 4801 S. Veterans Road, as Requested by Melden & Hunt, Inc.
- B. Consider the Preliminary Plat approval of Fay Apartments Subdivision Being a 0.37 Acre Tract of Land, More or Less, Being the North 114.00 Feet of Lot 1, Wood Subdivision, City of Edinburg, Hidalgo County, Texas According to the Map or Pat Thereof Recorded Under Volume 10, Page 35 of the Plat Records of Hidalgo County, Texas Located at 513 S. 4th Avenue, as Requested by Jorge E. Vallina, on Behalf of Zaashila Construction Group, LLC.

**A MOTION WAS MADE BY VICE CHAIRMAN ELIAS LONGORIA, JR., AND SECONDED BY BOARD MEMBER VICTOR DANIEC TO APPROVE ITEM 9A FROM THE CONSENT AGENDA. MOTION CARRIED UNANIMOUSLY WITH A 4-0 VOTE. – ITEM APPROVED**

**A MOTION WAS MADE BY VICE CHAIRMAN ELIAS LONGORIA, JR., AND SECONDED BY BOARD MEMBER VICTOR DANIEC TO TABLE ITEM 9B FROM THE CONSENT AGENDA. MOTION CARRIED UNANIMOUSLY WITH A 4-0 VOTE. – ITEM TABLED**

10. **DIRECTOR’S REPORT**

- A. City Council Actions
- B. Attendance Roster

**JAIME ACEVEDO, DIRECTOR OF PLANNING & ZONING, WAS PRESENT AND ADDRESSED THE REGARDING THE OCTOBER 21, 2025, CITY COUNCIL REGULAR MEETING. REZONING REQUESTS FOR 1000 W INGLE RD, 4016 VETERANS BLVD, AND 4107 S VETERANS BLVD WERE APPROVED BY CITY COUNCIL.**



11. **ADJOURNMENT**

I hereby certify that this notice of meeting was posted in accordance with the Open Meetings Act, V.T.C.A., Government Code, Section 551.041, at the Edinburg City Hall Building, 415 West University Drive, Edinburg, Texas, visible and accessible to the general public after regular working hours, at 5:00 P.M. on this 17<sup>th</sup> day of October, 2025.

**A MOTION WAS MADE BY BOARD MEMBER RENE OLIVAREZ AND SECONDED BY BOARD MEMBER VICTOR DANIEC ADJOURN THE OCTOBER 23, 2025, REGULAR MEETING AT 6:27 P.M. MOTION CARRIED UNANIMOUSLY WITH A 4-0 VOTE.**

*Erika Monreal*

\_\_\_\_\_  
Erika Monreal, Administrative Assistant  
Planning & Zoning Department

**NOTICE**

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**City of Edinburg**  
**PLANNING & ZONING COMMISSION**  
November 20, 2025

**COMPREHENSIVE PLAN AMENDMENT &**  
**REZONING REQUEST**

**AGENDA ITEM:**

Consider the Comprehensive Plan Amendment from Neighborhood Commercial Uses to Multi-Family Residential Uses and the Rezoning Request from Commercial, Neighborhood (CN) District to Residential, Multi-Family (RM) District, Lot 1, Brandy Estates, Located At 4020 West Sprague Street, As Requested By Abraham Mejia Jr.

**DESCRIPTION / SCOPE:**

This property is located south of West Sprague Street, and approximately 1,500 feet east of North 10<sup>th</sup> Street. The property is currently zoned Commercial, Neighborhood (CN) District. This district provides small neighborhood shopping opportunities and services in areas that are largely residential in use. The requested zoning designation is the Residential, Multi-Family (RM) District, which is intended to accommodate various multi-family residential uses (2 or more dwelling units on a single lot). This property has a lot width of 113.96 feet and a lot depth of 230 feet for a total lot area of approximately 26,210 square feet. The lot is currently vacant and the applicant is requesting the zone change to establish a new multi-family development at this location.

Adjacent zoning is Residential, Multi-Family (RM) District to the north, Commercial, Neighborhood (CN) District to the east, Residential, Suburban (RS) District to the south, and Residential, Multi-Family (RM) District to the west. Surrounding land consists of residential and commercial uses. The future land use designation for this property is for Neighborhood Commercial uses.

Staff mailed a notice of the public hearing to 26 neighboring property owners on Friday, October 31, 2025, and received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing was published in the newspaper on November 12, 2025.

On November 7, 2025, Planning staff met with City of Edinburg development departments to discuss the proposed rezoning. It was determined infrastructure in this area may support the proposed development.

**STAFF RECOMMENDATION:**

Staff recommends approval of the Comprehensive Plan Amendment from Neighborhood Commercial Uses to Multi-Family Residential Uses and the Rezoning Request from Commercial, Neighborhood (CN) District to Residential, Multi-Family (RM) District based on adjacent zoning districts and surrounding land uses. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building/fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and other City requirements, as applicable.

Prepared by:

**Alejandra Gonzalez, MPA**  
Planner II

Reviewed by:

**Jaime Acevedo**  
Director of Planning and Zoning

**MEETING DATES:**  
**PLANNING & ZONING COMMISSION – 11/20/25**  
**CITY COUNCIL – 12/02/25**  
**DATE PREPARED – 11/05/25**

**STAFF REPORT**  
**GENERAL INFORMATION**

**APPLICATION:** Consider the Comprehensive Plan Amendment from Neighborhood Commercial Uses to Multi-Family Residential Uses and the Rezoning Request from Commercial, Neighborhood (CN) District to Residential, Multi-Family (RM) District

**APPLICANT:** Mariela De Jesus and Edward Dominguez

**AGENT:** Abraham Mejia Jr.

**LEGAL:** Lot 1, Brandy Estates

**LOCATION:** 4020 West Sprague Street

**LOT/TRACT SIZE:** 26,210 square feet

**CURRENT USE:** Vacant land

**PROPOSED USE:** Residential, Multi-Family (RM) District

**EXISTING ZONING:** Commercial, Neighborhood (CN) District

**ADJACENT ZONING:** North – Residential, Multi-Family (RM) District  
South – Residential, Suburban (RS) District  
East – Commercial, Neighborhood (CN) District  
West – Residential, Multi-Family (RM) District

**LAND USE PLAN:** Neighborhood Commercial Uses

**PUBLIC SERVICES:** City of Edinburg Water and Sewer

**RECOMMENDATION:** Staff recommends approval of the Comprehensive Plan Amendment from Neighborhood Commercial Uses to Multi-Family Residential Uses and the Rezoning Request from Commercial, Neighborhood (CN) District to Residential, Multi-Family (RM) District

**REZONING REQUEST  
ABRAHAM MEJIA JR.**

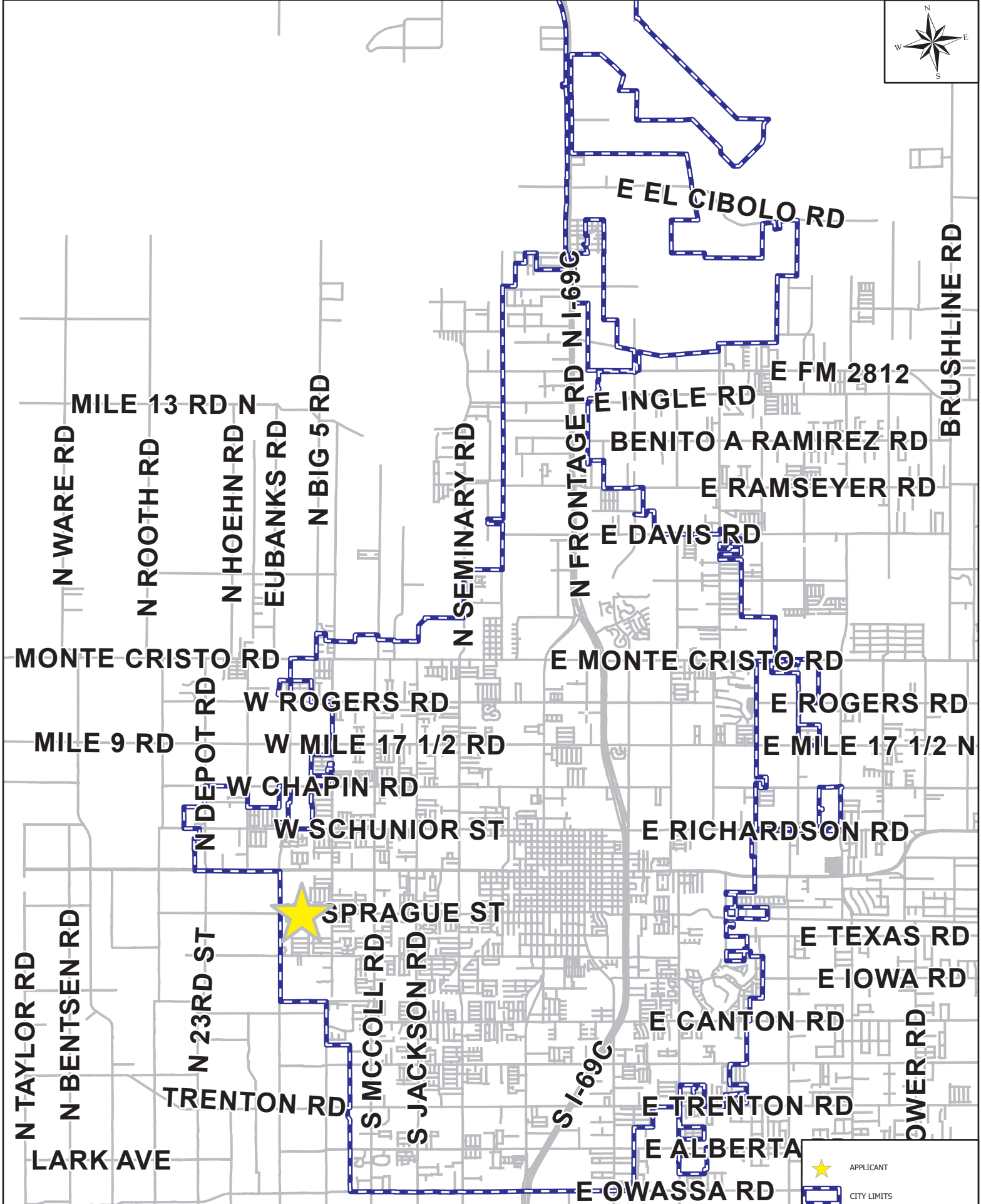
**EVALUATION**

The following is the staff's evaluation of the request:

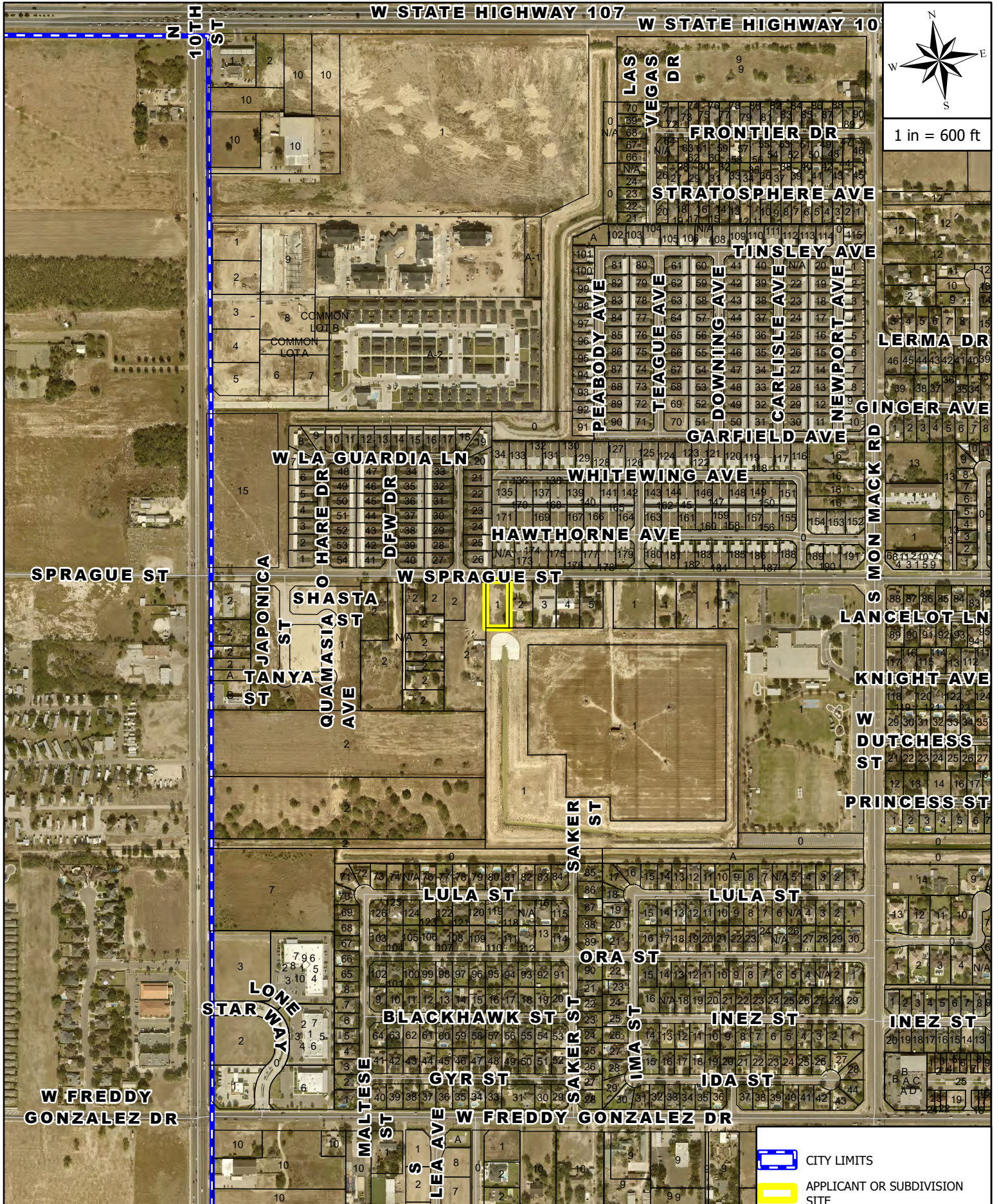
1. The land is currently vacant.
2. Surrounding land consists of residential and commercial uses.
3. The proposed zoning is not consistent with the Future Land Use Plan.

Staff recommends approval of the Comprehensive Plan Amendment from Neighborhood Commercial Uses to Multi-Family Residential Uses and the Rezoning Request from Commercial, Neighborhood (CN) District to Residential, Multi-Family (RM) District. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building/fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and other City requirements, as applicable.

Staff mailed a notice of the public hearing to 26 neighboring property owners on Friday, October 31, 2025, and received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing was published in the newspaper on November 12, 2025.



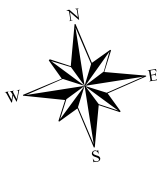
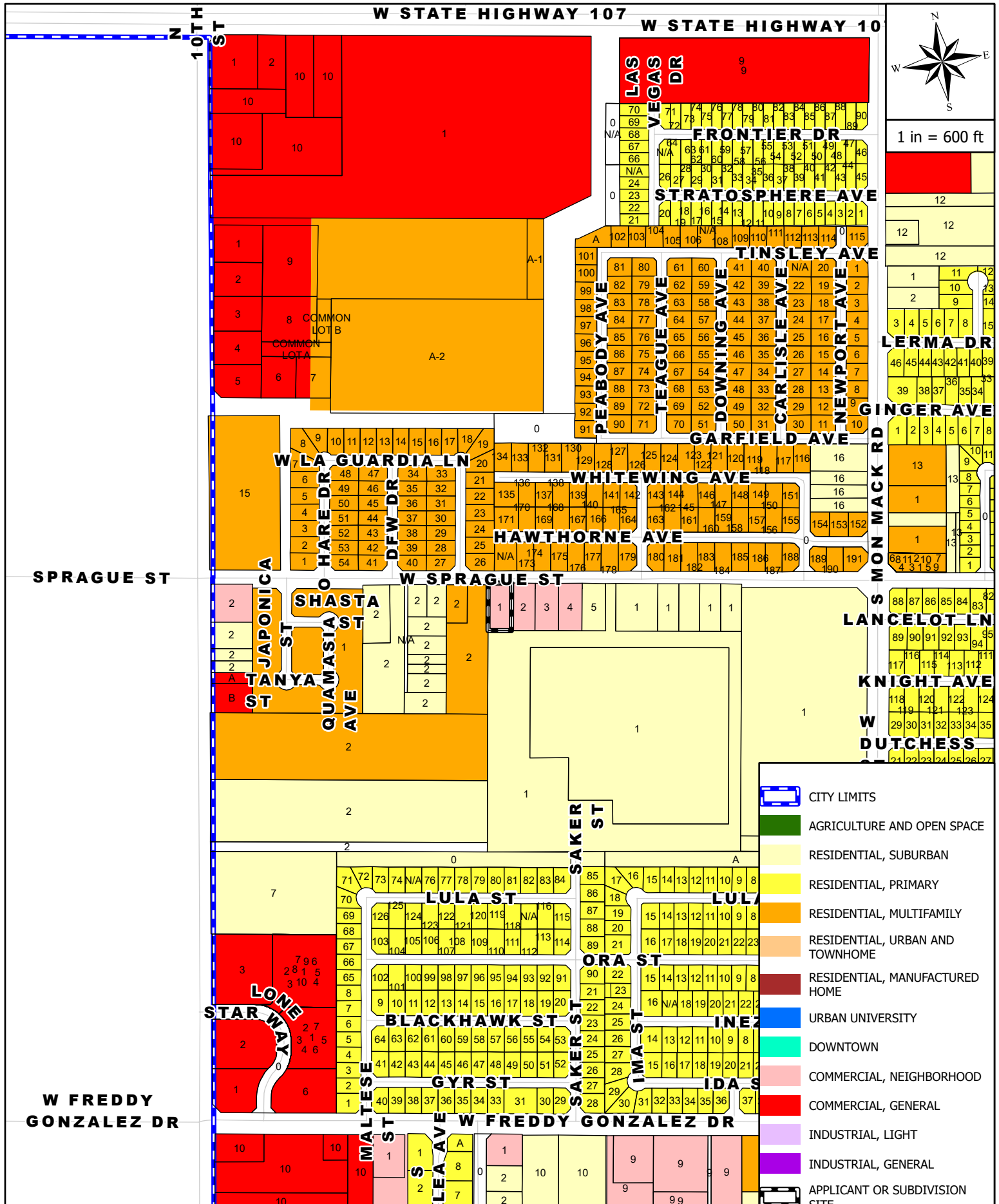
★ APPLICANT  
 [Dashed Blue Line] CITY LIMITS



**AERIAL MAP**

**APPLICANT AND/OR SUBDIVISION:**

RZNE-2025-0309 4020 W SPRAGUE ST



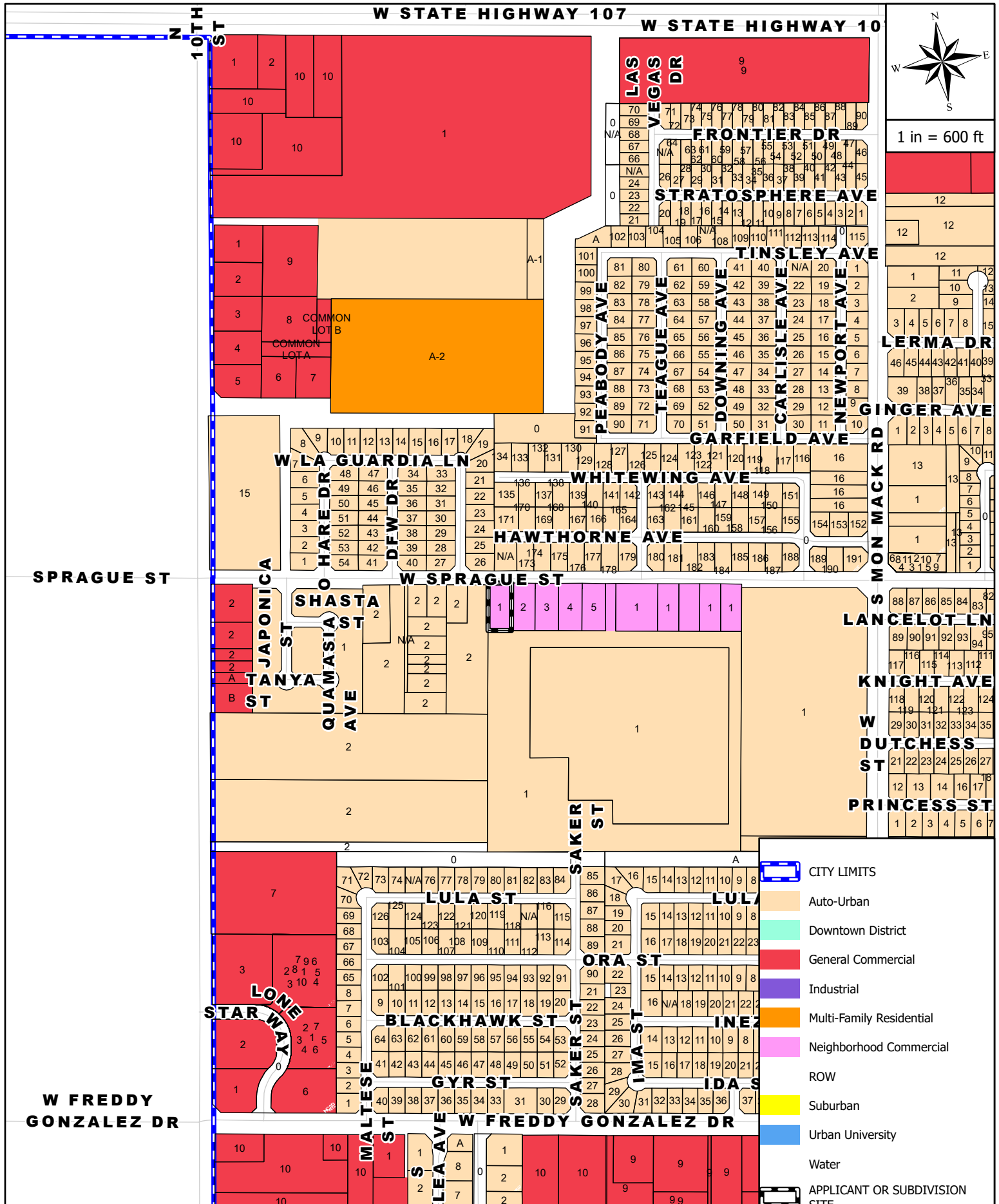
1 in = 600 ft

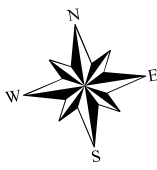
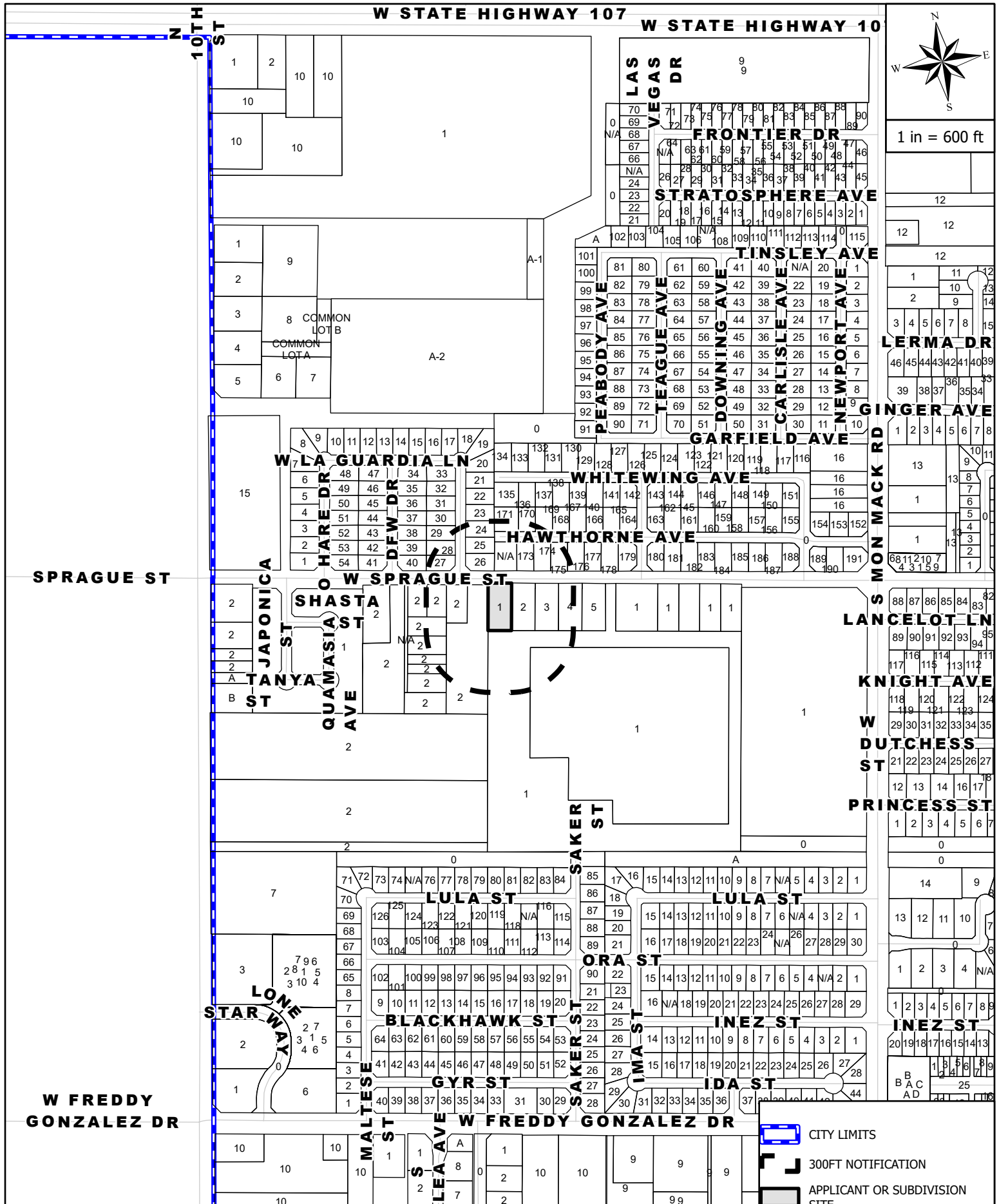
**ZONING MAP**

**APPLICANT AND/OR SUBDIVISION:**

RZNE-2025-0309 4020 W SPRAGUE ST







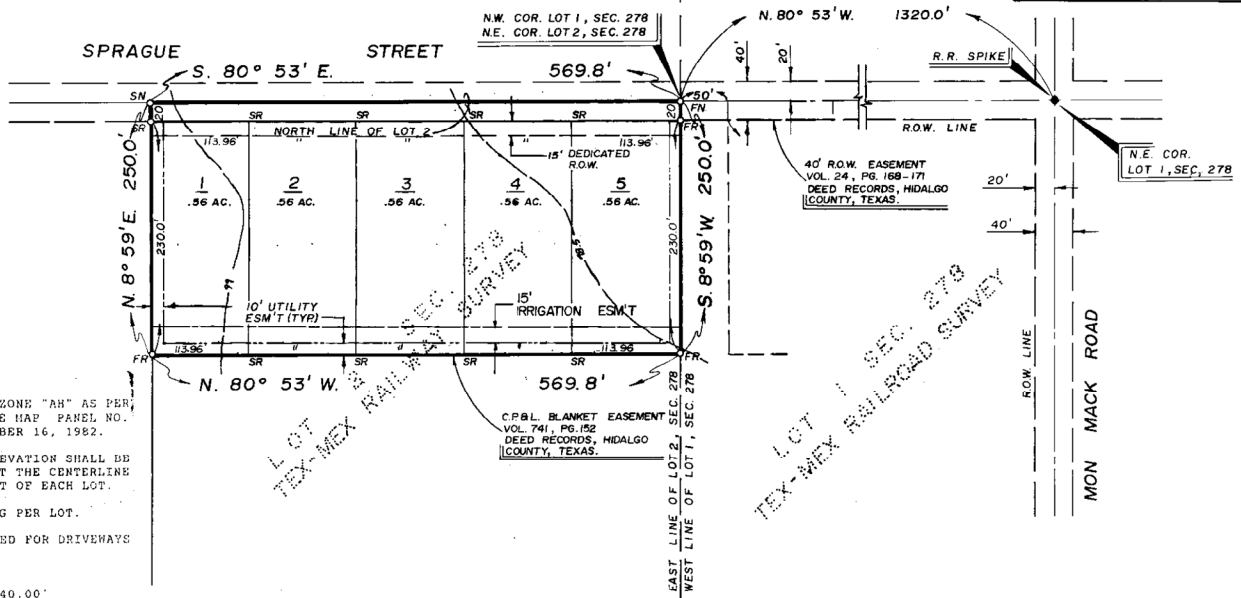
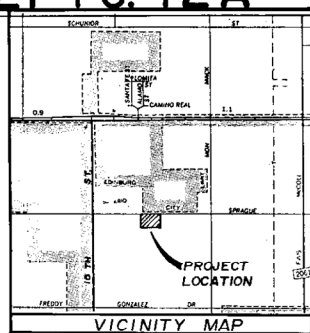
1 in = 600 ft



**MAILOUT AND SITE MAP**  
**APPLICANT AND/OR SUBDIVISION:**

RZNE-2025-0309 4020 W SPRAGUE ST

SCALE: 1" = 100"  
 FR = FOUND ROD  
 SR = SET 1/2" ROD  
 FN = FOUND NAIL  
 SN = SET NAIL



- NOTES
- THIS SUBDIVISION LIES IN ZONE "AH" AS PER F.E.H.A.'S FLOOD INSURANCE MAP PANEL NO. 480334 0325 C DATED NOVEMBER 16, 1982.
  - MINIMUM FINISH FLOOR ELEVATION SHALL BE 18" ABOVE THE PAVEMENT AT THE CENTERLINE OF SPRAGUE STREET IN FRONT OF EACH LOT.
  - ONE SINGLE FAMILY DWELLING PER LOT.
  - CULVERTS MUST BE PROVIDED FOR DRIVEWAYS BY LOT PURCHASER.
  - MIN. BLDG. SETBACK LINES  
 FRONT 40.00'  
 REAR 30.00'  
 SIDE 7.00'  
 SIDE ABUTTING STREET 10.00'  
 UNLESS GREATER SETBACKS ARE REQUIRED.
  - DRAINAGE RETENTION PER LOT IS 1965 CF (1.045 AC-FT)
  - ALL FUTURE LOT OWNERS MAY BE ASSESSED FOR PAVING IMPROVEMENTS.

## MAP OF BRANDY ESTATES

BEING A 3.27 ACRE SUBDIVISION OUT OF LOT 2, SECTION 278, TEXAS-MEXICAN RAILROAD COMPANY SURVEY, HIDALGO COUNTY, AS PER MAP OR PLAT THEREOF RECORDED IN VOL. 24, PAGE 171 OF THE DEED RECORDS, HIDALGO COUNTY, TEXAS.

STATE OF TEXAS,  
 COUNTY OF HIDALGO:

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE BRANDY ESTATES TO THE CITY OF EDINBURG, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE OF CONSIDERATION THEREIN EXPRESSED.

*Edward Dominguez*  
 EDWARD DOMINGUEZ  
 P.O. BOX 720196  
 McALLEN, TEXAS 78504

STATE OF TEXAS,  
 COUNTY OF HIDALGO:

BEFORE ME THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Edward Dominguez KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

*Nancy A. Mora*  
 NAME: A. MORA  
 NOTARY PUBLIC  
 State of Texas  
 Exp. 08/09/94  
 NOTARY PUBLIC IN AND FOR  
 HIDALGO COUNTY, TEXAS

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

*Walter D. Swain*  
 CHAIRMAN, PLANNING COMMISSION

THIS PLAT APPROVED BY THE CITY COMMISSION OF THE CITY OF EDINBURG, ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 1991.

ATTEST:  
 CITY SECRETARY

THIS PLAT APPROVED BY HIDALGO COUNTY IRRIGATION DISTRICT NO. 1, ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 1991.

*Richard J. Hill*  
 PRESIDENT

ATTEST:  
 SECRETARY

I, THE UNDERSIGNED, MAYOR OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

*P.R. By...*  
 MAYOR, CITY OF EDINBURG  
 APPROVED 06/18/91

ATTESTED BY:

23199  
 27 72A  
 10-22-91

APPROVED FOR RECORDING

COMMISSIONER'S COURT  
 This the 22nd day of Oct. 1991  
 WILLIAM M. ... Clerk  
 HIDALGO COUNTY, TEXAS  
 By *Jeanette...* Deputy

CHECK BY *...*



**CEC** CONSULTING ENGINEERS  
 ENGINEERS PLANNERS OFFICES IN McALLEN & HARLINGEN

HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION. IF DESIRED, THIS WILL NOT BE AT DISTRICT EXPENSE.

KNOW ALL MEN BY THESE PRESENTS:

I, THE UNDERSIGNED, JAMES ARANDA, A REGISTERED PROFESSIONAL PUBLIC SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY DIRECT SUPERVISION AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED ON THE GROUND AND THAT ALL ASPECTS OF IT ARE IN ACCORDANCE WITH THE STATUTES GOVERNING SURVEYS.

*James Aranda*  
 JAMES ARANDA  
 REGISTERED PUBLIC SURVEYOR NO. 4442  
 McALLEN, TEXAS 78504

KNOW ALL MEN BY THESE PRESENTS:

I, THE UNDERSIGNED, ROLANDO CRUZ, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT AND THAT ALL ASPECTS OF IT ARE IN ACCORDANCE WITH THE STATUTES GOVERNING ENGINEERING.

*Rolando Cruz*  
 ROLANDO CRUZ  
 REGISTERED PROFESSIONAL ENGINEER  
 NO. 55459  
 McALLEN, TEXAS.

METES & BOUNDS DESCRIPTION FOR

A 3.27 acre tract of land out of Lot 2, Section 278, Texas-Mexican Railway Company Survey, Hidalgo County, Texas, as per map or plat thereof recorded in Volume 24, Page 171, of the Deed Records of Hidalgo County, Texas; Said 3.27 acre tract of land being more particularly described as follows:

- Beginning at a 60d nail set in the centerline of Sprague Street for the Northwest corner of Lot 1, Section 278, same being the Northeast corner of Lot 2, Section 278, for the Northeast corner and POINT OF BEGINNING hereof; Said 60d nail also bears North 80 deg. 53 min. West, 1320.0 feet from a Railroad spike in the intersection of Sprague Street and Hon Mack Road found to be the Northeast corner of Lot 1, Section 278.
- THENCE, South 8 deg. 59 min. West, along the East line of Lot 2, pass at 20.0 feet a 1/2 inch iron rod found on the South right-of-way line of Sprague Street, and a 250.0 feet, in total, to a 1/2 inch iron rod found for the Southeast corner hereof;
- THENCE, North 80 deg. 53 min. West, parallel to the North line of Lot 2, a distance of 569.8 feet to a 1/2 inch iron rod found for the Southwest corner hereof;
- THENCE, North 8 deg. 59 min. East, parallel to the East line of Lot 2, pass at 230.0 feet a 1/2 inch iron rod set on the South right-of-way line of Sprague Street, and at 250.0 feet, in total, to a 60d nail set for the Northwest corner hereof;
- THENCE, South 80 deg. 53 min. East, along the North line of Lot 2, same being the centerline of Sprague Street 569.8 feet to the POINT OF BEGINNING and containing 3.27 acres more or less.





# Rezoning Request Site Photo

Abraham Mejia Jr.  
4020 West Sprague Street





**City of Edinburg**  
**PLANNING & ZONING COMMISSION**  
November 20, 2025

**COMPREHENSIVE PLAN AMENDMENT &**  
**REZONING REQUEST**

**AGENDA ITEM:**

Consider the Comprehensive Plan Amendment from Neighborhood Commercial and Auto-Urban Uses to General Commercial Uses and the Rezoning Request from Commercial, Neighborhood (CN) District to Commercial, General (CG) District, 5.000 acres out of Lot 27, Kelly-Pharr Subdivision, Volume 3, Pages 133-134, H.C.D.R., City Of Edinburg, Hidalgo County, Texas, Located at 1014 West Wisconsin Road, As Requested By Melden & Hunt, Inc.

**DESCRIPTION / SCOPE:**

This property is located on the south side of West Wisconsin Road, approximately 1,600 feet east of South Sugar Road. The property is currently zoned Commercial, Neighborhood (CN) District. This district provides small neighborhood shopping opportunities and services in areas that are largely residential in use. This property has a lot width of 165 feet and a lot depth of 1,320 feet for a total lot area of 5 acres. The requested zoning designation is the Commercial, General (CG) District. This is the primary commercial district, meant to accommodate a wide range of commercial uses, including highway service uses and community or regional commercial, office, and service uses. On March 3, 2009, this property was rezoned from Residential, Suburban (RS) District to Commercial, Neighborhood (CN) District. There is an existing business at this location and the applicant is requesting the zone change to establish a new commercial development.

Adjacent zoning is Residential, Suburban (RS) District to the north, Residential, Suburban (RS) and Commercial, Neighborhood (CN) District to the east, Residential, Suburban (RS) District to the south, and Commercial, Neighborhood (CN) District and Residential, Primary (RP) District to the west. Surrounding land consists of residential and commercial uses. The future land use designation for this property is for Commercial Neighborhood uses.

Staff mailed a notice of the public hearing to 50 neighboring property owners on Friday, October 31, 2025, and received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing was published in the newspaper on November 12, 2025.

On November 7, 2025, Planning staff met with City of Edinburg development departments to discuss the proposed rezoning. It was determined infrastructure in this area may support the proposed development.

**STAFF RECOMMENDATION:**

Staff recommends denial of the Comprehensive Plan Amendment from Neighborhood Commercial and Auto-Urban Uses to General Commercial Uses and the Rezoning Request from Commercial, Neighborhood (CN) District to Commercial, General (CG) District based on adjacent zoning districts and the Future Land Use. If approved, the applicant will need to comply with all

requirements during the permitting process including compliance with subdivision regulations, building/fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and other City requirements, as applicable.

Prepared by:

**Alejandra Gonzalez, MPA**  
Planner II

Reviewed by:

**Jaime Acevedo**  
Director of Planning and Zoning

**MEETING DATES:**  
**PLANNING & ZONING COMMISSION – 11/20/25**  
**CITY COUNCIL – 12/02/25**  
**DATE PREPARED – 11/05/25**

**STAFF REPORT**  
**GENERAL INFORMATION**

**APPLICATION:** Consider the Comprehensive Plan Amendment from Neighborhood Commercial and Auto-Urban Uses to General Commercial Uses and the Rezoning Request from Commercial, Neighborhood (CN) District to Commercial, General (CG) District

**APPLICANT:** Vida Development, LLC.

**AGENT:** Melden & Hunt

**LEGAL:** 5.000 acres out of Lot 27, Kelly-Pharr Subdivision, Volume 3, Pages 133-134, H.C.D.R., City Of Edinburg, Hidalgo County, Texas

**LOCATION:** 1014 West Wisconsin Road

**LOT/TRACT SIZE:** 5 acres

**CURRENT USE:** Commercial

**PROPOSED USE:** Commercial, General (CG) District

**EXISTING ZONING:** Commercial, Neighborhood (CN) District

**ADJACENT ZONING:** North – Residential, Suburban (RS) District  
South – Residential, Suburban (RS) District  
East – Residential, Suburban (RS) District and Commercial, Neighborhood (CN) District  
West – Commercial, Neighborhood (CN) District and Residential, Primary (RP) District

**LAND USE PLAN:** Neighborhood Commercial Uses

**PUBLIC SERVICES:** City of Edinburg Sewer and Water

**RECOMMENDATION:** Staff recommends denial of the Comprehensive Plan Amendment from Neighborhood Commercial and Auto-Urban Uses to General Commercial Uses and the Rezoning Request from Commercial, Neighborhood (CN) District to Commercial, General (CG) District

**REZONING REQUEST  
MELDEN & HUNT, INC.**

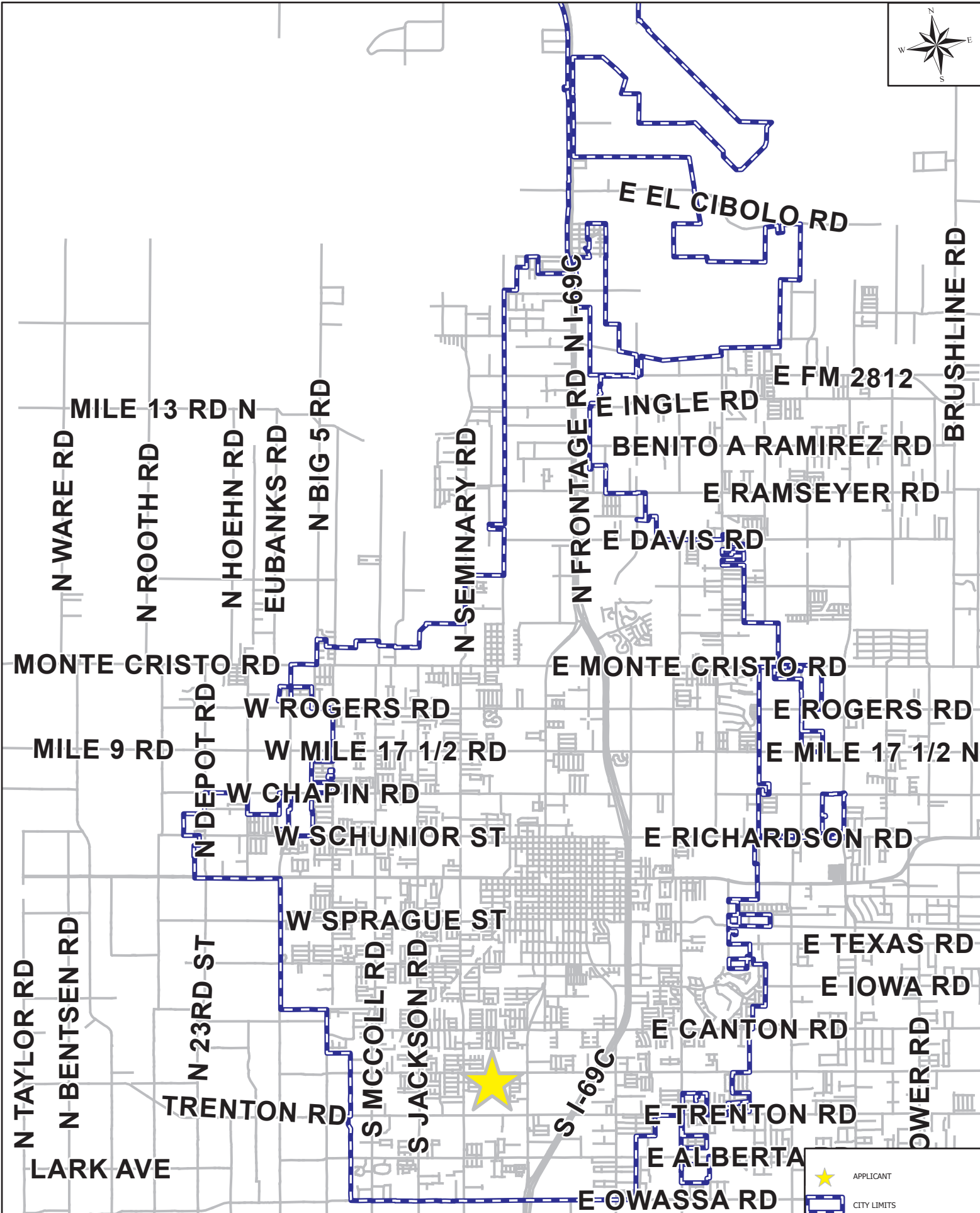
**EVALUATION**

The following is the staff's evaluation of the request:

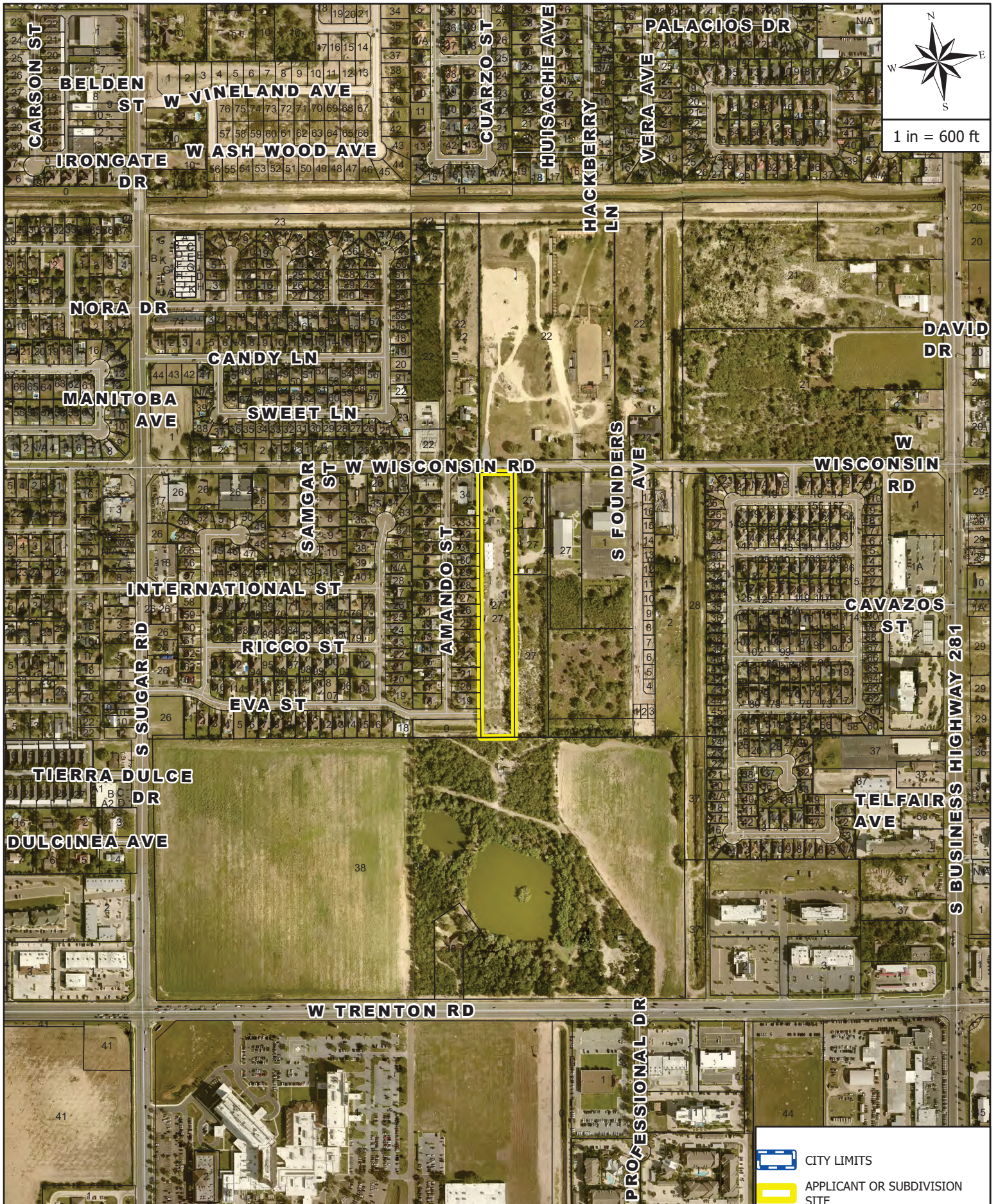
1. There is an existing business at this location.
2. Surrounding land consists of residential and commercial uses.
3. The proposed zoning is not consistent with the Future Land Use Plan.

Staff recommends denial of the Comprehensive Plan Amendment from Neighborhood Commercial and Auto-Urban Uses to General Commercial Uses and the Rezoning Request from Commercial, Neighborhood (CN) District to Commercial, General (CG) District based on adjacent zoning districts and the Future Land Use. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building/fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and other City requirements, as applicable.

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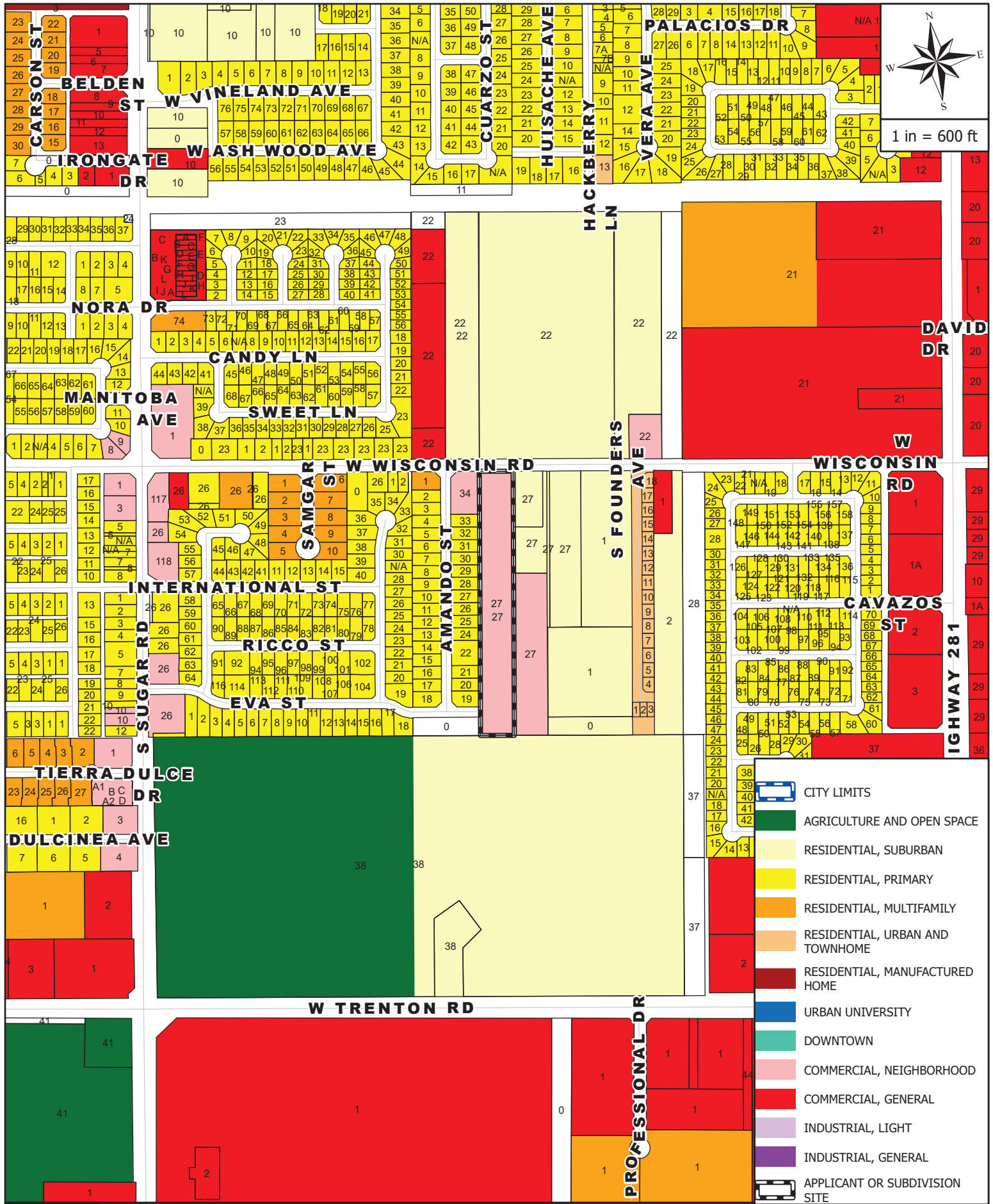
-  APPLICANT
-  CITY LIMITS



**AERIAL MAP**

**APPLICANT AND/OR SUBDIVISION:**

RZNE-2025-0307 1014 W WISCONSIN RD



1 in = 600 ft

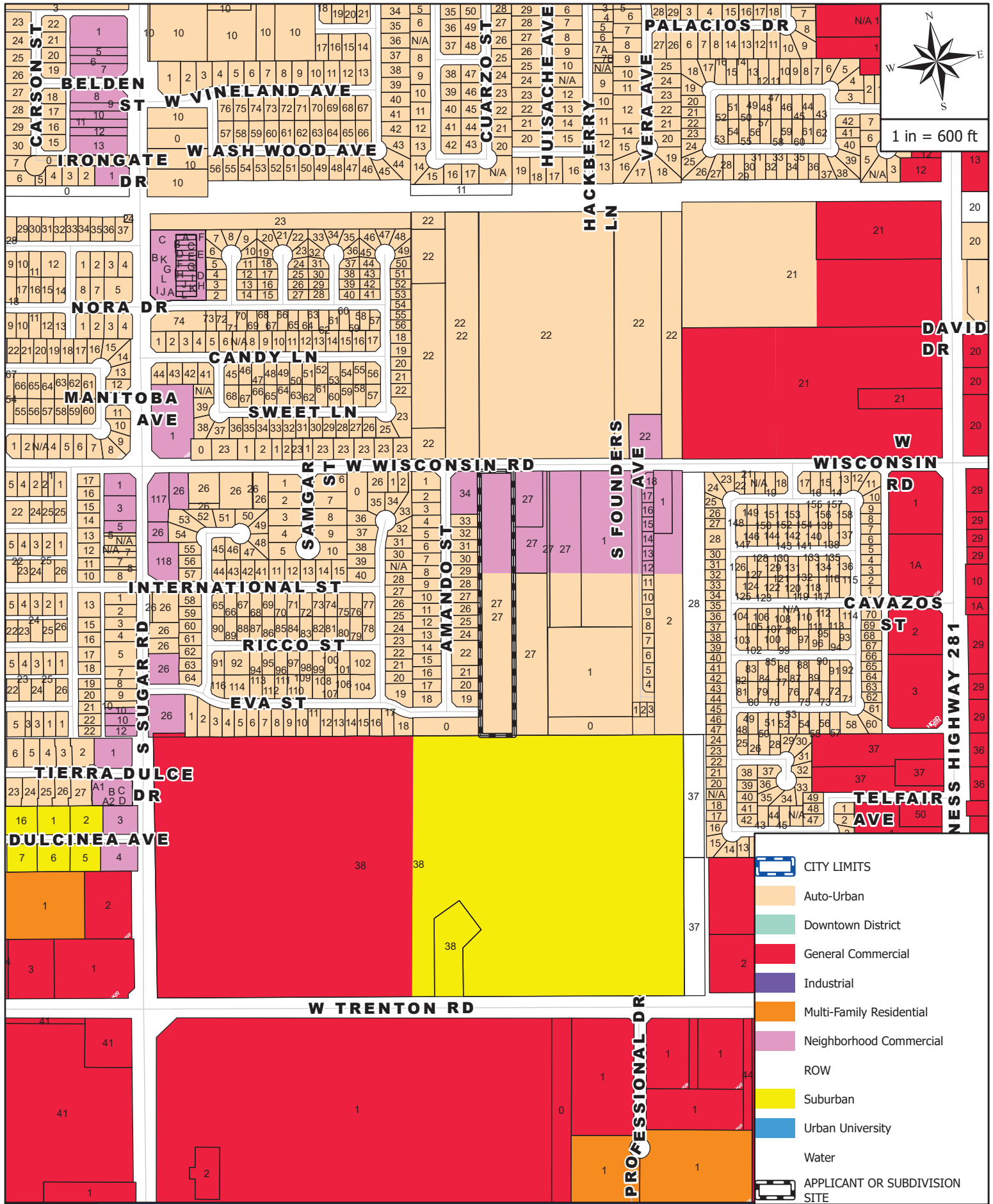


**ZONING MAP**

**APPLICANT AND/OR SUBDIVISION:**

RZNE-2025-0307 1014 W WISCONSIN RD



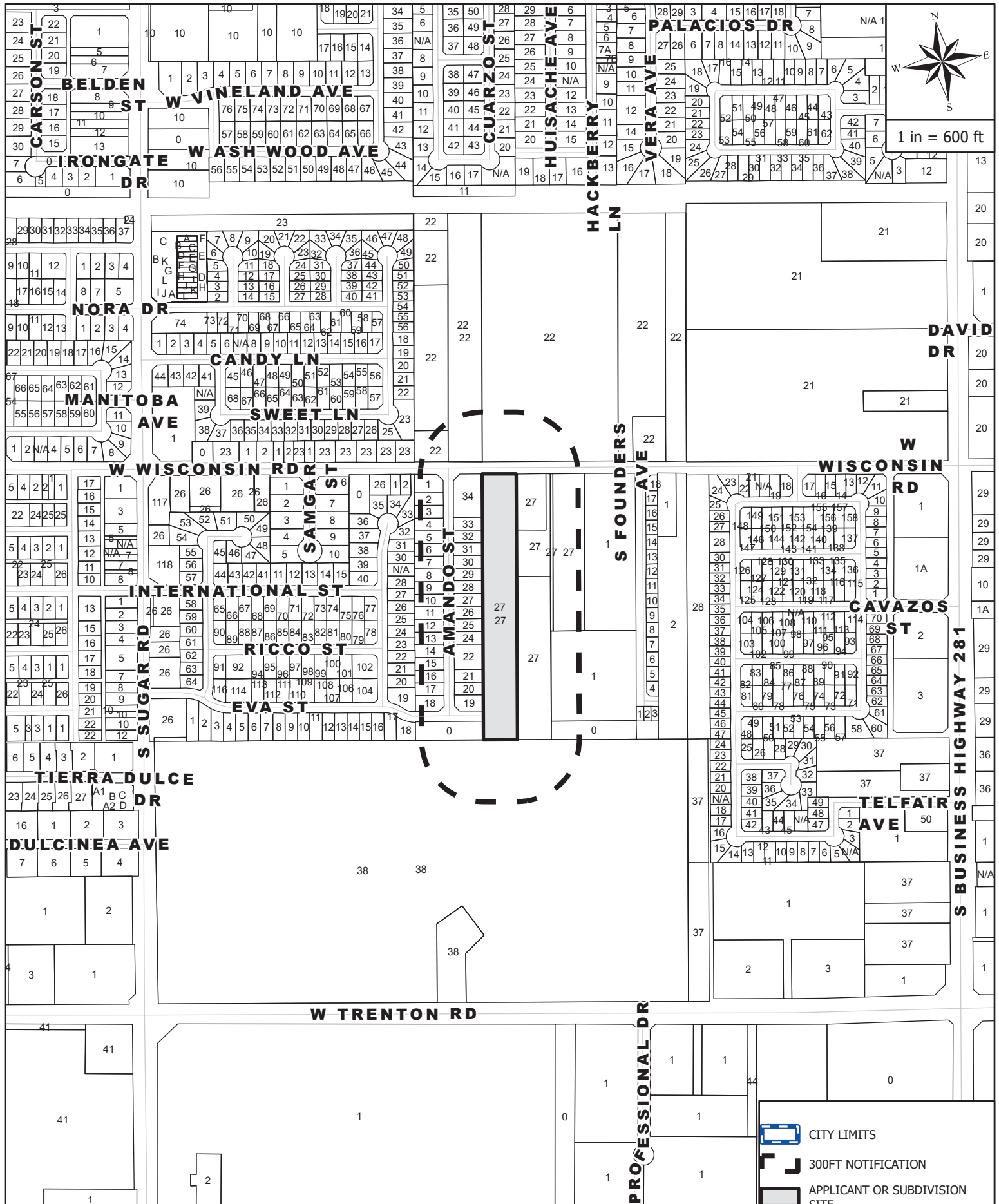


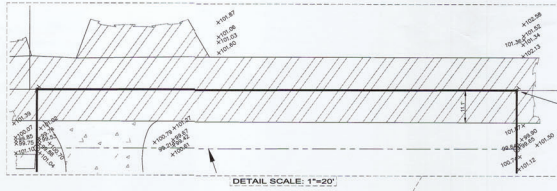
**FUTURE LANDUSE MAP**  
**APPLICANT AND/OR SUBDIVISION:**

RZNE-2025-0307 1014 W WISCONSIN RD



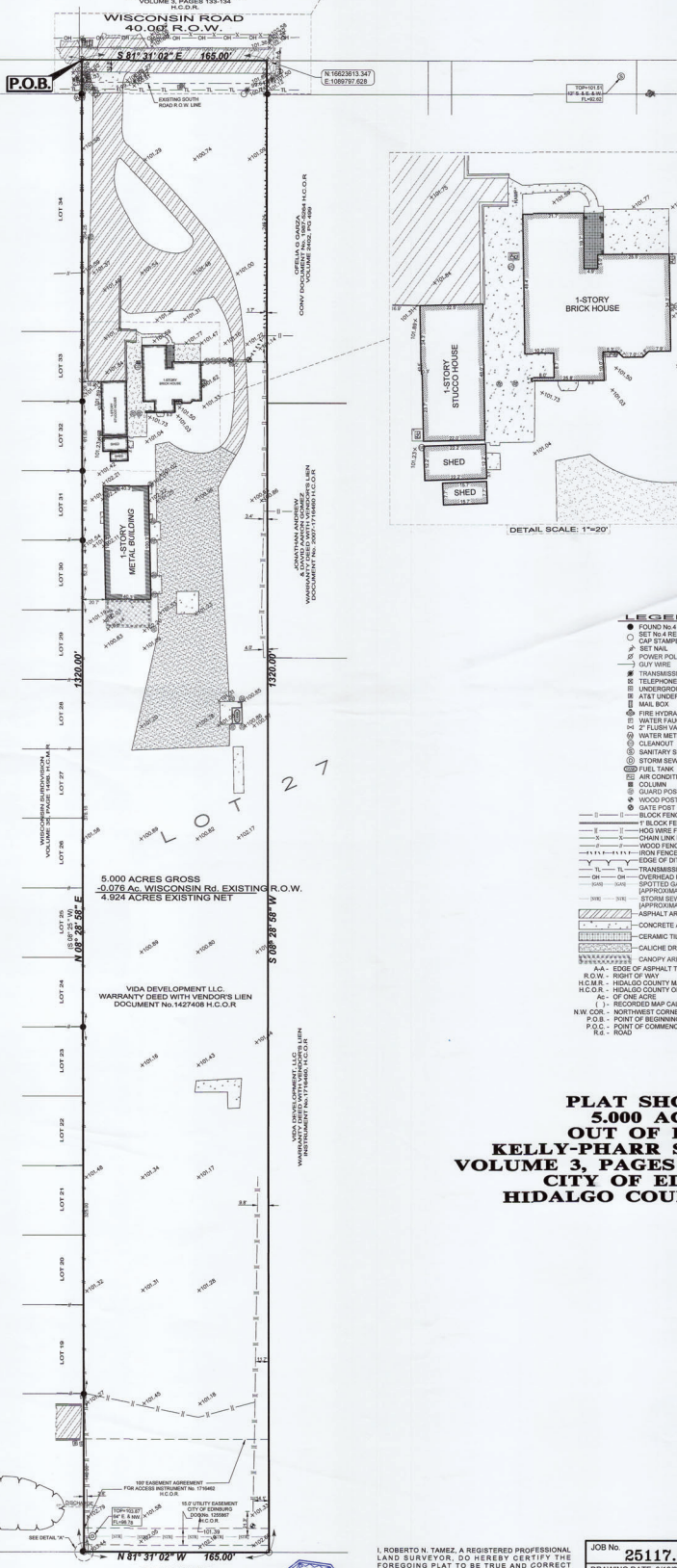
- CITY LIMITS
- Auto-Urban
- Downtown District
- General Commercial
- Industrial
- Multi-Family Residential
- Neighborhood Commercial
- ROW
- Suburban
- Urban University
- Water
- APPLICANT OR SUBDIVISION SITE



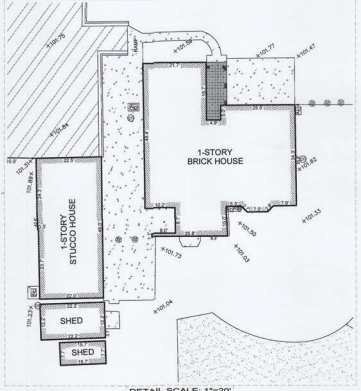


S 81° 31' 02" E  
330.00'

P.O.C.  
N.W. COR.  
LOT 27  
KELLY-PHARR  
SUBDIVISION



**FLOOD ZONE**  
**ZONE "B"**  
 AREAS BETWEEN LIMITS OF THE 100 YEAR FLOOD AND BETWEEN LIMITS OF THE 500 YEAR FLOOD ARE DESIGNATED AS FLOOD HAZARD AREAS AND ARE TO BE 100-YEAR FLOOD AND 500-YEAR FLOOD AREAS. THE DISTANCE FROM THE CENTERLINE OF THE CHANNEL TO THE FLOOD HAZARD AREA IS LESS THAN ONE EIGHTH (1/8) OF THE DISTANCE FROM THE CENTERLINE OF THE CHANNEL TO THE FLOOD HAZARD AREA.  
 COMPLETION NUMBER: 48334 042 C  
 MAP REVISION NOVEMBER 11, 1992



- LEGEND**
- FOUND REBAR
  - SET NO. 4 REBAR WITH PLASTIC
  - CAP STAMPED MELDEN & HUNT, INC
  - ▲ SET NAIL
  - ⊕ POWER POLE
  - GUY WIRE
  - TRANSMISSION POLE
  - ⊕ TELEPHONE PEDESTAL
  - ⊕ UNDERGROUND CABLE MARKER
  - ⊕ AT UNDERGROUND CABLE MARKER
  - ⊕ MAIL BOX
  - ⊕ FIRE HYDRANT
  - ⊕ WATER FACILE
  - ⊕ 2" FLUSH VALVE
  - ⊕ WATER METER
  - ⊕ CLEANOUT
  - ⊕ SANITARY SEWER MANHOLE
  - ⊕ STORM SEWER MANHOLE
  - ⊕ FUEL TANK
  - ⊕ AIR CONDITION UNIT
  - ⊕ COLUMN
  - ⊕ GUARD POST
  - ⊕ WOOD POST
  - ⊕ GATE POST
  - BLOCK FENCE
  - FLUCC FENCE
  - HOOD WIRE FENCE
  - CHAIN LINK FENCE
  - WOOD FENCE
  - IRON FENCE
  - EDGE OF DITCH TOP
  - TRANSMISSION LINE
  - OVERHEAD POWER LINE
  - SPOTTED GAS LINE
  - (APPROXIMATE) LOCATION
  - STORM SEWER LINE
  - (APPROXIMATE) LOCATION
  - ASPHALT AREA
  - CONCRETE AREA
  - CERAMIC TILE
  - CALCULUS DRIVEWAY
  - CANOPY AREA
  - A.A. - EDGE OF ASPHALT TO EDGE OF ASPHALT
  - R.O.W. - FRONT OF WALK
  - H.C.R. - HIDALGO COUNTY MAP RECORDS
  - H.C.D.R. - HIDALGO COUNTY OFFICIAL RECORDS
  - COLLECTIVE OF SURVEY RIGHT OF WAY, BUT SURVEYOR'S RECORD OF THIS PLAT THAT ADDITIONAL EASEMENTS MAY AFFECT THE TRACT
  - ( ) - RECORDED MAP CALLS
  - N.W. COR. - NORTHWEST CORNER
  - P.O.B. - POINT OF BEGINNING
  - P.O.C. - POINT OF COMMENCING
  - R.S. - ROAD

**PLAT SHOWING  
 5.000 ACRES  
 OUT OF LOT 27  
 KELLY-PHARR SUBDIVISION  
 VOLUME 3, PAGES 133-134, H.C.D.R.  
 CITY OF EDINBURG  
 HIDALGO COUNTY, TEXAS**

- NOTES**
1. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR
  2. BEARING BASIS IS FROM THE NAIL SET AT THE NORTHWEST CORNER AND THE NAIL SET AT THE NORTHWEST CORNER OF SAID TRACT
  3. ALL BEARINGS AND DISTANCES ARE PER TEXAS COORDINATE SYSTEM 80N-03N-03N-03N
  4. SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT WHICH MAY SHOW ADDITIONAL EASEMENTS AFFECTING THIS TRACT. THE SURVEYOR IS ADVISING THE RECORDS OF THIS PLAT THAT ADDITIONAL EASEMENTS MAY AFFECT THE TRACT
  5. ELEVATION DATUM PER NAVD83 (8000 3028)
  6. AS PER THE CITY OF EDINBURG THROGHWARE PLANS (REBUILT WOODROW ROAD) IS CARRIED AS AN EXTENSIVE COLLECTIVE OF SURVEY RIGHT OF WAY, BUT SURVEYOR FOUND IT TO BE 43.50 FEET TOTAL
  7. NO BUILDING SETBACKS SHOWN ON MAP OF 1840 (CITY RECORDS) BEING SET BACK 34 FEET PER CITY OF EDINBURG
  8. THERE IS A 20 FOOT EASEMENT AND RIGHT-OF-WAY IN FAVOR OF THE CITY OF EDINBURG TO THE 43.50 FEET EASEMENT IN VOLUME THE PAGE 334 HIDALGO COUNTY OFFICIAL RECORDS (BLANKED IN MAP, NOT FOOTNOTED)

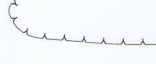
I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THE FOREGOING PLAT TO BE TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE ON THE GROUND ON 7/29/2025 UNDER MY DIRECTION AND SUPERVISION.

*Roberto N. Tamez*  
 ROBERTO N. TAMEZ, RPLS No. 6238 DATE: 7/29/2025



JOB No. **25117.08**  
 DRAWING DATE: 8/19/2025  
 DRAWN BY: J.C.J.R.C.  
 TITLE NAME: 25117.08  
 T-1256, PG. 84

REVISION	DATE	BY
<b>MELDEN &amp; HUNT, INC.</b>		
CONSULTANTS • ENGINEERS • SURVEYORS		
115 W. MOUNTYBEE - EDINBURG, TX 78641 PH: (505) 381-0981 • FAX: (505) 381-1836 ESTABLISHED 1947 • www.meldenandhunt.com		



6.000 ACRES GROSS  
 0.078 AC. WISCONSIN RD. EXISTING R.O.W.  
 4.924 ACRES EXISTING NET

VIDA DEVELOPMENT LLC  
 WARRANTY DEED WITH VENDOR'S LIEN  
 DOCUMENT NO. 1427408 H.C.D.R.

ELLEN J. KORSKA et al  
 GIFT DEED DOCUMENT NO. 2008-1863642  
 LOT 38 KELLY-PHARR SUBDIVISION  
 VOLUME 3, PAGES 133-134  
 H.C.D.R.



# Rezoning Request Site Photo

Melden & Hunt, Inc.  
1014 West Wisconsin Road







**City of Edinburg**  
**PLANNING & ZONING COMMISSION**  
November 20, 2025

**REZONING REQUEST**

**AGENDA ITEM:**

Consider the Rezoning Request from Residential, Primary (RP) District to Commercial, Neighborhood (CN) District, Lot 8, Primarosa Estates Unit 2 Subdivision, Located at 3606 West Monte Cristo Road, As Requested By Jose Antelmo and Anita M. Valdez

**DESCRIPTION / SCOPE:**

This property is located on the southwest intersection of West Monte Cristo Road and North Mon Mack Road. The property is currently zoned Residential, Primary (RP) District. The requested zoning is the Commercial, Neighborhood (CN) District. This district provides small neighborhood shopping opportunities and services in areas that are largely residential in use. This property has a lot width of 35 feet and a total lot area of approximately 14,000 square feet. The lot is currently vacant and the applicant is requesting the zone change to establish a new food truck park at this location.

Adjacent zoning is Agriculture and Open Space (AO) District to the north and east, Residential, Primary (RP) District to the south, and Commercial, Neighborhood (CN) District to the west. Surrounding land consists of residential and commercial uses. The future land use designation for this property is for Neighborhood Commercial uses.

Staff mailed a notice of the public hearing to 26 neighboring property owners on Friday, October 31, 2025, and received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing was published in the newspaper on November 12, 2025.

On November 7, 2025, Planning staff met with City of Edinburg development departments to discuss the proposed rezoning. It was determined infrastructure in this area may support the proposed development.

**STAFF RECOMMENDATION:**

Staff recommends approval of the Rezoning Request from Residential, Primary (RP) District to Commercial, Neighborhood (CN) District based on adjacent zoning districts and the Future Land Use. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building/fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and other City requirements, as applicable.

Prepared by:  
**Alejandra Gonzalez, MPA**  
Planner II

Reviewed by:  
**Jaime Acevedo**  
Director of Planning and Zoning

**MEETING DATES:**  
**PLANNING & ZONING COMMISSION – 11/20/25**  
**CITY COUNCIL – 12/02/25**  
**DATE PREPARED – 11/05/25**

**STAFF REPORT**  
**GENERAL INFORMATION**

**APPLICATION:** Consider the Rezoning Request from Residential, Primary (RP) District to Commercial, Neighborhood (CN) District

**APPLICANT:** Jose Antelmo and Anita M. Valdez

**AGENT:** Not Applicable

**LEGAL:** Lot 8, Primarosa Estates Unit 2 Subdivision

**LOCATION:** 3606 West Monte Cristo Road

**LOT/TRACT SIZE:** Approximately 14,000 square feet

**CURRENT USE:** Vacant land

**PROPOSED USE:** Commercial, Neighborhood (CN) District

**EXISTING ZONING:** Residential, Primary (RP) District

**ADJACENT ZONING:** North – Agriculture and Open Space (AO) District  
South – Residential, Primary (RP) District  
East – Agriculture and Open Space (AO) District  
West – Commercial, Neighborhood (CN) District

**LAND USE PLAN:** Neighborhood Commercial Uses

**PUBLIC SERVICES:** City of Edinburg Sewer and Sharyland Water Supply Corporation  
Water

**RECOMMENDATION:** Staff recommends approval of the Rezoning Request from Residential, Primary (RP) District to Commercial, Neighborhood (CN) District

**REZONING REQUEST  
JOSE ANTELMO AND ANITA M. VALDEZ**

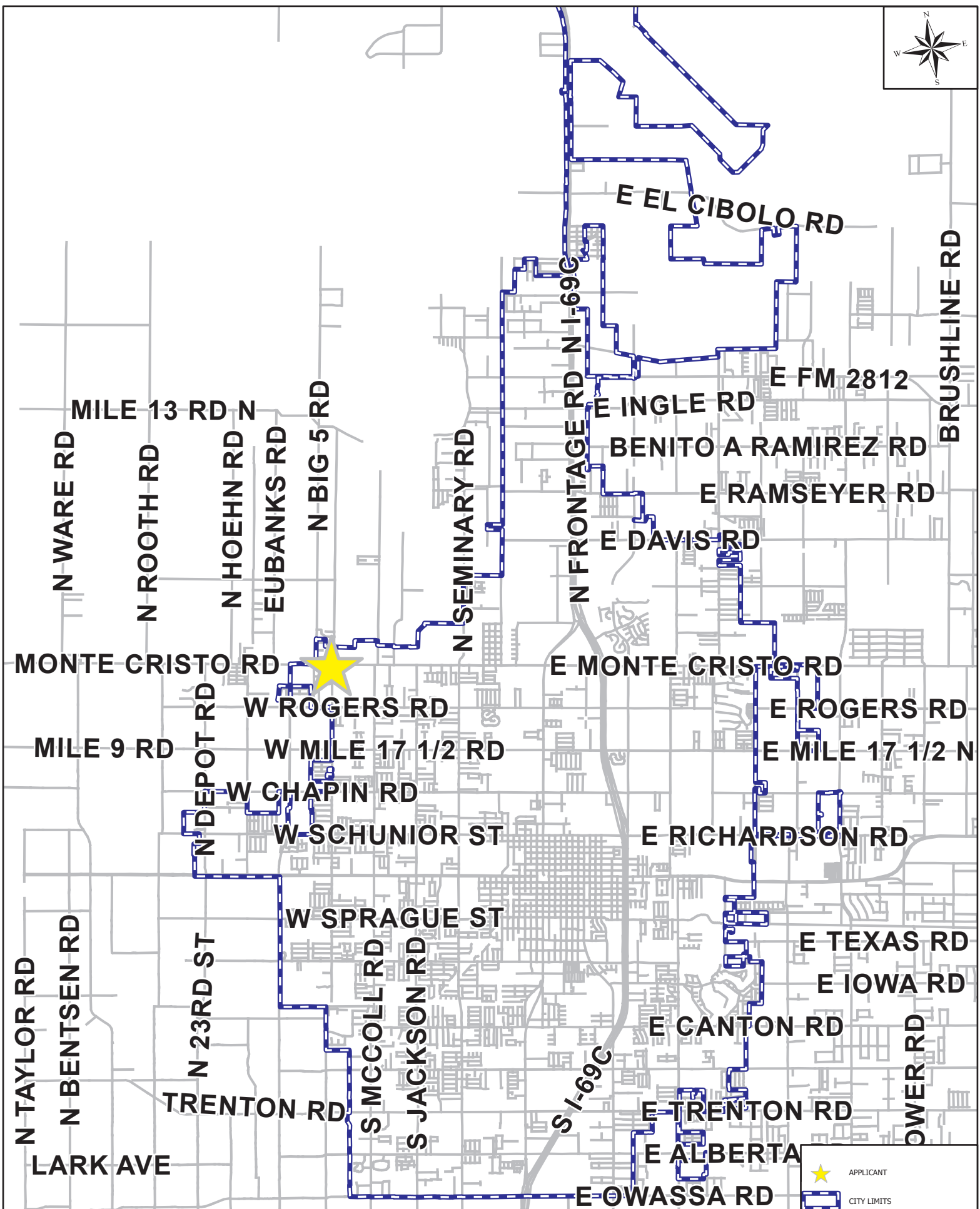
**EVALUATION**

The following is the staff's evaluation of the request:

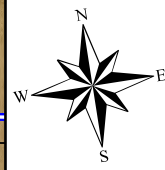
1. The land is currently vacant.
2. Surrounding land consists of residential and commercial uses.
3. The proposed zoning is consistent with the Future Land Use Plan.

Staff recommends approval of the Rezoning Request from Residential, Primary (RP) District to Commercial, Neighborhood (CN) District based on adjacent zoning districts and the Future Land Use. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building/fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and other City requirements, as applicable.

Staff mailed a notice of the public hearing to 26 neighboring property owners on Friday, October 31, 2025, and received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing was published in the newspaper on November 12, 2025.





★ APPLICANT  
 [Dashed Blue Line] CITY LIMITS



1 in = 300 ft



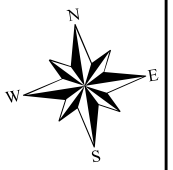
 CITY LIMITS

 APPLICANT OR SUBDIVISION SITE

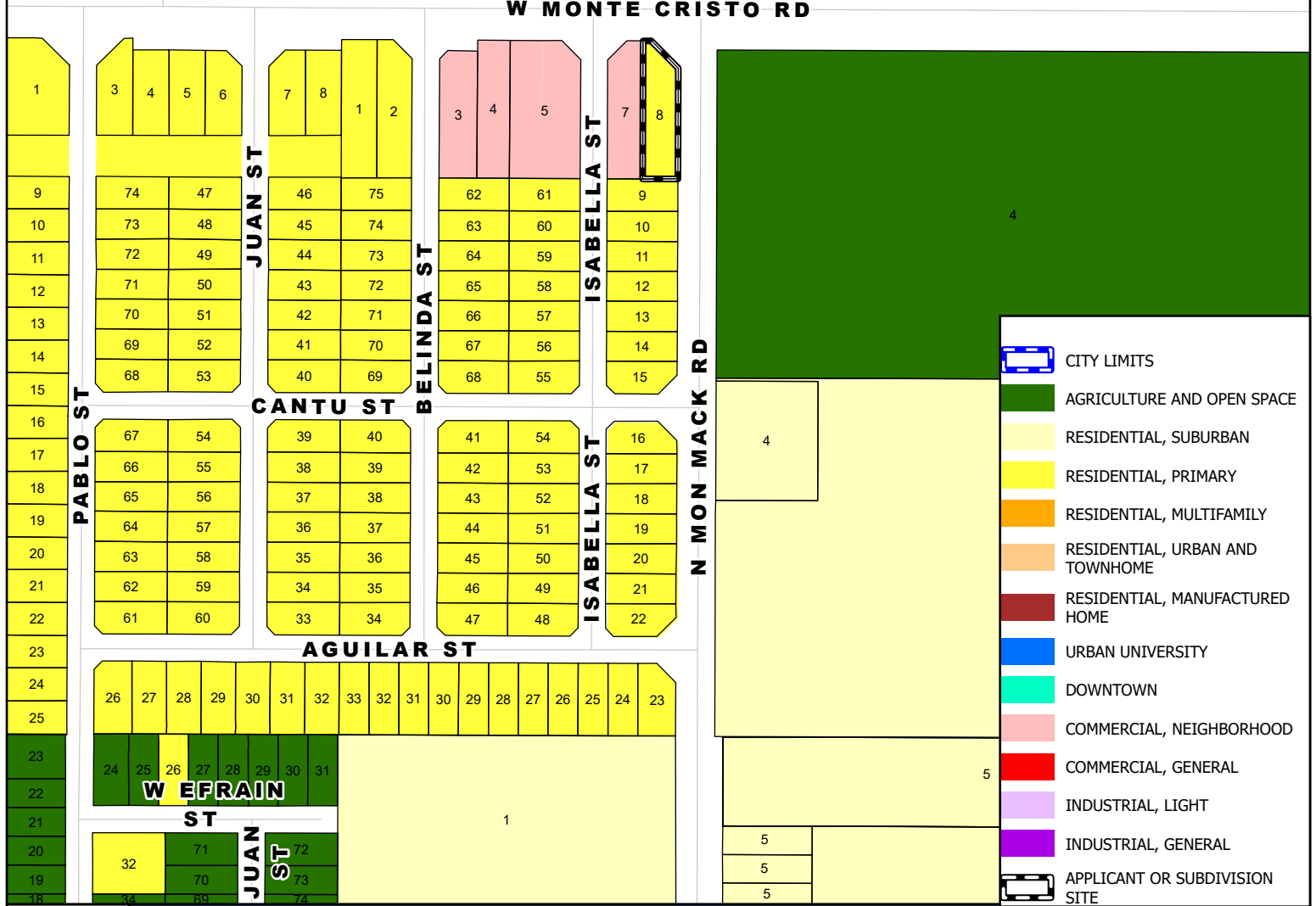
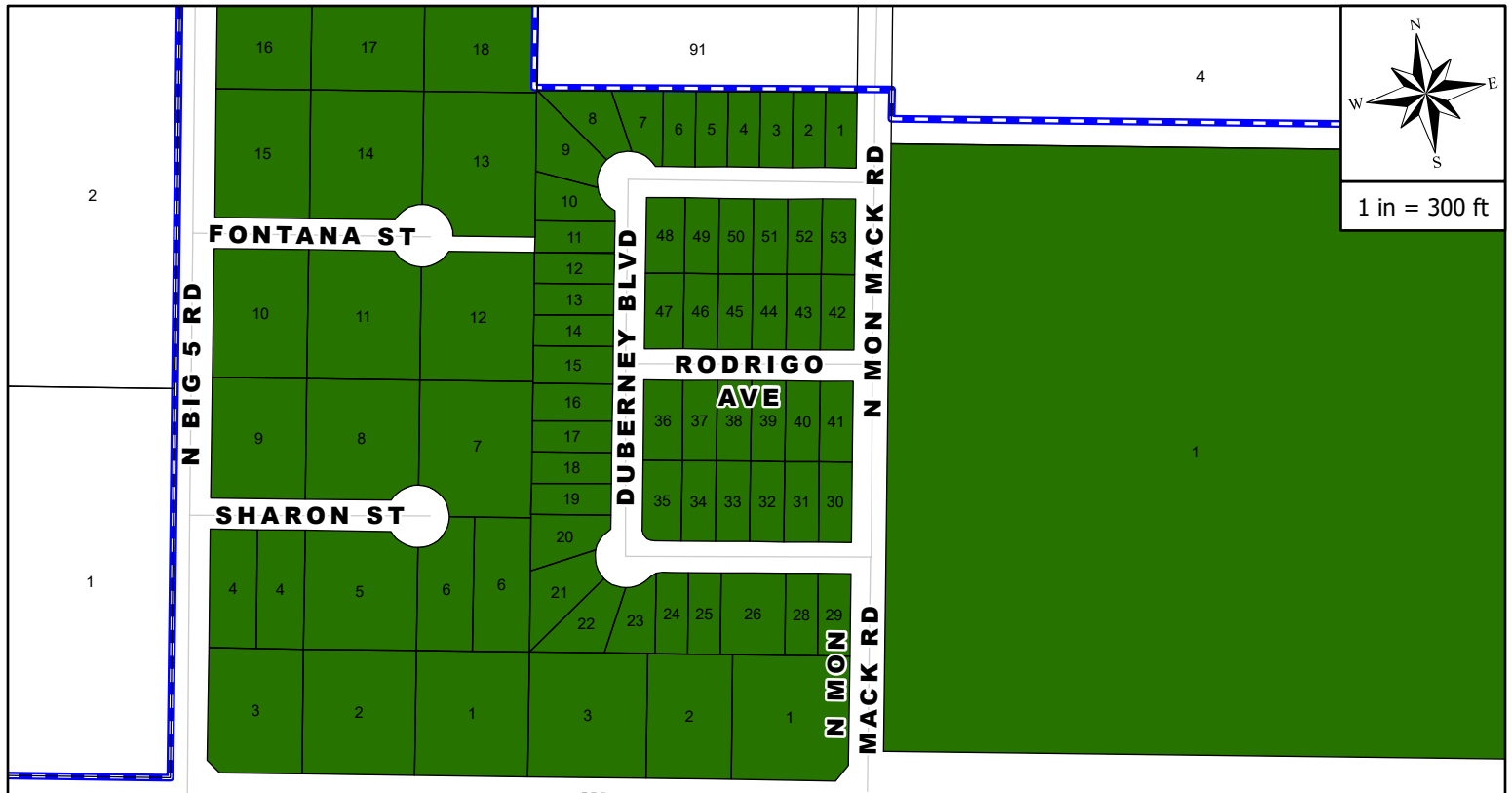
















**AERIAL MAP**  
**APPLICANT AND/OR SUBDIVISION:**

RZNE-2025-0308 3606 W MONTE CRISTO RD



1 in = 300 ft

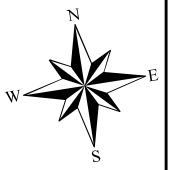


-  CITY LIMITS
-  AGRICULTURE AND OPEN SPACE
-  RESIDENTIAL, SUBURBAN
-  RESIDENTIAL, PRIMARY
-  RESIDENTIAL, MULTIFAMILY
-  RESIDENTIAL, URBAN AND TOWNHOME
-  RESIDENTIAL, MANUFACTURED HOME
-  URBAN UNIVERSITY
-  DOWNTOWN
-  COMMERCIAL, NEIGHBORHOOD
-  COMMERCIAL, GENERAL
-  INDUSTRIAL, LIGHT
-  INDUSTRIAL, GENERAL
-  APPLICANT OR SUBDIVISION SITE

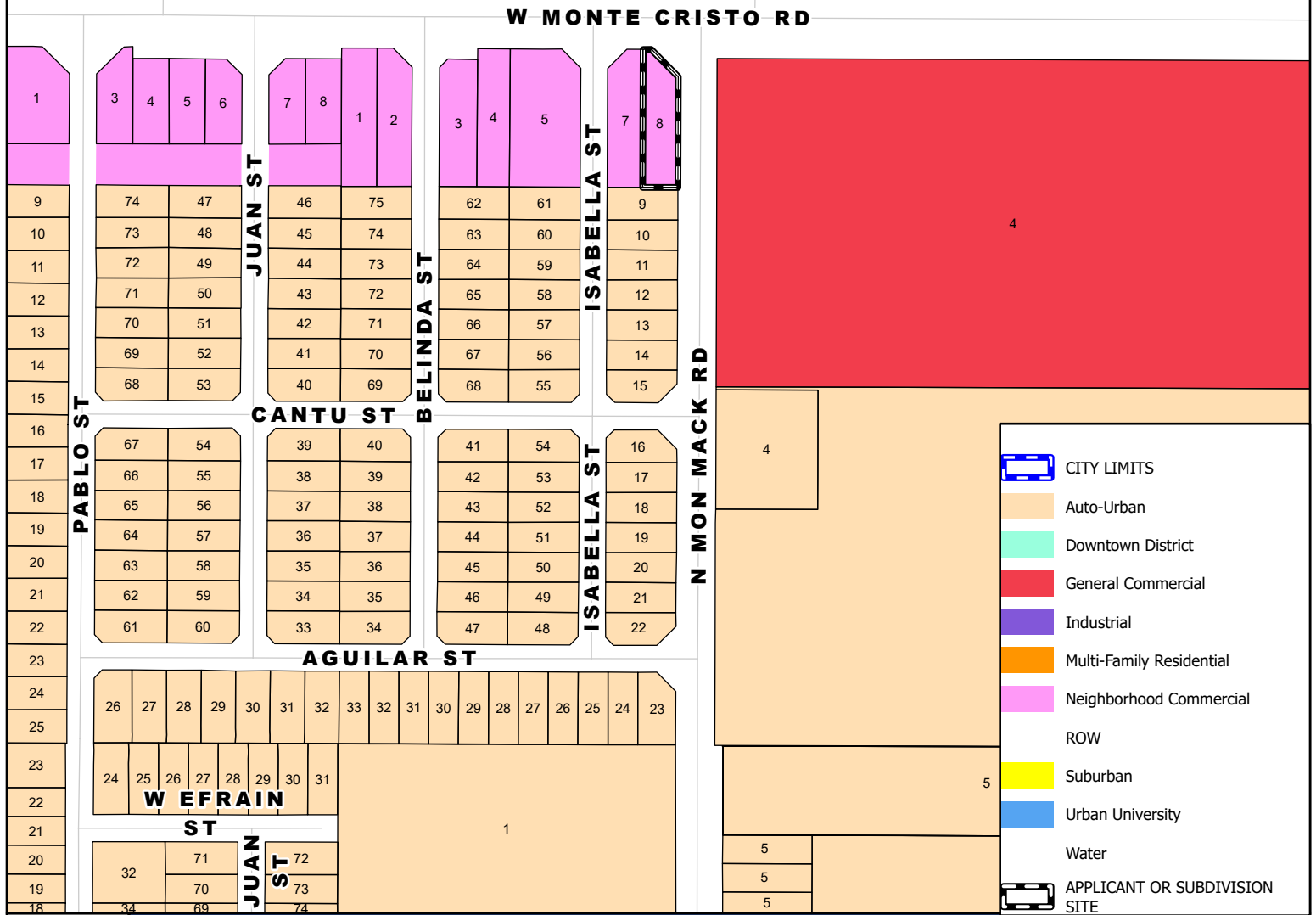
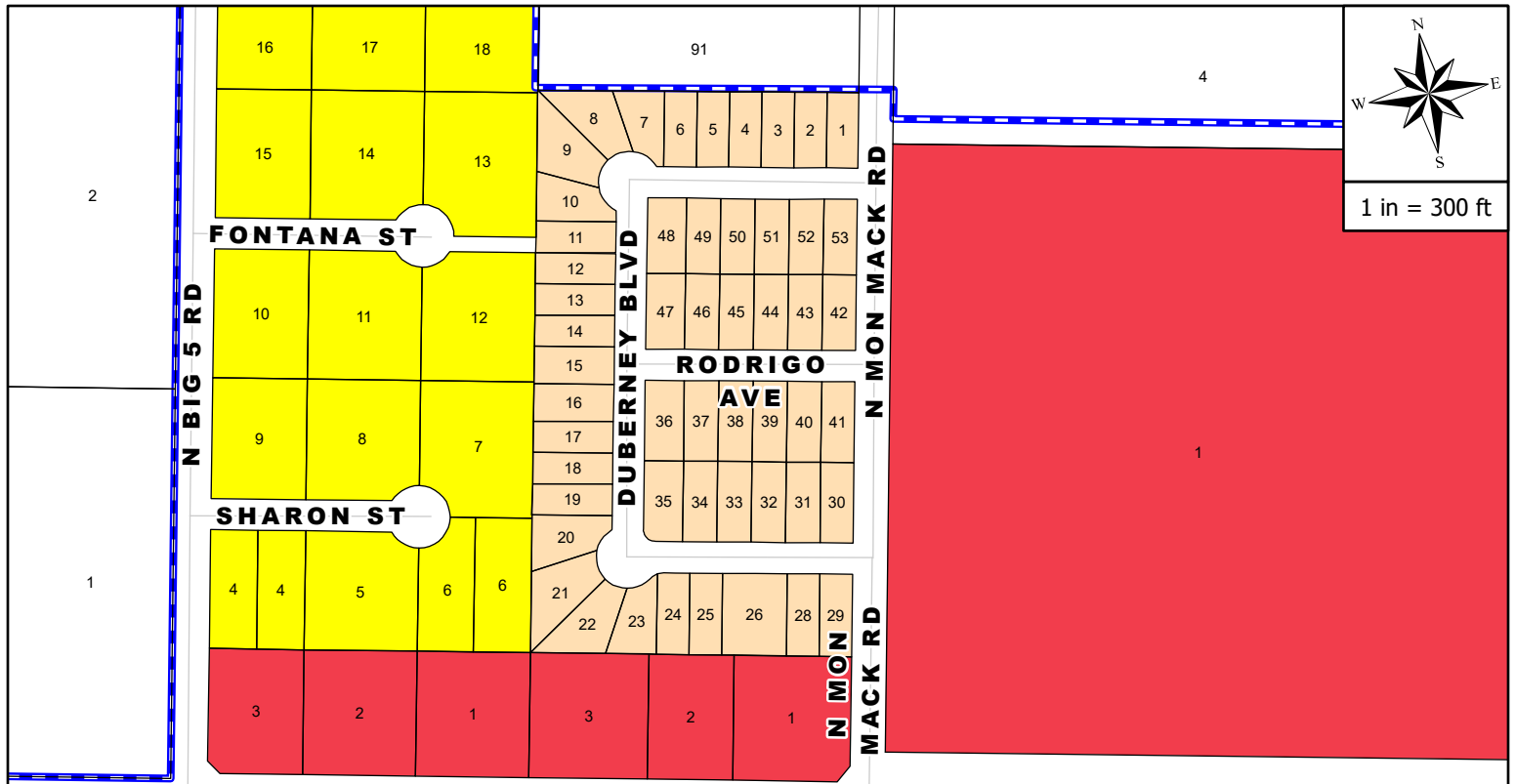


**ZONING MAP**  
**APPLICANT AND/OR SUBDIVISION:**

RZNE-2025-0308 3606 W MONTE CRISTO RD



1 in = 300 ft



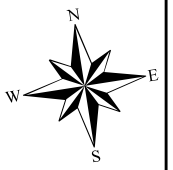
**LEGEND**

- CITY LIMITS
- Auto-Urban
- Downtown District
- General Commercial
- Industrial
- Multi-Family Residential
- Neighborhood Commercial
- ROW
- Suburban
- Urban University
- Water
- APPLICANT OR SUBDIVISION SITE

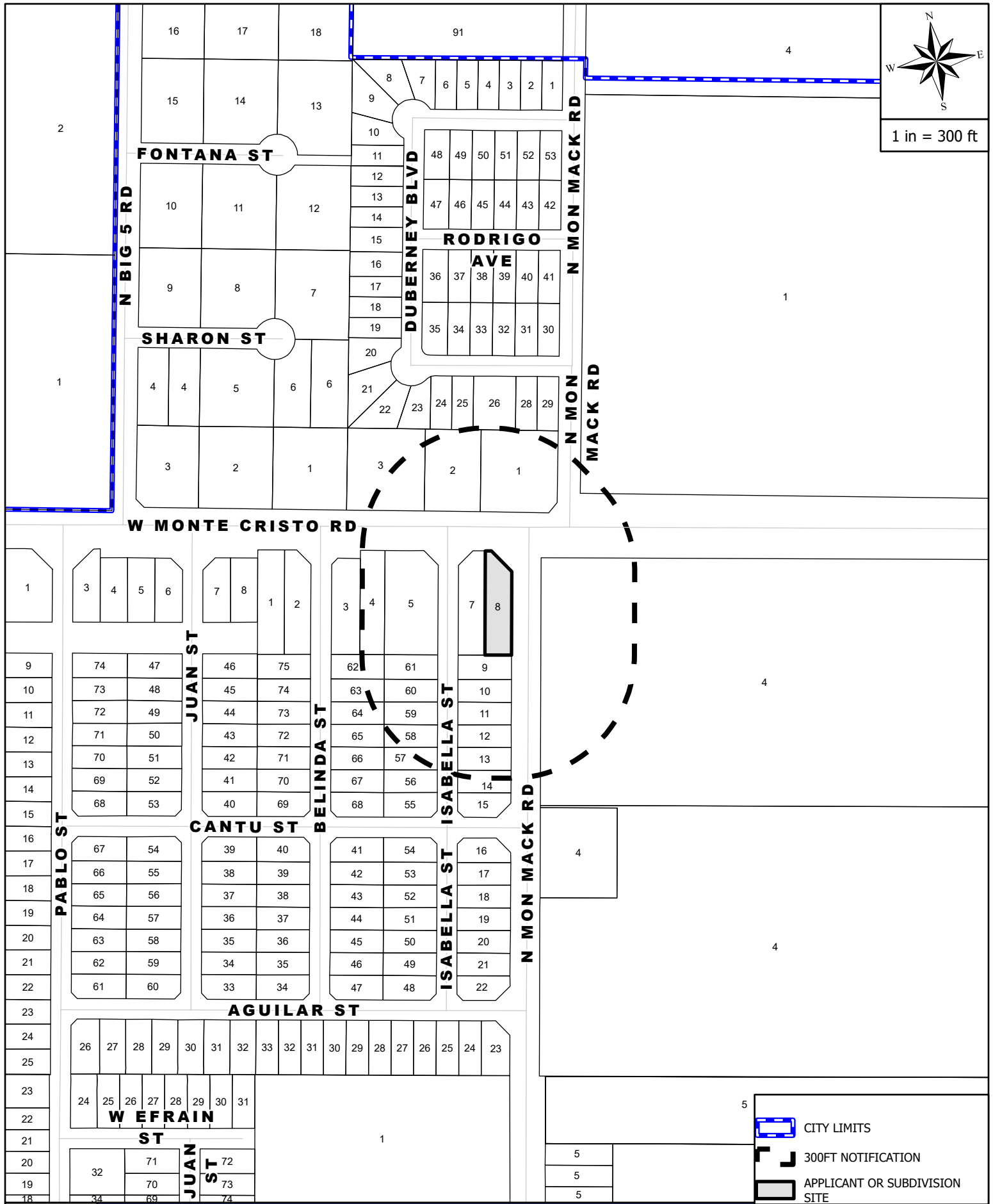





**FUTURE LANDUSE MAP**  
**APPLICANT AND/OR SUBDIVISION:**

RZNE-2025-0308 3606 W MONTE CRISTO RD



1 in = 300 ft

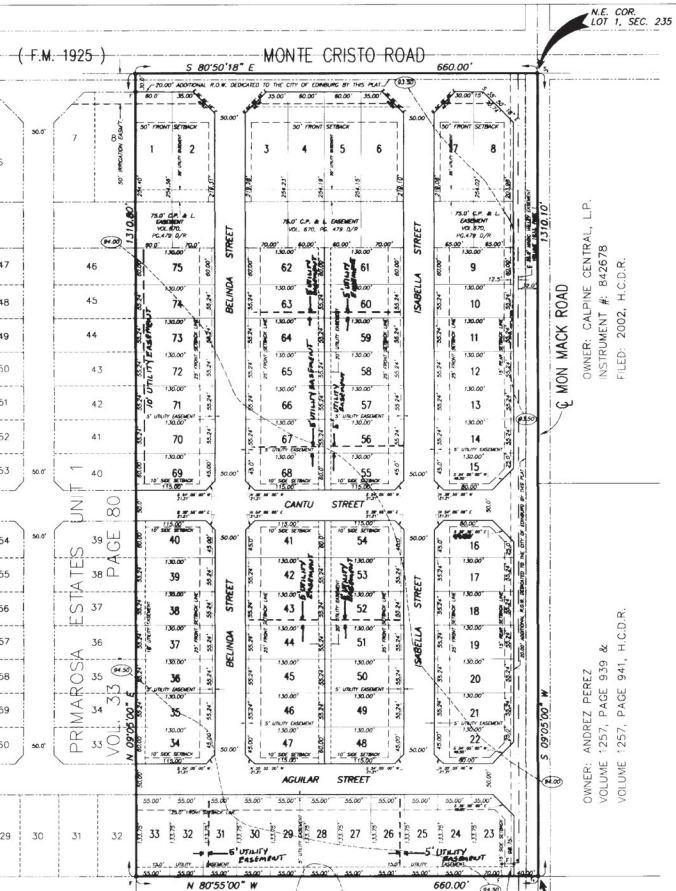


-  CITY LIMITS
-  300FT NOTIFICATION
-  APPLICANT OR SUBDIVISION SITE



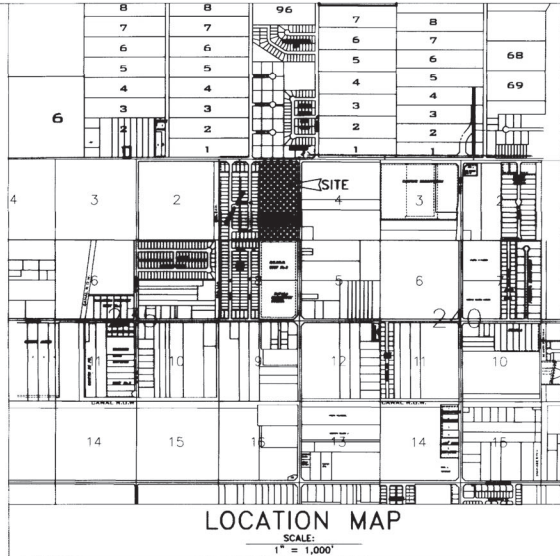
**MAILOUT AND SITE MAP**  
**APPLICANT AND/OR SUBDIVISION:**

RZNE-2025-0308 3606 W MONTE CRISTO RD



**LEGEND:**  
 F - FOUND 1/2" x 18" IRON ROD  
 P - FOUND 60¢ PENNY NAIL  
 S - SET 1/2" x 18" IRON ROD  
 S - SET C.P.S. (COTTON PICKER SPINDLE)

FROM FLOOD INSURANCE RATE MAP  
 COMMUNITY PANEL NUMBER ANDISO 0015 E  
 MAP REVISED AUGUST 17, 2001  
 THIS AREA IS IN FLOOD ZONE "X" (SHADED)  
 AREAS OF 500-YEAR FLOOD, AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS OF LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM THE 500-YEAR FLOOD.



- NOTES:**
- MINIMUM BUILDING SETBACKS SHALL BE AS FOLLOWS:  
 FRONT: 25.00 FEET  
 SIDE: 7.00 FEET  
 SIDE (CORNER): 10.00 FEET  
 SIDE (CORNER): 18.00 FEET FOR GARAGE STRUCTURES  
 REAR: 20% OF LOT DEPTH OR 40.0 FEET, WHICHEVER IS LESS.
  - MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB AT CENTER OF EACH LOT.
  - EACH LOT SHALL DETAIN 350.00 CUBIC FEET OF STORM FLOW WITH A MAXIMUM DISCHARGE RATE OF 0.10 CFS. RETENTION SHALL BE ACHIEVED THROUGH THE USE OF PROPERLY GRADED LOTS.
  - ALL CORNERS ARE MARKED WITH 1/2" x 18" IRON RODS UNLESS OTHERWISE SHOWN.
  - LOTS 1, 4 & 5 SHALL HAVE ACCESS ONTO FM 1925 (MONTE CRISTO ROAD).
  - LOTS 2, 3, 6, 7 & 8 SHALL NOT HAVE ACCESS ONTO FM 1925 (MONTE CRISTO ROAD).
  - ONE SINGLE FAMILY RESIDENTIAL DWELLING SHALL BE PERMITTED ON EACH LOT.
  - LOTS 9 THRU 23 SHALL NOT HAVE ACCESS ONTO MON MACK ROAD.
  - NO BUILDING SHALL BE CONSTRUCTED OVER ANY EASEMENT OR LOT LINE.
  - 50% OF PARKLAND FEE SHALL BE DUE AT THE BUILDING PERMIT STAGE.
  - ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN.
  - BENCHMARK: A 60 PENNY NAIL SET IN A POWER POLE IN THE SOUTHEAST CORNER OF THE SUBDIVISION.  
 ELEVATION: 95.16  
 DATUM: NAD 1983

THE STATE OF TEXAS  
 COUNTY OF HIDALGO  
 FLETCHER - GROUP JOINT VENTURE, AS THE UNDERSIGNED OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE PRIMAROSA ESTATES UNIT 2, ADDITION TO THE CITY OF EDINBURG, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE OF CONSIDERATION THEREIN EXPRESSED.

*Pat Fletcher*  
 PAT FLETCHER, SECRETARY - TREASURER  
 FLETCHER - GROUP JOINT VENTURE  
 219 S. GAGE  
 PHARR, TEXAS 78577

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day appeared PAT FLETCHER, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 9th day of February, 2005.  
*Mansel Cantu*  
 Mansel Cantu  
 Notary Public in and for Hidalgo County, Texas



THE STATE OF TEXAS  
 COUNTY OF HIDALGO  
 I, RAUL E. GARCIA, REGISTERED PROFESSIONAL ENGINEER AND REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND, AND FURTHER CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

*Raul E. Garcia*  
 RAUL E. GARCIA  
 4204  
 REGISTERED PROFESSIONAL ENGINEER # 64790  
 REGISTERED PROFESSIONAL LAND SURVEYOR # 1204



APPROVAL BY EDINBURG PLANNING & ZONING COMMISSION:  
 I, THE UNDERSIGNED, CHAIRPERSON OF PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

*[Signature]*  
 CHAIRPERSON  
 PLANNING AND ZONING COMMISSION

12-08-98  
 DATE

APPROVAL BY HIDALGO COUNTY DRAINAGE DISTRICT  
 HIDALGO COUNTY DRAINAGE DISTRICT NO. 1, HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.21(c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1  
 BY: *[Signature]*

APPROVAL BY HIDALGO COUNTY IRRIGATION DISTRICT #1  
 THIS PLAT APPROVED BY HIDALGO COUNTY IRRIGATION DISTRICT NO. 1, ON THIS 9th DAY OF February A.D. 2005.

HIDALGO COUNTY IRRIGATION DISTRICT NO. ONE WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO PLAT LOTS UNLESS THE DISTRICT HAS REVIEWED AND APPROVED THESE PLANS. THERE WILL NOT BE ANY PERMANENT STRUCTURES ON THE DISTRICT RIGHT-OF-WAYS AND/OR REASSEMBLERS.

NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON HOCD #1 RIGHT-OF-WAYS OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE HOCD #1.  
*William J. [Signature]*  
 PRESIDENT

**METES AND BOUNDS DESCRIPTION FOR A 19.85 ACRE TRACT**

A 19.85 acre tract of land being the east 660.00 feet of Lot 1, Section 235, Texas-Mexican Railway Company's Survey, as recorded in Volume 1, Page 12, Map Records, Hidalgo County, Texas and being more fully described by metes and bounds as follows:

- BEGINNING a point within FM 1925 (Monte Cristo Road) being the northeast corner of said Lot 1, Section 235, for the northeast corner of herein described tract.
- THENCE S 09° 05' 00" W 1310.10 feet along the east line of said Lot 1, Section 235 also being the centerline of Mon Mack Road to a point being the southeast corner of said Lot 1, Section 235 for the southwest corner of herein described tract.
- THENCE N 80° 55' 00" W along the south line of said Lot 1, Section 235, pass at 20.00 feet a point being the west Right-of-Way (R.O.W.) line of said Mon Mack Road and continuing for a total distance of 680.00 feet to a found one-half inch iron rod being the southeast corner of Primarosa Estates Subdivision as recorded in Volume 33, Page 80, Map Records, Hidalgo County, Texas for the southwest corner of herein described tract.
- THENCE N 09° 05' 00" E along the east line of said Primarosa Estates Subdivision, pass at 1300.80 feet a set one-half inch iron rod being the south R.O.W. line of FM 1925 (Monte Cristo Road) and continuing for a total distance of 1310.80 feet to a point on the north line of said Lot 1, Section 235 for the northwest corner of herein described tract.
- THENCE S 80° 50' 18" E 660.00 feet along the north line of said Lot 1, Section 235 within the FM 1925 (Monte Cristo Road) R.O.W. to the point of beginning and containing 19.85 acres of land more or less.

Recorded in Volume 11, Page 68 of the map records of Hidalgo County, Texas  
 J.D. Seelins III  
 County Clerk

BAR SUBD. UNIT No. 6 VOL. 24, PAGE 126

E.C.I.S.D. UNIT No. 2 VOLUME 38, PAGE 145,

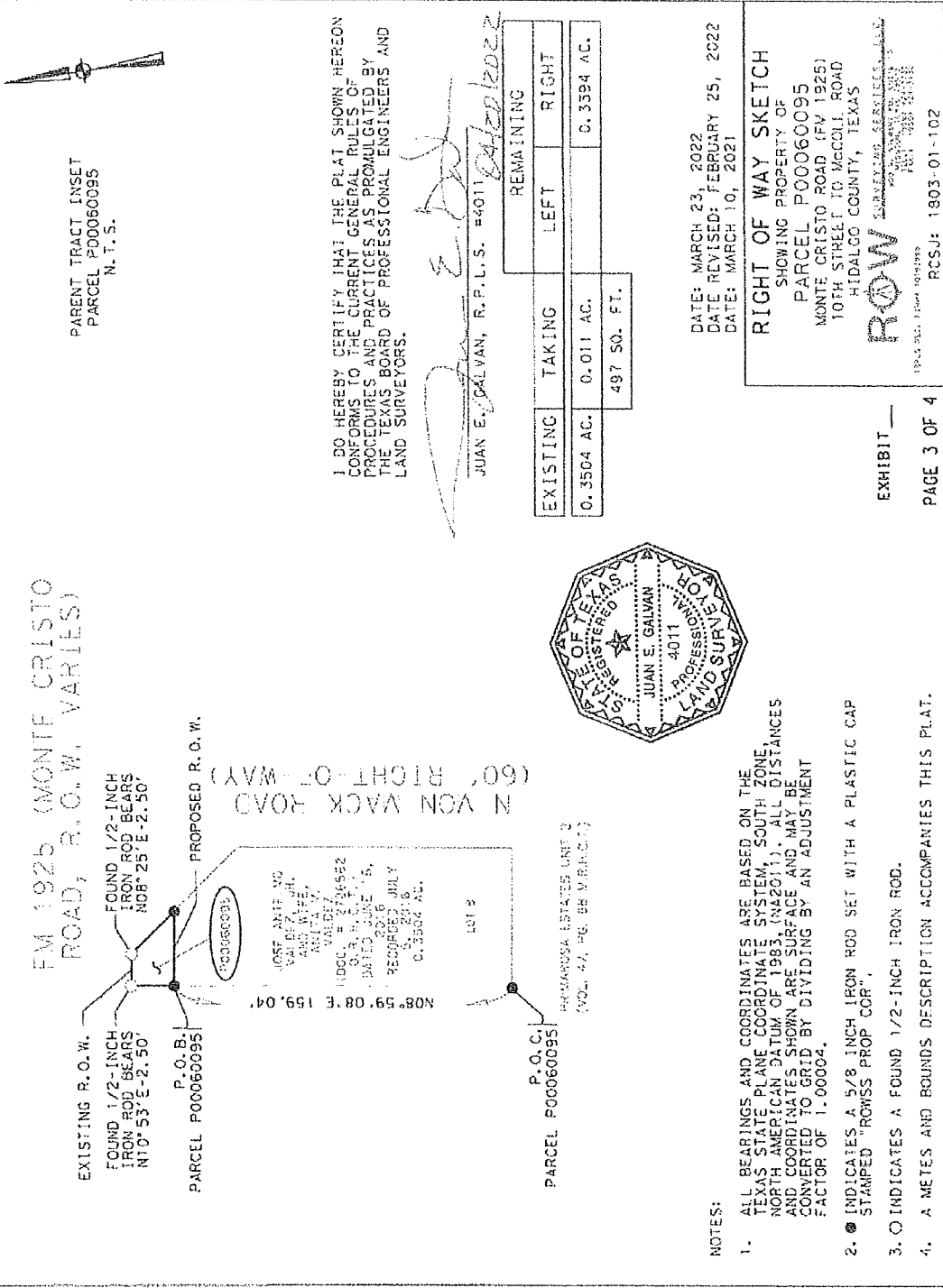
# MAP OF PRIMAROSA ESTATES UNIT 2 SUBDIVISION

A 19.85 ACRE TRACT OF LAND BEING THE EAST 660.00 FEET OF LOT 1, SECTION 235, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS, AS RECORDED IN VOLUME 1, PAGE 12, MAP RECORDS, HIDALGO COUNTY, TEXAS.

DATE: NOVEMBER 16, 2004

SCALE: 1" = 100'

PREPARED BY: R.E. GARCIA & ASSOCIATES  
 444 HENRI-VORN AVENUE, EDINBURG, TEXAS 78022 PHONE (409) 281-1000 FAX 281-1000



PARENT TRACT INSET  
PARCEL P00060095  
N.T.S.

FM 1925 (MONTE CRISTO ROAD, R.O.W. VARIES)

EXISTING R.O.W.  
FOUND 1/2-INCH IRON ROD BEARS  
N10° 53' E - 2.50'

P.O.B.  
PARCEL P00060095

PROPOSED R.O.W.  
(60' RIGHT-OF-WAY)  
N VON WACK ROAD

FOUND 1/2-INCH IRON ROD BEARS  
N08° 25' E - 2.50'

PARCEL P00060095

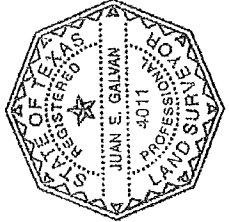
LOT #

N08° 59' 08" E 159.04'

JOSE ANGELO GONZALEZ JR. AND WIFE, ANITA V. VALDEZ, O.B. # 3746522, D.B. # 10211, DATED JUNE 17, 1959, P. 10, JULY 25, 1959, P. 10, 0.3504 AC.

P.O.C.  
PARCEL P00060095

HARRISSA ESTATES UNIT 2  
(VOL. 47, PG. 88 V.B.H.C.)



I DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON CONFORMS TO THE CURRENT GENERAL RULES OF PROCEDURES AND PRACTICES AS PROMULGATED BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

JUAN E. GALVAN, R.P.L.S. #4011

EXISTING	TAKING	LEFT	RIGHT	REMAINING
0.3504 AC.	0.011 AC.		0.3594 AC.	
	497 SQ. FT.			

DATE: MARCH 23, 2022  
DATE REVISED: FEBRUARY 25, 2022  
DATE: MARCH 10, 2021

**RIGHT OF WAY SKETCH**

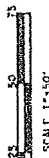
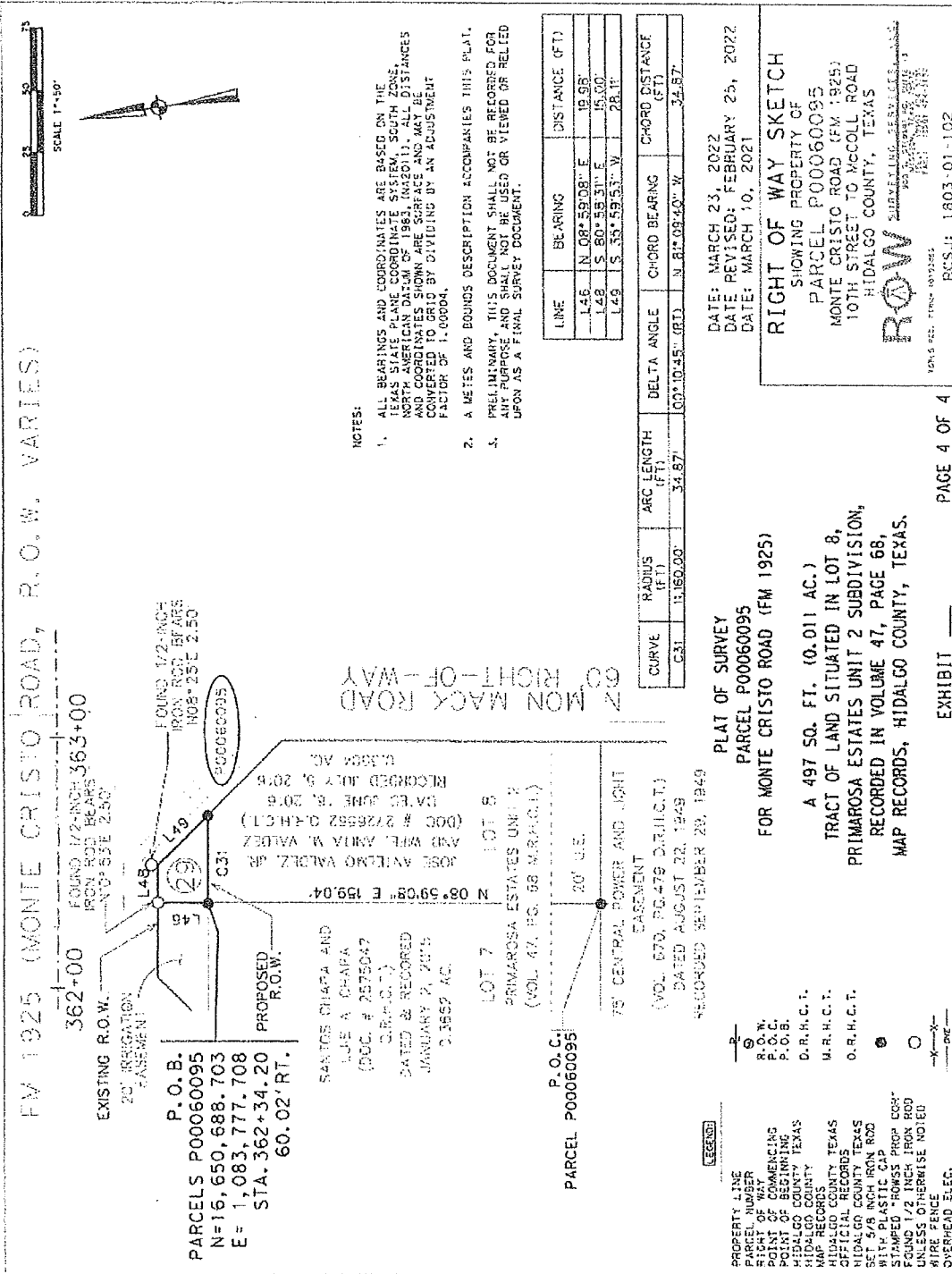
SHOWING PROPERTY OF  
PARCEL P00060095  
MONTE CRISTO ROAD (FM 1925)  
10TH STREET TO MCCOLL ROAD  
HIDALGO COUNTY, TEXAS

**ROW**

1954 ACT, § 104B, 104B-1959  
REGISTERED PROFESSIONAL LAND SURVEYOR  
JUAN E. GALVAN  
NO. 4011

RCSJ: 1803-01-102

- NOTES:
- ALL BEARINGS AND COORDINATES ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD2011). ALL DISTANCES AND COORDINATES SHOWN ARE SURFACE AND MAY BE CONVERTED TO GRID BY DIVIDING BY AN ADJUSTMENT FACTOR OF 1.00004.
  - INDICATES A 5/8 INCH IRON ROD SET WITH A PLASTIC CAP STAMPED "ROWSS PROP COR".
  - O INDICATES A FOUND 1/2-INCH IRON ROD.
  - A METES AND BOUNDS DESCRIPTION ACCOMPANIES THIS PLAT.



- NOTES:
- ALL BEARINGS AND COORDINATES ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD2011). ALL DISTANCES AND COORDINATES SHOWN ARE SURFACE AND MAY BE CONVERTED TO GRID BY DIVIDING BY AN ADJUSTMENT FACTOR OF 1.00004.
  - A METES AND BOUNDS DESCRIPTION ACCOMPANIES THIS PLAT.
  - PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

LINE	BEARING	DISTANCE (FT)
L45	N 08° 59' 08" E	10.95'
L46	S 80° 59' 31" E	15.00'
L49	S 33° 59' 53" W	28.11'

CURVE	RADIUS (FT)	ARC LENGTH (FT)	DELTA ANGLE	CHORD BEARING	CHORD DISTANCE (FT)
C31	11,160.00'	34.87'	00° 10' 45" (RT)	N 81° 09' 40" W	34.87'

DATE: MARCH 23, 2022  
DATE REVISED: FEBRUARY 25, 2022  
DATE: MARCH 10, 2021

**RIGHT OF WAY SKETCH**

SHOWING PROPERTY OF  
PARCEL P00060095  
MONTE CRISTO ROAD (FM 1925)  
10TH STREET TO MCCOLL ROAD  
HIDALGO COUNTY, TEXAS

**ROW**  
SURVEILLING SERVICES  
1000 WEST 15TH STREET, SUITE 100  
DALLAS, TEXAS 75201  
TEL: 972.382.1111

THIS IS A FINAL SURVEY DOCUMENT  
RCSJ: 1803-01-102

PROPERTY LINE  
PARCEL NUMBER  
RIGHT OF WAY  
POINT OF COMMENCING  
POINT OF BEGINNING  
HIDALGO COUNTY  
MAP RECORDS  
HIDALGO COUNTY TEXAS  
OFFICIAL RECORDS  
HIDALGO COUNTY TEXAS  
BETWEEN 10TH STREET AND  
STAMPED "ROWS" PROP COR'  
FOUND 1/2 INCH IRON ROD  
UNLESS OTHERWISE NOTED  
MIRE FENCE  
OVERHEAD ELEC.

LEGEND

— P — PROPERTY LINE  
— R — RIGHT OF WAY  
— C — POINT OF COMMENCING  
— B — POINT OF BEGINNING  
— H — HIDALGO COUNTY  
— M — MAP RECORDS  
— T — HIDALGO COUNTY TEXAS  
— O — OFFICIAL RECORDS  
— S — HIDALGO COUNTY TEXAS  
— B — BETWEEN 10TH STREET AND  
— STAMPED "ROWS" PROP COR'  
— FOUND 1/2 INCH IRON ROD  
— UNLESS OTHERWISE NOTED  
— MIRE FENCE  
— OVERHEAD ELEC.



# Rezoning Request Site Photo

Jose Antelmo and Anita M. Valdez  
3606 West Monte Cristo Road





**City of Edinburg**  
**PLANNING & ZONING COMMISSION**  
November 20, 2025

**REZONING REQUEST**

**AGENDA ITEM:**

Consider the Rezoning Request from Agriculture and Open Space (AO) District to Residential, Primary (RP) District, All Of Lot 26, Trenton Manor Subdivision, Located at 1919 Wayne Drive, As Requested By Rolando Ramirez

**DESCRIPTION / SCOPE:**

This property is located on the north side of Wayne Drive, approximately 500 feet south of East Trenton Road. The property is currently zoned Agriculture and Open Space (AO) District, which is intended to support agriculture and agriculture-supported uses as the primary use of land. On March 17, 2015, this property was annexed into the city limits of Edinburg, thus the Agriculture and Open Space (AO) District designation. This property has a lot width of 94 feet and a lot depth of 130 feet for a total lot area of 12,220 square feet. The requested zoning designation is the Residential, Primary (RP) District, which is intended to create residential neighborhoods, characterized tree-lined streets and buildings covering a larger percentage of the lots, beginning to create a sense of enclosure. There is an existing home at this location and the applicant is requesting the zone change to make an addition to the lot.

Adjacent zoning is Agriculture and Open Space (AO) District in all directions. Surrounding land consists of residential uses. The future land use designation for this property is for Auto Urban Uses.

Staff mailed a notice of the public hearing to 32 neighboring property owners on Friday, October 31, 2025, and received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing was published in the newspaper on November 12, 2025.

On November 7, 2025, Planning staff met with City of Edinburg development departments to discuss the proposed rezoning. It was determined infrastructure in this area may support the proposed development.

**STAFF RECOMMENDATION:**

Staff recommends approval of the Rezoning Request from Agriculture and Open Space (AO) District to Residential, Primary (RP) District based on the Future Land Use and surrounding land uses. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building/fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and other City requirements, as applicable.

Prepared by:

**Alejandra Gonzalez, MPA**  
Planner II

Reviewed by:

**Jaime Acevedo**  
Director of Planning and Zoning

**MEETING DATES:**  
**PLANNING & ZONING COMMISSION – 11/20/25**  
**CITY COUNCIL – 12/02/25**  
**DATE PREPARED – 11/05/25**

**STAFF REPORT**  
**GENERAL INFORMATION**

**APPLICATION:** Consider the Rezoning Request from Agriculture and Open Space (AO) District to Residential, Primary (RP) District

**APPLICANT:** Rolando Ramirez

**AGENT:** Not applicable

**LEGAL:** All Of Lot 26, Trenton Manor Subdivision

**LOCATION:** 1919 Wayne Drive

**LOT/TRACT SIZE:** 12,220 square feet

**CURRENT USE:** Residential

**PROPOSED USE:** Residential, Primary (RP) District

**EXISTING ZONING:** Agriculture and Open Space (AO) District

**ADJACENT ZONING:** North – Agriculture and Open Space (AO) District  
South – Agriculture and Open Space (AO) District  
East – Agriculture and Open Space (AO) District  
West – Agriculture and Open Space (AO) District

**LAND USE PLAN:** Auto Urban Uses

**PUBLIC SERVICES:** City of Edinburg Sewer and North Alamo Water Supply Corporation  
Water

**RECOMMENDATION:** Staff recommends approval of the Rezoning Request from Agriculture and Open Space (AO) District to Residential, Primary (RP) District

**REZONING REQUEST  
ROLANDO RAMIREZ**

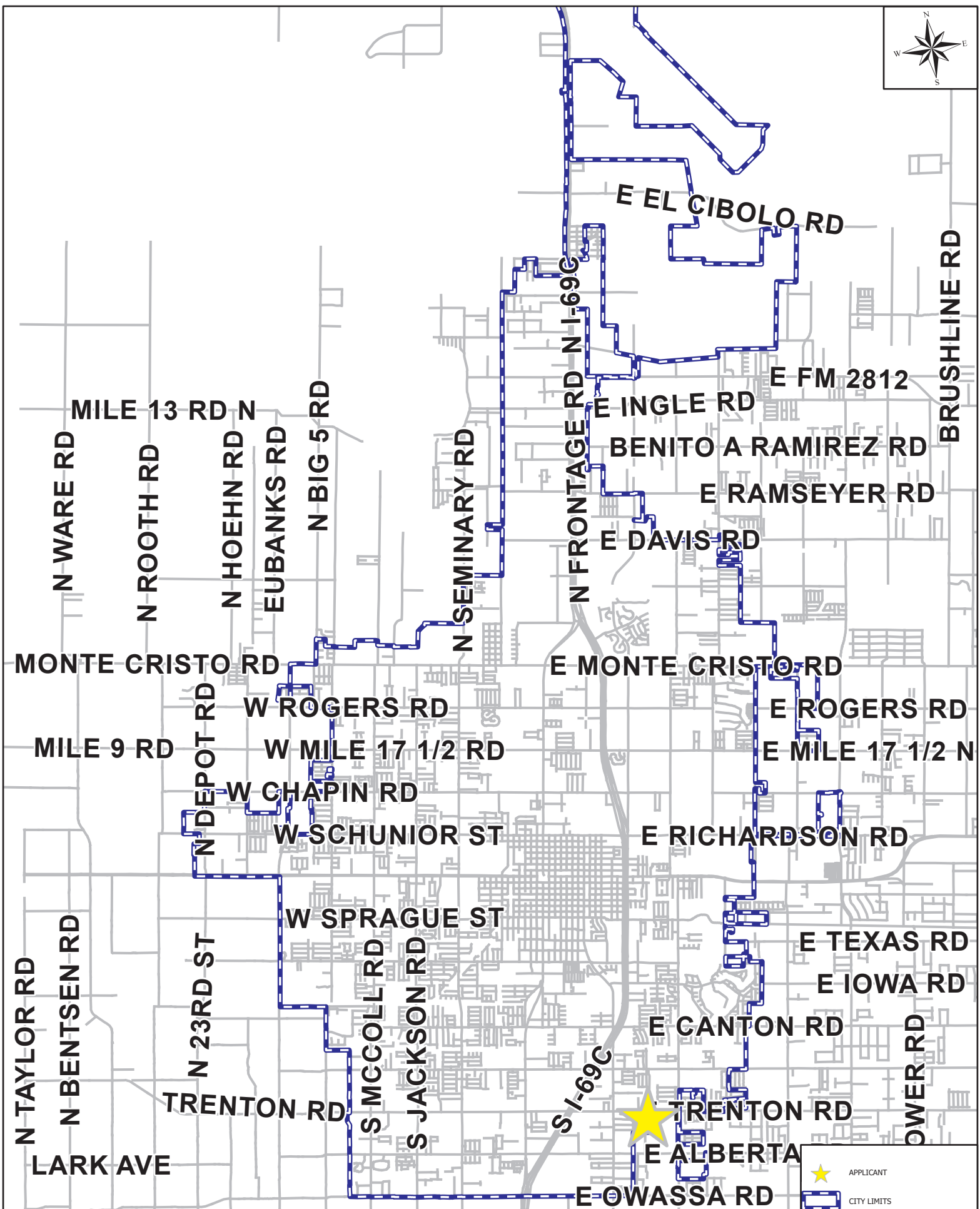
**EVALUATION**

The following is the staff's evaluation of the request:

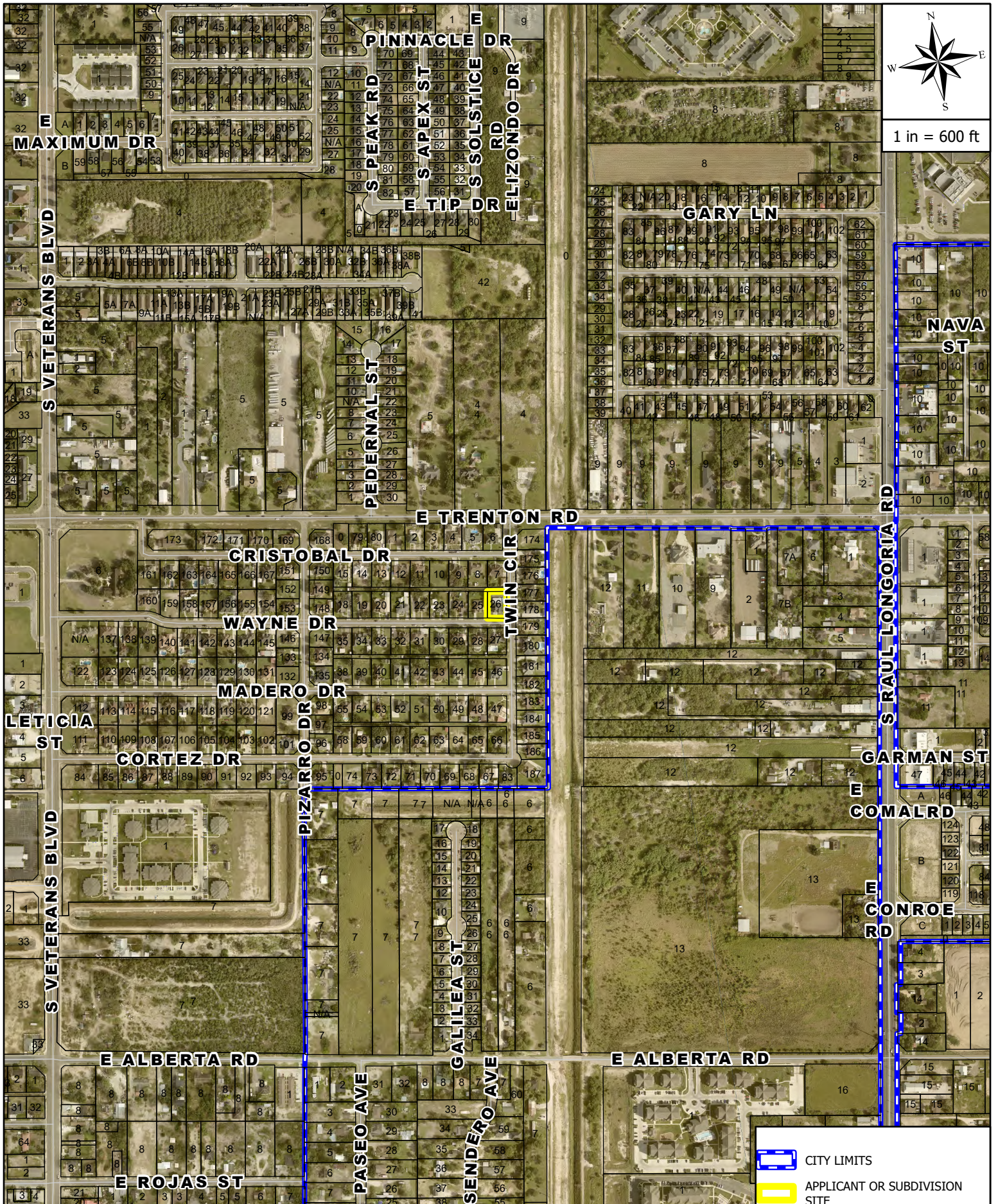
1. There is an existing home at this location.
2. Surrounding land consists of residential uses.
3. The proposed zoning is consistent with the Future Land Use Plan.

Staff recommends approval of the Rezoning Request from Agriculture and Open Space (AO) District to Residential, Primary (RP) District based on the Future Land Use and surrounding land uses. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building/fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and other City requirements, as applicable

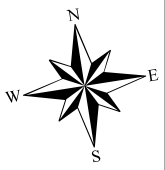
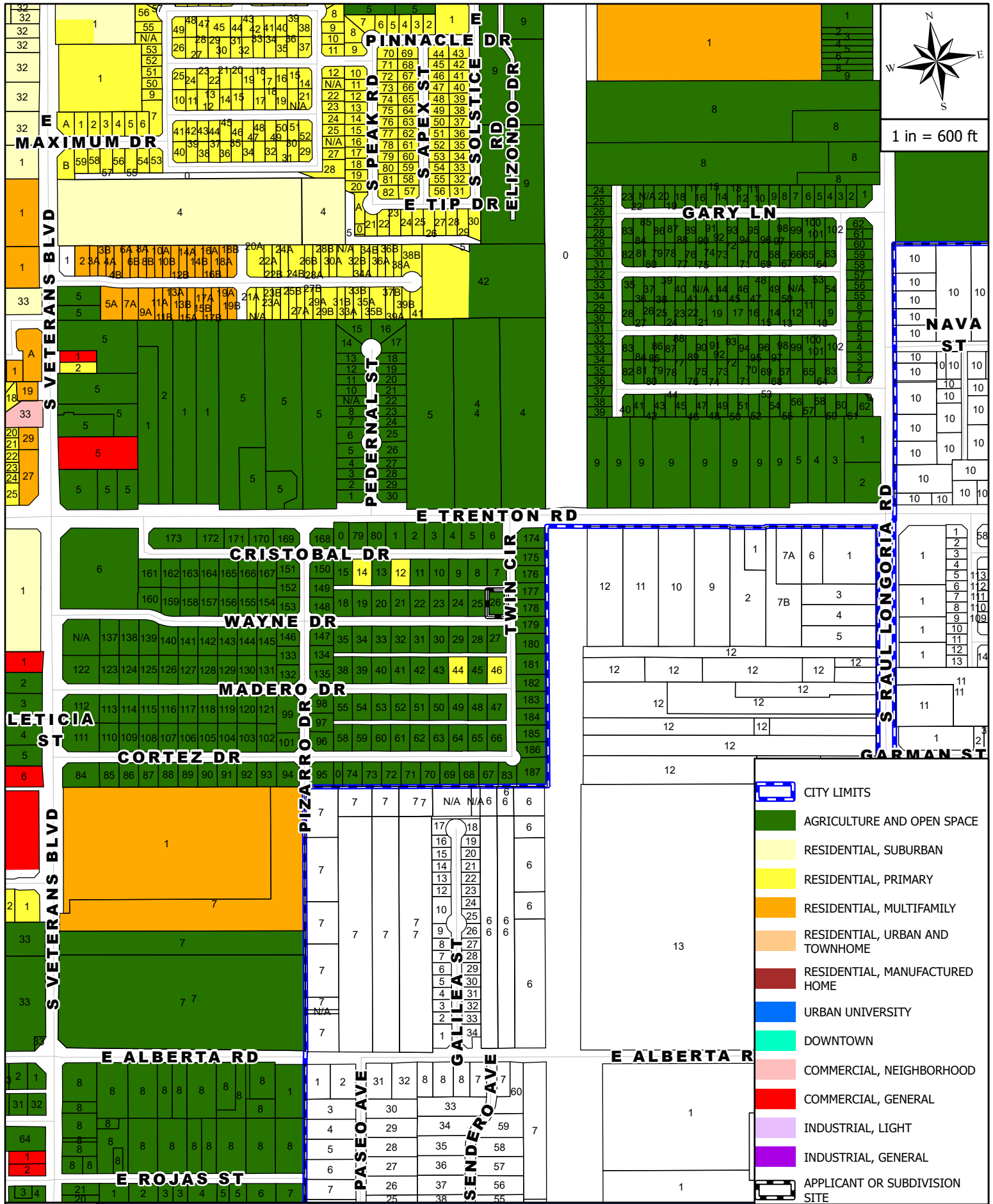
Staff mailed a notice of the public hearing to 32 neighboring property owners on Friday, October 31, 2025, and received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing was published in the newspaper on November 12, 2025.

















★ APPLICANT  
 [Blue dashed line] CITY LIMITS



**AERIAL MAP**  
**APPLICANT AND/OR SUBDIVISION:**  
 RZNE 2025 0310 1919 WAYNE DR



1 in = 600 ft

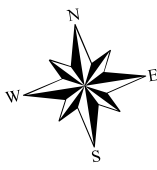
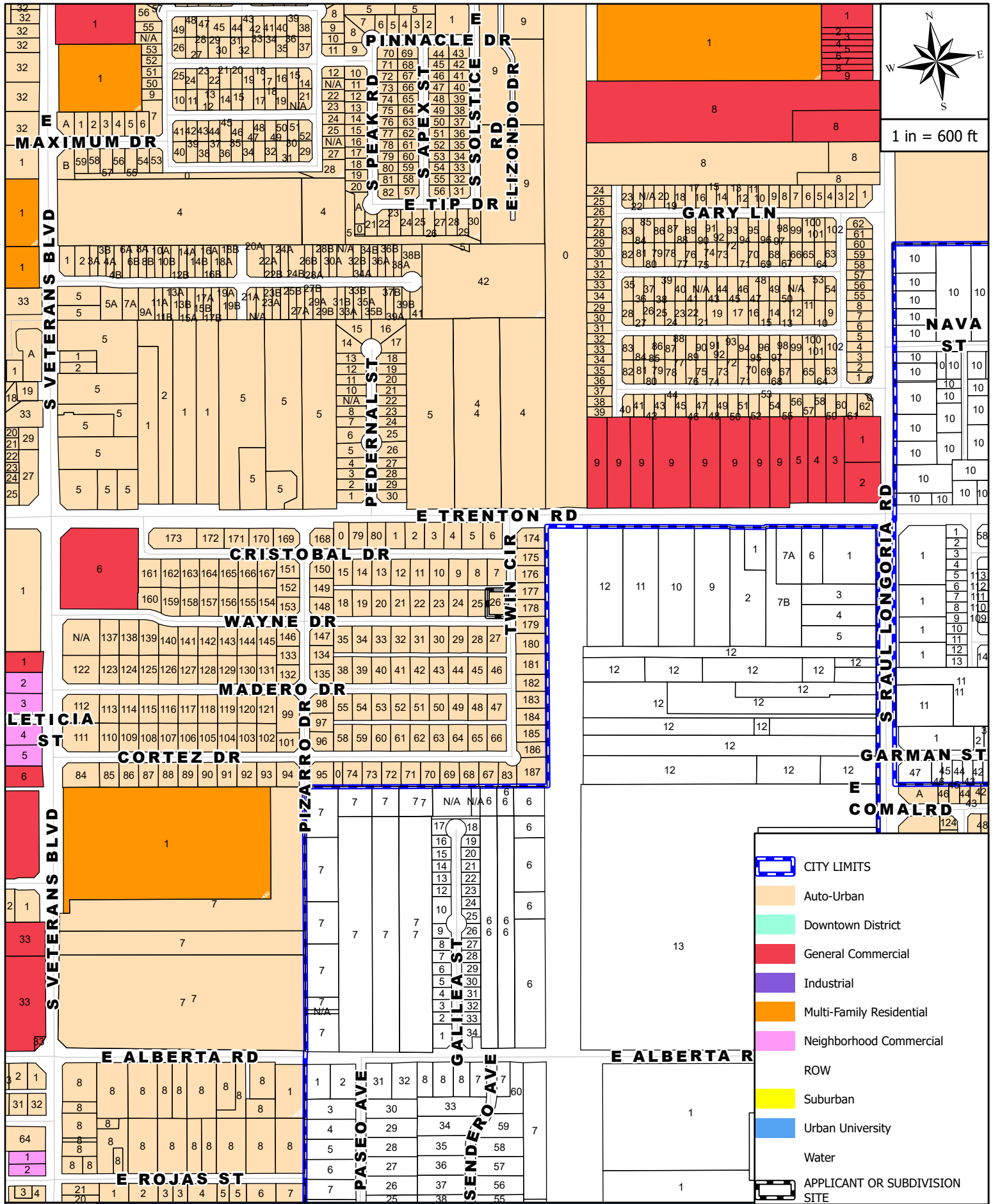
-  CITY LIMITS
-  AGRICULTURE AND OPEN SPACE
-  RESIDENTIAL, SUBURBAN
-  RESIDENTIAL, PRIMARY
-  RESIDENTIAL, MULTIFAMILY
-  RESIDENTIAL, URBAN AND TOWNHOME
-  RESIDENTIAL, MANUFACTURED HOME
-  URBAN UNIVERSITY
-  DOWNTOWN
-  COMMERCIAL, NEIGHBORHOOD
-  COMMERCIAL, GENERAL
-  INDUSTRIAL, LIGHT
-  INDUSTRIAL, GENERAL
-  APPLICANT OR SUBDIVISION SITE

**ZONING MAP**












**APPLICANT AND/OR SUBDIVISION:**

RZNE 2025 0310 1919 WAYNE DR





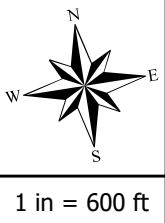
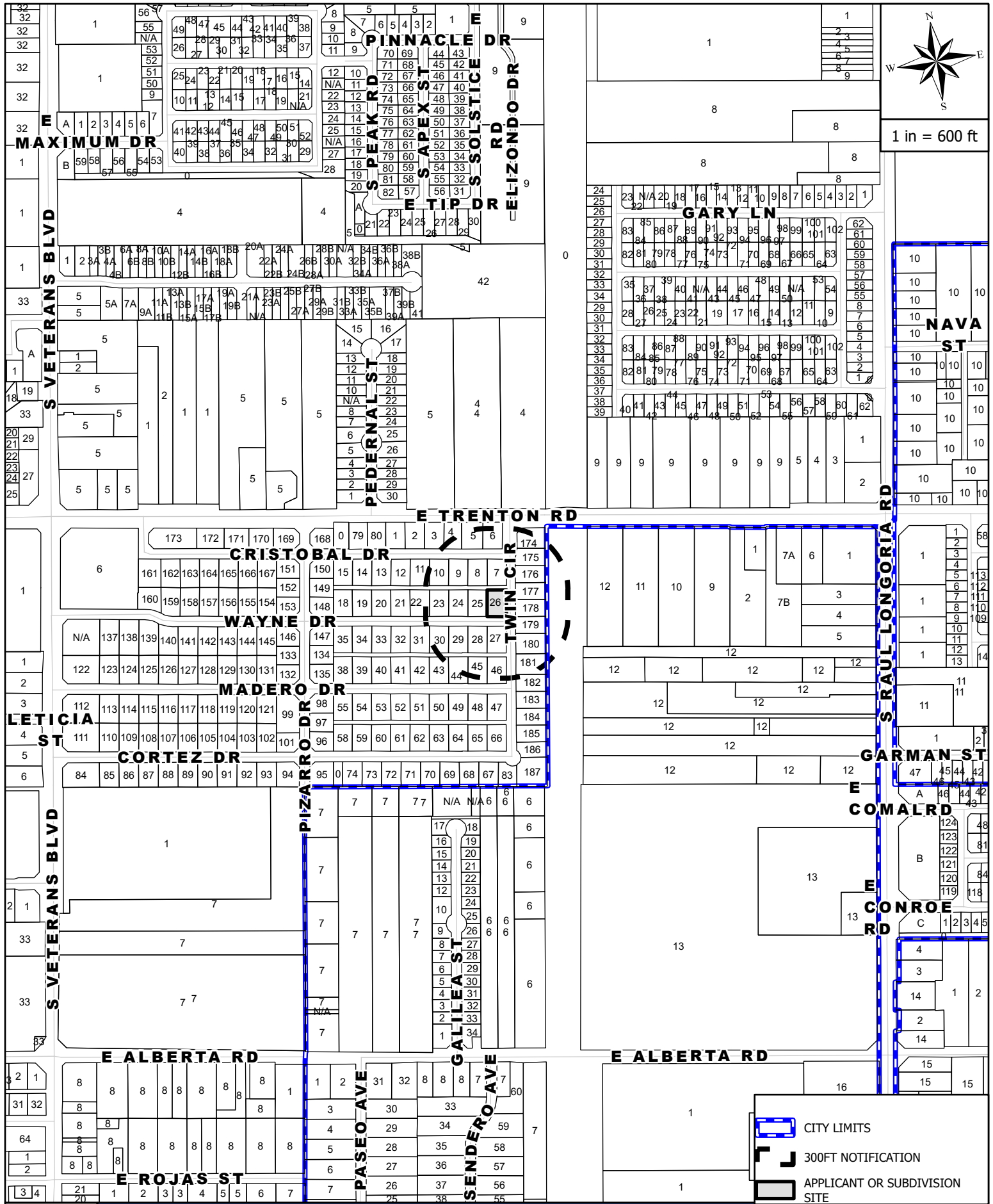
1 in = 600 ft




-  CITY LIMITS
-  Auto-Urban
-  Downtown District
-  General Commercial
-  Industrial
-  Multi-Family Residential
-  Neighborhood Commercial
-  Suburban
-  Urban University
-  Water
-  APPLICANT OR SUBDIVISION SITE

**FUTURE LANDUSE MAP**  
**APPLICANT AND/OR SUBDIVISION:**

RZNE 2025 0310 1919 WAYNE DR





-  CITY LIMITS
-  300FT NOTIFICATION
-  APPLICANT OR SUBDIVISION SITE



**MAILOUT AND SITE MAP**  
**APPLICANT AND/OR SUBDIVISION:**

RZNE 2025 0310 1919 WAYNE DR



# Rezoning Request Site Photo

Rolando Ramirez  
1919 Wayne Drive



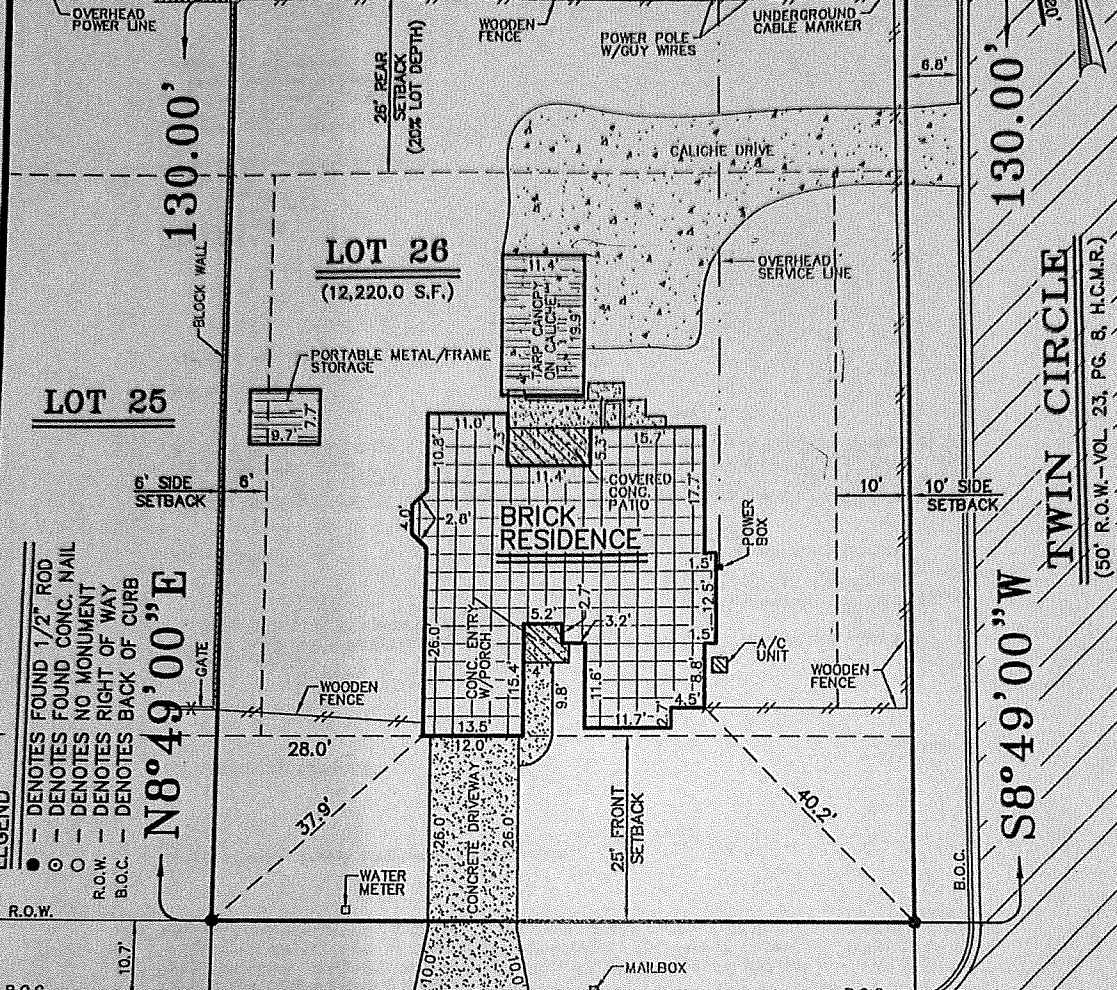
**ART SALINAS**  
ENGINEERING & SURVEYING

1624 DOVE AVENUE, McALLEN, TEXAS 78604 PH: (950) 616-6606 FAX: (950) 616-6640

20' ALLEY R.O.W.

S81°11'00"E

94.00'



**LEGEND**  
 ● DENOTES FOUND 1/2" ROD  
 ○ DENOTES FOUND CONC. NAIL  
 ○ DENOTES NO MONUMENT  
 --- DENOTES RIGHT OF WAY  
 --- DENOTES BACK OF CURB  
 --- DENOTES GATE

N8°49'00"W

**WAYNE DR.**

(50' R.O.W.—VOL. 23, PG. 8, H.C.M.R.)

**FLOOD ZONE CERTIFICATION:** The property shown hereon lies in Zone "B". Zone "B" areas lie between limits of the 100-year flood and 500-year flood; or certain areas subject to 100-year flooding with average depths less than one (1) foot or where the contributing drainage area is less than one square mile; or areas protected by levees from the base flood as per F.E.M.A. Flood Insurance Rate Map Panel No. 480334-0425-C dated 11-16-82.

- PLAT NOTES:**
- There are no discrepancies, conflicts, or shortages in area or boundary lines, or any encroachments, or any overlapping of improvements except as shown on this plat.
  - This survey plat is prepared in connection with Title Policy G.F. # 798657 and does not guarantee title. This survey is for the exclusive use of the client named hereon and may not be copied or transferred to another party without the express written consent of the surveyor.
  - This survey must contain an original seal and signature to be valid as per Section 661.46 and Section 663.19 of the "The Professional Land Surveying Practices Act".
  - This is a standard survey and does not include the location of underground utility, irrigation and/or gas lines.
  - Easements, rules, regulations and rights in favor of HIDALGO COUNTY IRRIGATION DISTRICT NO. 2. (Blanket)
  - Subject to oil, gas and mineral lease of records.
- Bearing Basis: "S. Line of Lot 26, Trenton Manor Subdivision"  
 BORROWER: ROLANDO RAMIREZ

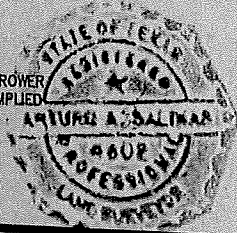
*R.R. Rolando Ramirez* 10-27-14

THIS IS TO CERTIFY TO THAT I HAVE, THIS DATE, PREPARED A SURVEY ON THE PROPERTY WHICH IS LOCATED AT 1919 WAYNE DR., IN EDINBURG, TEXAS, DESCRIBED AS FOLLOWS:  
 LOT TWENTY-SIX (26), TRENTON MANOR SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF  
 RECORDED IN VOLUME 23, PAGE 8, MAP RECORDS, HIDALGO COUNTY, TEXAS.

14-46316 Job No. 10-23-14 Date

*[Signature]*

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**City of Edinburg**  
**PLANNING & ZONING COMMISSION**  
November 20, 2025

**SIGN VARIANCE REQUEST**

**AGENDA ITEM:**

Consider the Variance Request to the City's Unified Development Code Article 4, Section 4.303, Permanent Signs, Crestwood Estates Subdivision, Located at 3201 North Roegiers Road, As Requested By Khristian Galvan

**DESCRIPTION / SCOPE:**

The applicant is requesting a variance to the Unified Development Code Section 4.303 as it applies to signs. The signs in question are for the advertisement of the subdivision at this location. The subdivision is located on North Roegiers Road, approximately 1,200 feet south of East Monte Cristo Road. The subdivision entry signs are located along the corner lot lines on Lots 1 and 22 of the Crestwood Estates Subdivision that was recorded on August 23, 2024. This subdivision is currently zoned Residential, Primary (RP) District, which is intended to permit a wide range of single-family residential uses. Adjacent zoning is Commercial, General (CG) District to the north and west, with Residential, Suburban (RS) District to the east, and south. Surrounding land consists of vacant land and residential uses.

Staff received a Sign Variance Application for the subject property on September 30, 2025. The applicant is proposing to maintain two subdivision entry signs that were built without a building permit, roughly 20 feet high from natural ground to top of height with a square footage of approximately 560 square feet. Based on Article 4.303, the proposed 560 square foot signs would be exceeding the maximum height of 6 feet and maximum size of 32 square feet. Article 9, Table 9.103-1 states that a variance to a sign permit must come before the Planning & Zoning Commission in the form of a public hearing. The applicant then has an opportunity for the item be heard before City Council.

Staff mailed a notice of the public hearing to 21 neighboring property owners on Friday, October 31, 2025, and received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing was published in the newspaper on November 12, 2025.

**STAFF RECOMMENDATION:**

Staff recommends denial of the Variance Request to the City's Unified Development Code. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Prepared by:  
**Alejandra Gonzalez, MPA**  
Planner II

Reviewed by:  
**Jaime Acevedo**  
Director of Planning and Zoning

**MEETING DATES:**  
**PLANNING & ZONING COMMISSION – 011/20/25**  
**CITY COUNCIL –12/02/25**  
**DATE PREPARED – 11/07/25**

**STAFF REPORT**  
**GENERAL INFORMATION**

**APPLICATION:** Consider the Variance Request to the City’s Unified Development Code Article 4, Section 4.303, Permanent Signs, Crestwood Estates Subdivision

**APPLICANT:** Hollywood Development LLC.

**AGENT:** Khristian Garza

**LEGAL:** Crestwood Estates Subdivision

**LOCATION:** 3201 North Roegiers Road

**LOT/TRACT SIZE:** Not Applicable

**CURRENT USE:** Residential

**PROPOSED USE:** Residential

**EXISTING ZONING:** Residential, Primary (RP) District

**ADJACENT ZONING:** North – Commercial, General (CG) District  
South – Residential, Primary (RP) District  
East – Residential, Primary (RP) District  
West – Commercial, General (CG) District

**LAND USE PLAN:** Auto-Urban Uses

**PUBLIC SERVICES:** City of Edinburg Sewer and North Alamo Water Supply Corporation Water

**RECOMMENDATION:** Staff recommends denial of the Variance Request to the City Of Edinburg Unified Development Code Article 4, Development Standards, Division 4.300, Signs, Section 4.303, Permanent Signs.

**VARIANCE REQUEST  
CHRISTIAN GALVAN**

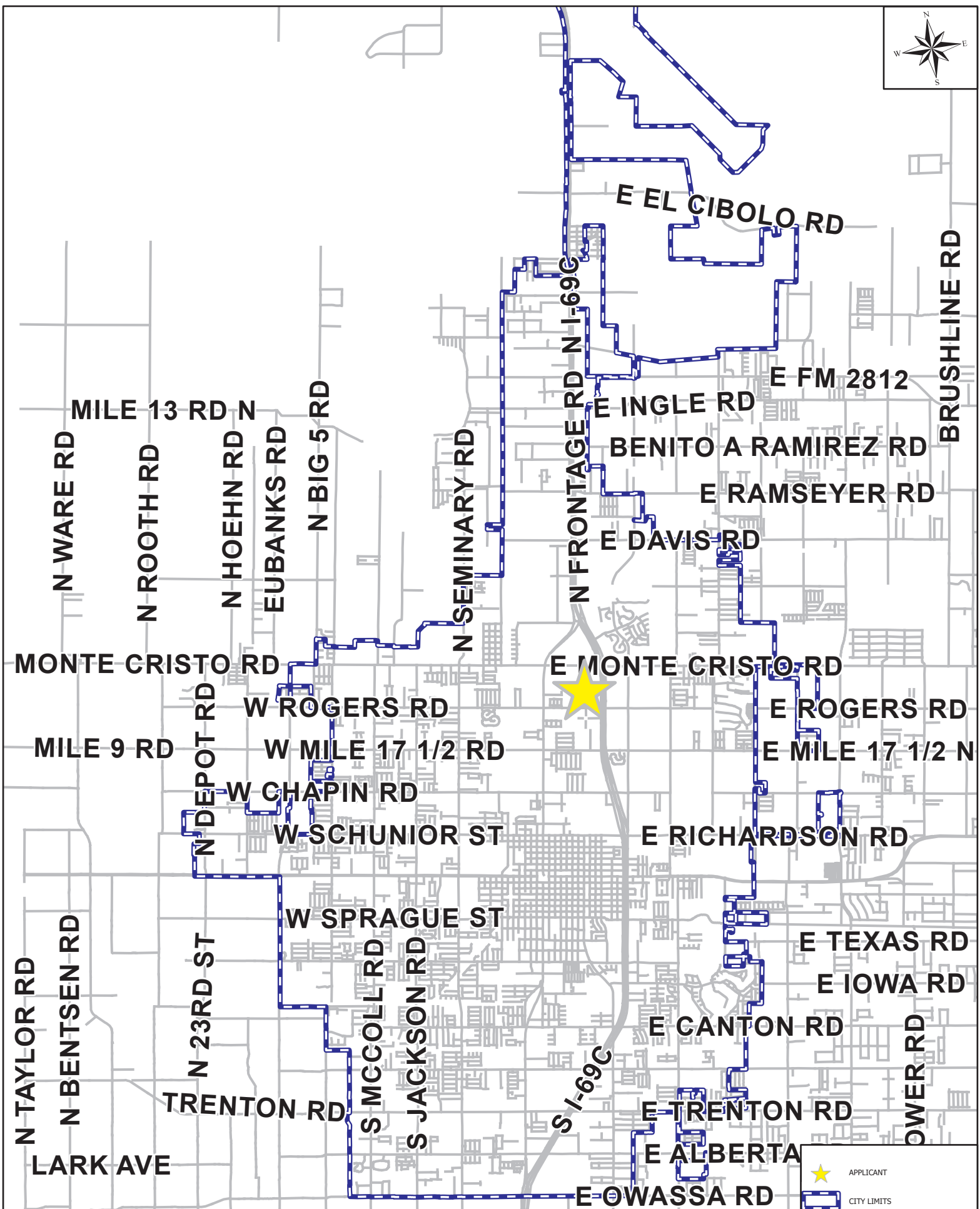
**EVALUATION**

The following is staff's evaluation of the request.

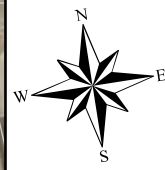
1. The signs in question are for the advertisement of the subdivision at this location.
2. Based on Article 4.303, the proposed 560 square foot signs would be exceeding the maximum height of 6 feet and maximum size of 32 square feet.

Staff recommends denial of the Variance Request to the City's Unified Development Code. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

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★ APPLICANT  
▭ CITY LIMITS



1 in = 300 ft



 CITY LIMITS

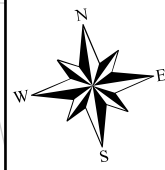
 APPLICANT OR SUBDIVISION SITE



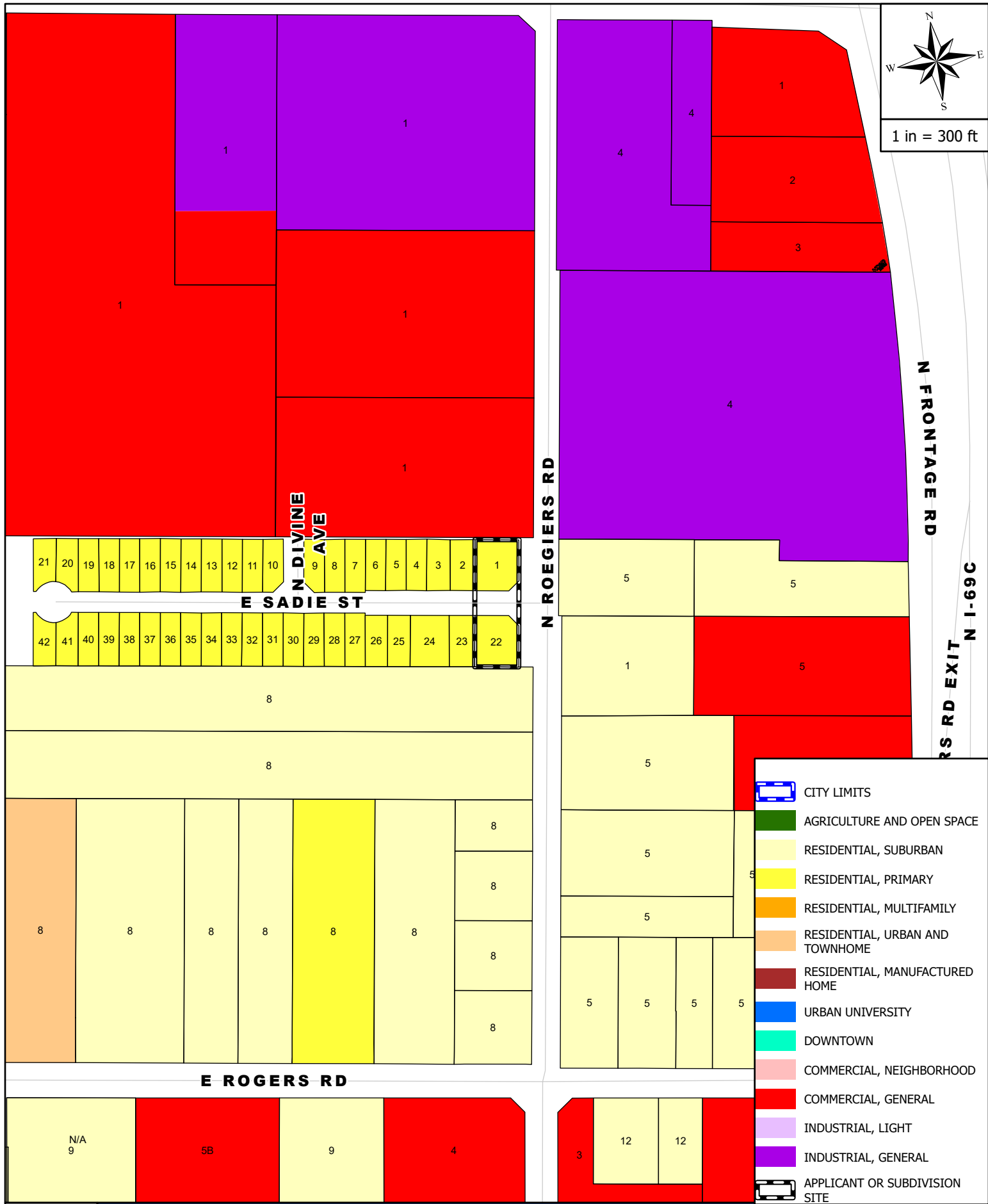
**AERIAL MAP**

**APPLICANT AND/OR SUBDIVISION:**

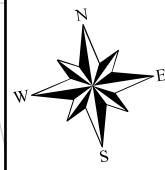
VAR-2025-0328 3201 N ROEGIERS RD



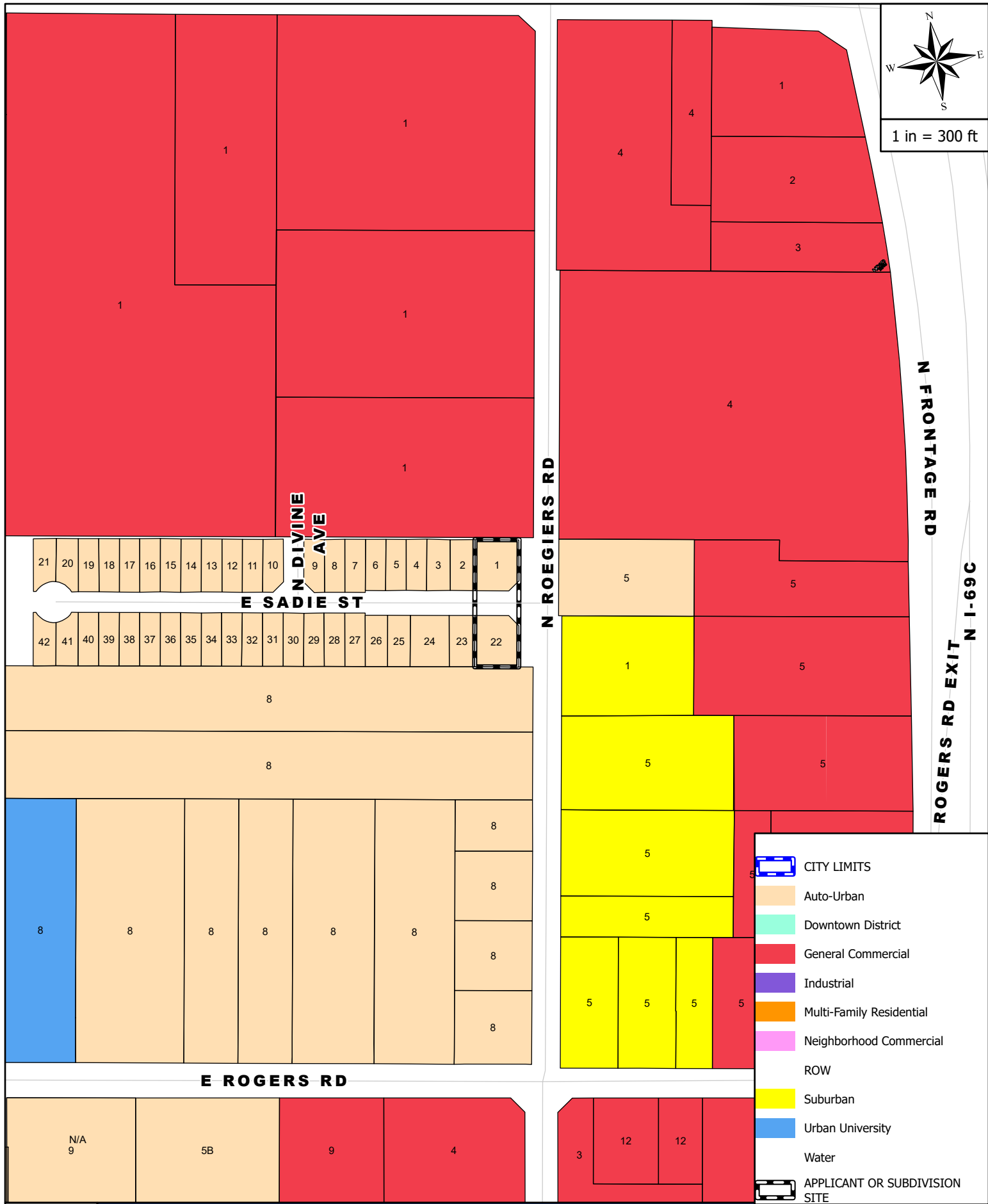
1 in = 300 ft



**ZONING MAP**  
**APPLICANT AND/OR SUBDIVISION:**  
 VAR-2025-0328 3201 N ROEGIERS RD



1 in = 300 ft



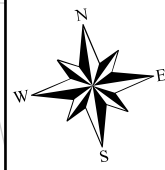
**CITY LIMITS**

- Auto-Urban
- Downtown District
- General Commercial
- Industrial
- Multi-Family Residential
- Neighborhood Commercial
- ROW
- Suburban
- Urban University
- Water

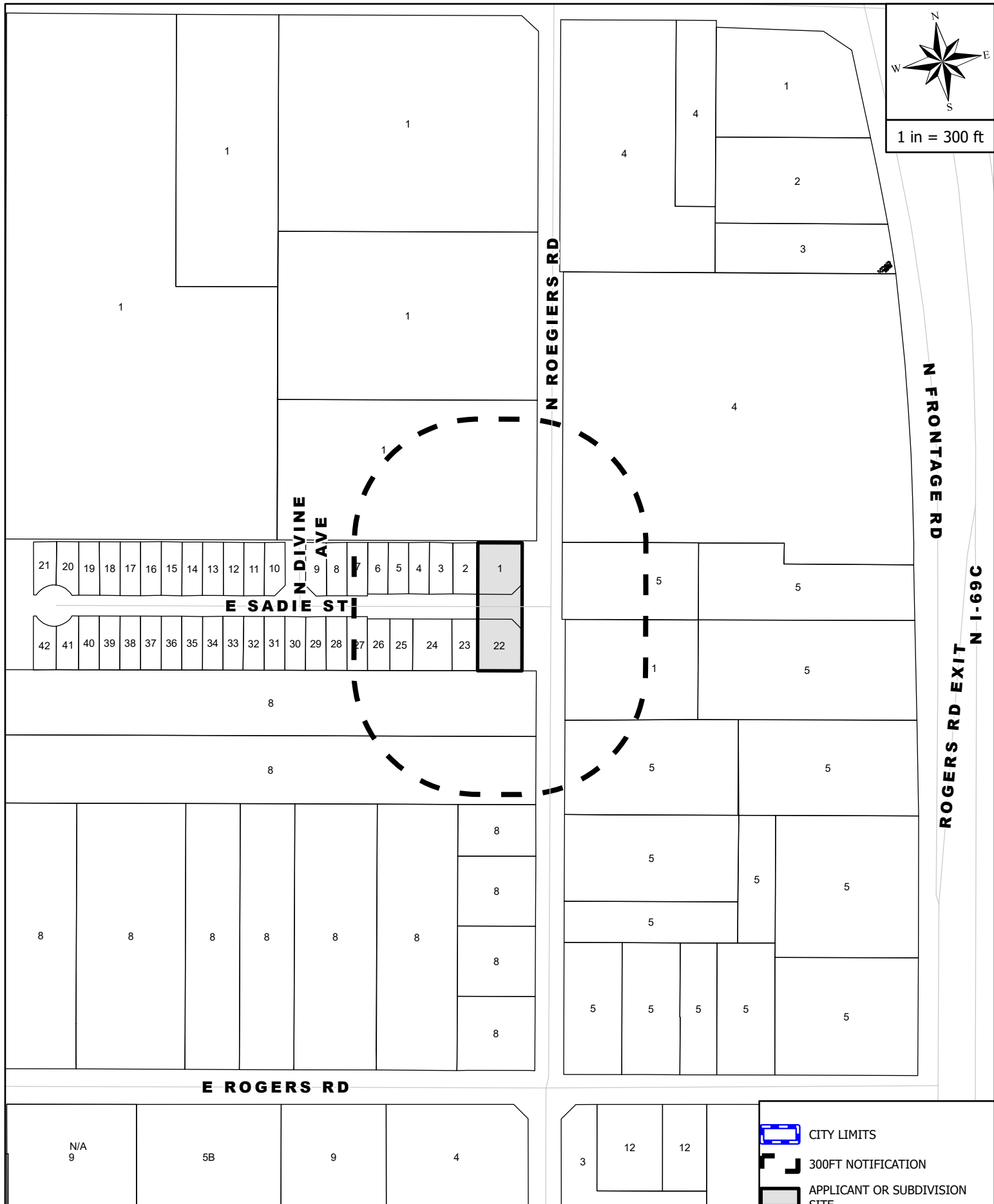
**APPLICANT OR SUBDIVISION SITE**




**FUTURE LANDUSE MAP**  
**APPLICANT AND/OR SUBDIVISION:**  
 VAR-2025-0328 3201 N ROEGIERS RD

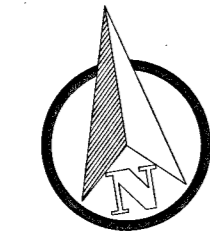


1 in = 300 ft

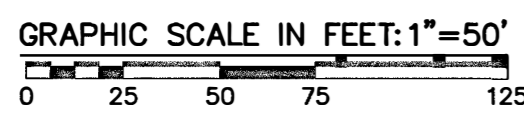


**MAILOUT AND SITE MAP**  
**APPLICANT AND/OR SUBDIVISION:**  
 VAR-2025-0328 3201 N ROEGIERS RD





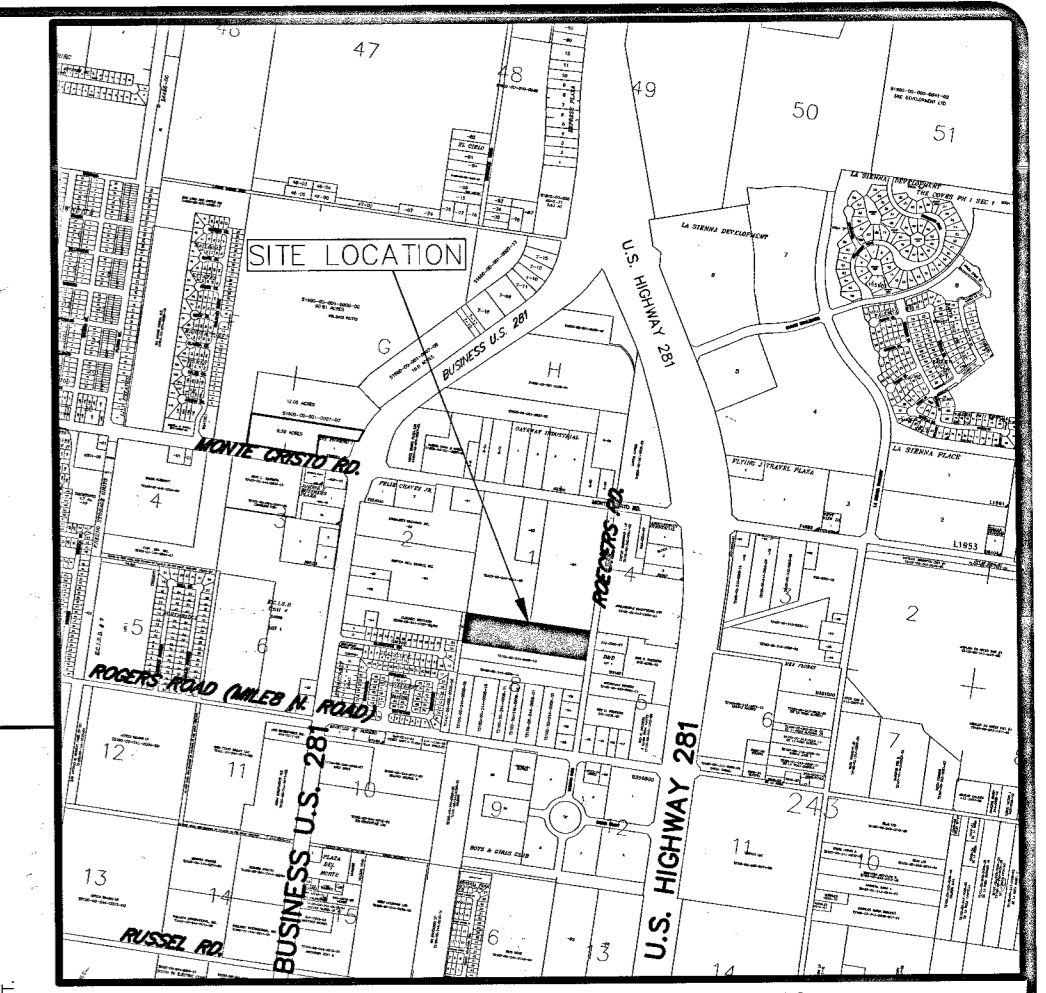
BASIS OF BEARINGS:  
TEXAS STATE PLANE  
COORDINATE SYSTEM  
SOUTH ZONE 4205



10.38 AC.  
OWNER: TOWN & COUNTRY  
FIXED ASSET, LLC  
WDL: INST. NO.  
2007-1808098  
O.R.H.C.T.

OWNER: ROY C. ROEGIERS  
GWD INS. NO. 3355333  
O.R.H.C.T.

P.O.B.  
NE CNR LOTS, SECT. 244  
N: 16646313.6592  
E: 1099291.8575

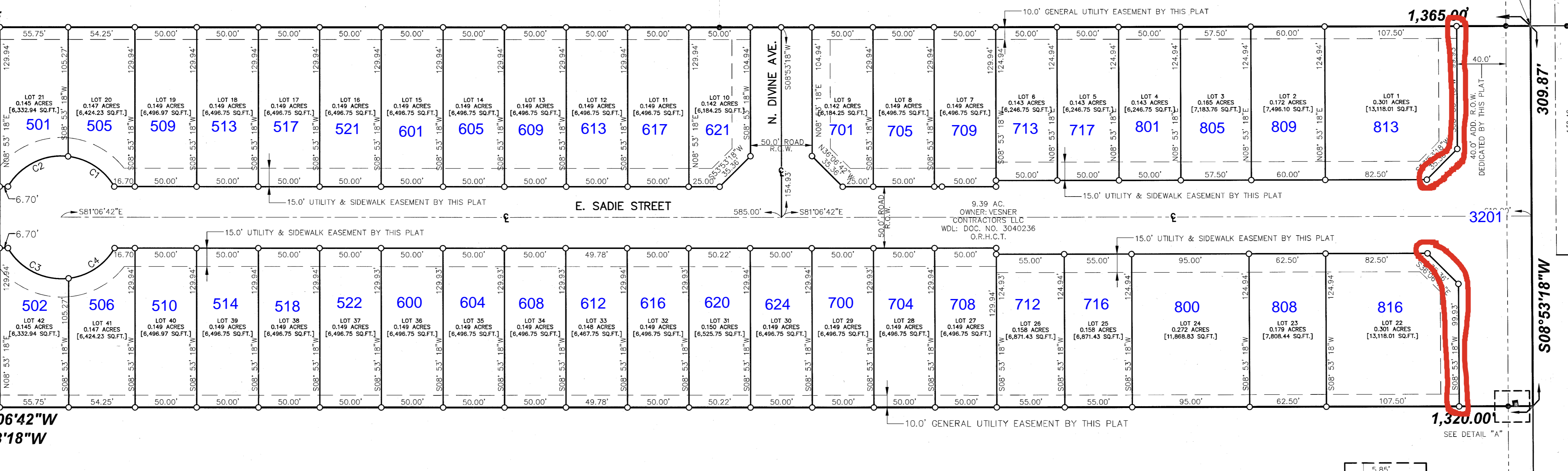


LOCATION MAP 1" = 1,000'  
PLAT OF  
**CRESTWOOD ESTATES SUBDIVISION**  
BEING 9.731 ACRES [423,871.65 SQ. FT.] COMPRISED OF THE NORTH 9.39 ACRES OF LAND OUT OF THE NORTH 19.39 ACRES OF LOT 8, SECTION 244, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS, AND THE EAST 45 FEET OF THE NORTH 329.85 FEET OF LOT 7, SECTION 244, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 12, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

**LEGEND**

- BOUNDARY LINE
- - - RIGHT OF WAY LINE
- - - EASEMENT LINE
- - - SECTION LINE
- - - LOT LINE
- - - PROPERTY LINE
- - - ROADWAY CENTERLINE
- FOUND 1/2" IRON ROD
- FOUND 1/4" IRON ROD
- ⊙ FOUND COTTON PICKER SPINDLE
- ⊗ SET 1/2" IRON ROD W/PINK CAP
- FND. FOUND
- R.O.W. RIGHT OF WAY
- NE - NORTHEAST
- NW - NORTHWEST
- SW - SOUTHWEST
- CNR. - CORNER
- WOL - VOLUME
- PG. - PAGE
- SECT. - SECTION
- DOC. - DOCUMENT
- ESMT. - EASEMENT
- UTIL. - UTILITY
- GWD - GENERAL WARRANTY DEED
- AFH - AFFIDAVIT OF HEIRSHIP
- SD - SPECIAL WARRANTY DEED
- WDL - WARRANTY DEED
- W/VENDOR'S LIEN
- O.R.H.C.T. - OFFICIAL RECORDS - HIDALGO COUNTY, TEXAS
- M.R.H.C.T. - MAP RECORDS HIDALGO COUNTY TEXAS
- H.C.I.D. No. - HIDALGO COUNTY IRRIGATION DISTRICT No. 1
- ( ) - RECORD CALL
- CL - CENTERLINE

**METES AND BOUNDS DESCRIPTION:**  
BEING 9.731 ACRES [423,871.65 SQ. FT.] COMPRISED OF THE NORTH 9.39 ACRES OF LAND OUT OF THE NORTH 19.39 ACRES OF LOT 8, SECTION 244, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS, AS CONVEYED TO VENSER CONTRACTORS LLC BY VIRTUE OF WARRANTY DEED WITH VENDOR'S LIEN DATED AUGUST 7, 2019 AND RECORDED IN DOCUMENT 3040236, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS, AND THE EAST 45 FEET OF THE NORTH 329.85 FEET OF LOT 7, SECTION 244, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 12, MAP RECORDS OF HIDALGO COUNTY, TEXAS AS CONVEYED TO JAVIER VENTO BY VIRTUE OF WARRANTY DEED DATED MAY 18, 2022 AND RECORDED IN DOCUMENT NUMBER 3345565, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS, SAID 9.731 ACRES TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:  
BEGINNING AT A POINT [N: 16646313.6592, E: 1099291.8575] FOR THE NORTHEAST CORNER OF SAID LOT 8, SECTION 244, THE NORTHEAST CORNER OF THIS TRACT OF LAND AND THE POINT OF BEGINNING;  
THENCE, SOUTH 08 DEGREES 53 MINUTES 18 SECONDS WEST (RECORD - S 09° 05' 00" W), WITH THE EAST LINE OF SAID LOT 8, SECTION 244, A DISTANCE OF 309.87 FEET TO A POINT FOR THE SOUTHEAST CORNER OF THIS TRACT OF LAND;  
THENCE, NORTH 81 DEGREES 06 MINUTES 42 SECONDS WEST (RECORD - N 80° 55' 00" W), PARALLEL TO THE NORTH LINE OF SAID LOT 8, SECTION 244, AT A DISTANCE OF 20.00 FEET PASS A HALF-INCH IRON ROD WITH A PINK CAP SET AT THE WEST RIGHT-OF-WAY LINE OF SAID ROEGIERS ROAD, CONTINUING A TOTAL DISTANCE OF A 1,320.00 FEET TO A HALF-INCH IRON ROD WITH A PINK CAP SET ON THE WEST LINE OF SAID LOT 8, SECTION 244 FOR AN INTERIOR CORNER OF THIS TRACT OF LAND;  
THENCE, SOUTH 08 DEGREES 53 MINUTES 18 SECONDS WEST ALONG THE WEST LINE OF SAID LOT 8 A DISTANCE OF 19.98 FEET TO A HALF-INCH IRON ROD WITH PINK CAP SET FOR AN EXTERIOR CORNER OF THIS TRACT OF LAND;  
THENCE, NORTH 81 DEGREES 06 MINUTES 42 SECONDS WEST ACROSS SAID LOT 7 A DISTANCE OF 45.00 FEET TO A HALF-INCH IRON ROD SET FOR THE SOUTHWEST CORNER OF THIS TRACT OF LAND;  
THENCE, NORTH 08 DEGREES 53 MINUTES 18 SECONDS EAST ACROSS SAID LOT 7, SECTION 244, A DISTANCE OF 329.85 FEET TO A HALF-INCH IRON ROD WITH A PINK CAP SET AT THE NORTH LINE OF SAID LOT 7 FOR THE NORTHWEST CORNER OF THIS TRACT OF LAND;  
THENCE, NORTH 81 DEGREES 06 MINUTES 42 SECONDS EAST WITH THE NORTH LINE OF SAID LOT 7 AND LOT 8, SECTION 244, AT A DISTANCE OF 1,345.00 FEET PASS A HALF-INCH IRON ROD WITH A PINK CAP SET AT THE WEST RIGHT-OF-WAY LINE OF SAID ROEGIERS ROAD, CONTINUING A TOTAL DISTANCE OF A 1,365.00 FEET TO THE POINT OF BEGINNING CONTAINING 9.731 ACRES [423,871.65 SQ. FT.] OF LAND MORE OR LESS.



CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	46.60'	50.00'	053°23'50"	N47°48'37"W	44.93'
C2	58.12'	50.00'	066°36'10"	S72°11'23"W	54.90'
C3	58.12'	50.00'	066°36'10"	S54°24'46"E	54.90'
C4	46.60'	50.00'	053°23'50"	N65°35'14"E	44.93'

- GENERAL PLAT NOTES AND RESTRICTIONS:**
- FLOOD ZONE STATEMENT: SUBJECT PROPERTY IS LOCATED IN ZONE "X" SHADED DESCRIBED AS "AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREA PROTECTED BY LEVEES FROM 100-YEAR FLOOD". COMMUNITY-PANEL NUMBER: 480338 0202 E, MAP REVISED: JUNE 6, 2000 REVISED TO REFLECT LOWR-F CASE NUMBER 01-06-1095P, DATED MAY 14, 2001
  - NO MORE THAN ONE SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON PROPOSED LOTS.
  - MINIMUM FINISH FLOOR NOTE: 18" ABOVE THE CENTERLINE OF THE STREET OR TOP OF CURB WHICHEVER IS HIGHER.
  - LEGEND α - DENOTES 1/2" IRON ROD SET UNLESS OTHERWISE NOTED
  - THERE ARE NO WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES OF THIS SUBDIVISION.
  - BUILDING SETBACKS NOTE: MINIMUM BUILDING SETBACK LINES SHALL BE AS FOLLOWS OR MATCH GREATER EASEMENTS:  
FRONT 20.00'  
SIDE 6.00'  
REAR 20.00'  
STREET SIDE 10.00'  
GARAGE 18.00'
  - NO BUILDINGS SHALL BE CONSTRUCTED OVER ANY EASEMENT OR LOT LINE.
  - DRAINAGE DETENTION FOR THIS SUBDIVISION IS: 58,093 C.F. (1.33 ACRE-FEET)
  - NO FILL OR PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN ANY SWALE OR UTILITY EASEMENTS. EACH DRAINAGE EASEMENT SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, PLANTINGS, AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATION AND MAINTENANCE OF THE DRAINAGE SWALES.
  - BENCH MARK NOTE: 84.57 TOP OF MANHOLE LOCATED AT THE S.W. CORNER OF MILE 17 1/2 NORTH RD & KENYON RD. S-4.5', AND W-6.5'
  - NO FILL OR PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN DRAINAGE SWALE EASEMENT AND LOT OWNERS SHALL BE RESPONSIBLE FOR MAINTENANCE OF SWALE.
  - ALL LOTS FOR THE CRESTWOOD SUBDIVISION ARE RESIDENTIAL.
  - A 5' CONCRETE SIDEWALK WILL BE CONSTRUCTED ALONG N. ROEGIERS RD.
  - 5' SIDEWALKS ARE REQUIRED AT BUILDING PERMIT STAGE FOR ALL LOTS.
  - LOT "A" SHALL BE MAINTAINED BY THE H.O.A.

**CITY OF EDINBURG  
MAYOR'S CERTIFICATION**  
ALL PLATS THAT REQUIRE A WAIVER IN ACCORDANCE WITH SEC. 9.006, WAIVER, OR THAT WERE SUBJECT TO AN APPEAL SHALL INCLUDE THE FOLLOWING CERTIFICATION TO BE EXECUTED BY THE MAYOR: "I, THE UNDERSIGNED, MAYOR OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY, EXCEPTING FOR THOSE REQUIREMENTS FOR WHICH A WAIVER WAS APPROVED OR AN APPEAL WAS HEARD AND DECIDED UPON, WHEREIN MY APPROVAL IS REQUIRED."  
*Clarin G. Barber* 08/20/2024  
MAYOR

**STATE OF TEXAS  
COUNTY OF HIDALGO  
CERTIFICATION OF SURVEYOR**  
I, THE UNDERSIGNED, MANUEL CARRIZALES, A REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER SURVEYING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT, AND THAT IT IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.  
*Manuel Carrizales* 8-5-2024  
MANUEL CARRIZALES, R.P.L.S. # 6388  
DATE SURVEYED: \_\_\_\_\_  
DATE SURVEYING JOB NO. 19110

**STATE OF TEXAS  
COUNTY OF HIDALGO  
CERTIFICATION OF ENGINEER**  
I, THE UNDERSIGNED, MARK D. CORBITT, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.  
DATED THIS THE 5<sup>TH</sup> DAY OF August, 2024  
*Mark D. Corbett*  
MARK D. CORBITT, PROFESSIONAL ENGINEER No. 101980  
DATE PREPARED: 03/31/2022

**CERTIFICATE OF APPROVAL  
HIDALGO COUNTY DRAINAGE DISTRICT No. 1**  
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.  
*Raul E. Sesin* 08-20-24  
RAUL E. SESIN, P.E., C.E.M., GENERAL MANAGER

**CITY OF EDINBURG  
PLANNING AND ZONING  
COMMISSION CERTIFICATION**  
ALL PLATS SHALL INCLUDE THE FOLLOWING CERTIFICATION TO BE EXECUTED BY THE CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION: "I, THE UNDERSIGNED, CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT KNOWN AS "Crestwood Estates" CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED AND HAS BEEN APPROVED FOR RECORDING ON THE 15<sup>TH</sup> DAY OF August, 2024."  
*Jeff Salwitz* 8/15/2024  
CHAIRPERSON PLANNING & ZONING

**CERTIFICATE OF APPROVAL  
HIDALGO COUNTY IRRIGATION DISTRICT No. 1**  
THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT No. 1 ON THIS THE 2nd DAY OF August, 2024  
*Robert R. Bell* *C. J. M. Fwyer*  
RESIDENT SECRETARY  
HIDALGO COUNTY IRRIGATION DISTRICT NO. ONE WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION, ALSO THERE WILL NOT BE ANY PERMANENT STRUCTURES ON THE DISTRICT RIGHT-OF-WAYS AND/OR EASEMENTS.  
NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON THE HO/D/ RIGHT-OF-WAYS OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF HO/D/1.

**OWNER'S ACKNOWLEDGMENT  
STATE OF TEXAS  
COUNTY OF HIDALGO**  
SIGNED OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS CRESTWOOD SUBDIVISION DO HEREBY GRANT AN EASEMENT TO THE CITY OF EDINBURG AND THOSE WHO MAY NOW OR HEREAFTER HOLD FUTURE INTERESTS UNDER SAID CITY'S STREETLIGHTS, TRAFFIC CONTROL DEVICES, SIDEWALKS AND OTHER IMPROVEMENTS AND EASEMENTS THEREON SHOWN, SURFACE USE OF THE STREET IS RESTRICTED TO THE EMPLOYEES OR AGENTS OF THE CITY OF EDINBURG, EMPLOYEES OF UTILITIES OPERATING UNDER FRANCHISE TO THE CITY OF EDINBURG AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS.  
THE STREETS AS REFLECTED UPON THE SUBDIVISION PLAT HAVE NOT BEEN DEDICATED TO THE PUBLIC FOR PUBLIC ACCESS NOR HAVE BEEN ACCEPTED BY THE CITY AS PUBLIC IMPROVEMENTS AND THE STREETS STREETLIGHTS, TRAFFIC CONTROL DEVICES, SIDEWALKS AND OTHER IMPROVEMENTS SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION WITHIN THE SUBDIVISION. THE STREETS SHALL ALWAYS BE OPEN TO EMERGENCY VEHICLES, PUBLIC AND PRIVATE UTILITY SERVICE PERSONNEL, US POSTAL SERVICE AND GOVERNMENTAL EMPLOYEES IN PURSUIT OF THEIR OFFICIAL DUTIES.  
THE OWNERS OF THE LOT SERVED BY THE PRIVATE STREETS ALLEYS AND ACCESS EASEMENTS WITHIN THIS PLAT AGREE TO RELEASE, INDEMNIFY, DEFEND AND HOLD HARMLESS ANY GOVERNMENT ENTITY FOR DAMAGES TO THE PRIVATE STREETS ALLEYS AND ACCESS EASEMENTS OCCASIONED BY THE REASONABLE USE THEREOF BY THE GOVERNMENT ENTITY FOR GOVERNMENTAL PURPOSES AND TO RELEASE, INDEMNIFY, DEFEND AND HOLD HARMLESS ANY GOVERNMENT ENTITY FOR DAMAGES ARISING FROM THE CONDITION OF PRIVATE STREETS OR PRIVATE ACCESS EASEMENTS. THE MAINTENANCE OF PRIVATE STREET SIGNS SHALL NOT BE THE RESPONSIBLE OF THE CITY OF EDINBURG.  
*Javier Vento* 8-08-24  
JAVIER VENTO, #26  
3400 N. MCCOLL, #26  
MCALLEN, TX 78501

**STATE OF TEXAS  
COUNTY OF HIDALGO**  
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JAVIER VENTO KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN STATED.  
GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 06 DAY OF August, 2024  
*Neil Cruz*  
NOTARY PUBLIC, STATE OF TEXAS  
MY COMMISSION EXPIRES:

**STATE OF TEXAS  
COUNTY OF HIDALGO**  
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JAVIER VENTO KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN STATED.  
GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 06 DAY OF August, 2024  
*Neil Cruz*  
NOTARY PUBLIC, STATE OF TEXAS  
MY COMMISSION EXPIRES:

**PRINCIPAL CONTACTS:**

NAME	ADDRESS	CITY & ZIP	PHONE
OWNER: JAVIER VENTO	3400 N. MCCOLL, #26	MCALLEN, TX 78501	956.239.7624
ENGINEER: MDC ENGINEERING, PLLC; MARK D. CORBITT, PE	3400 N. MCCOLL, #26	MCALLEN, TX 78501	956.650.6034
SURVEYOR: CARRIZALES LAND SURVEYING, LLC; MANUEL CARRIZALES, R.P.L.S.	4807 GONDOLA AVENUE	EDINBURG, TEXAS 78542	956.567.2167

**FILED FOR RECORD IN**  
HIDALGO COUNTY  
ARTURO GUJARDO, JR.  
HIDALGO COUNTY CLERK  
ON 8/23/24 AT 3:57 AM (P/M)  
INSTRUMENT NUMBER 35753065  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS  
BY *Manuel Carrizales* DEPUTY

**Carrizales  
Land  
Surveying, LLC**  
Texas Registered Surveying Firm  
TRBS FIRM No. 1019141  
4807 Gondola Avenue,  
Edinburg, TX 78542  
Office: 956-567-2167  
www.clsland.com  
JOB 19110

**MD ENGINEERING, PLLC**  
TBPELS F-21922  
3400 N. MCCOLL RD., SUITE 26  
MCALLEN, TX 78501 956-650-6034

**NEIL CRUZ**  
Notary Public  
Notary ID #13882805  
My Commission Expires  
July 28, 2026

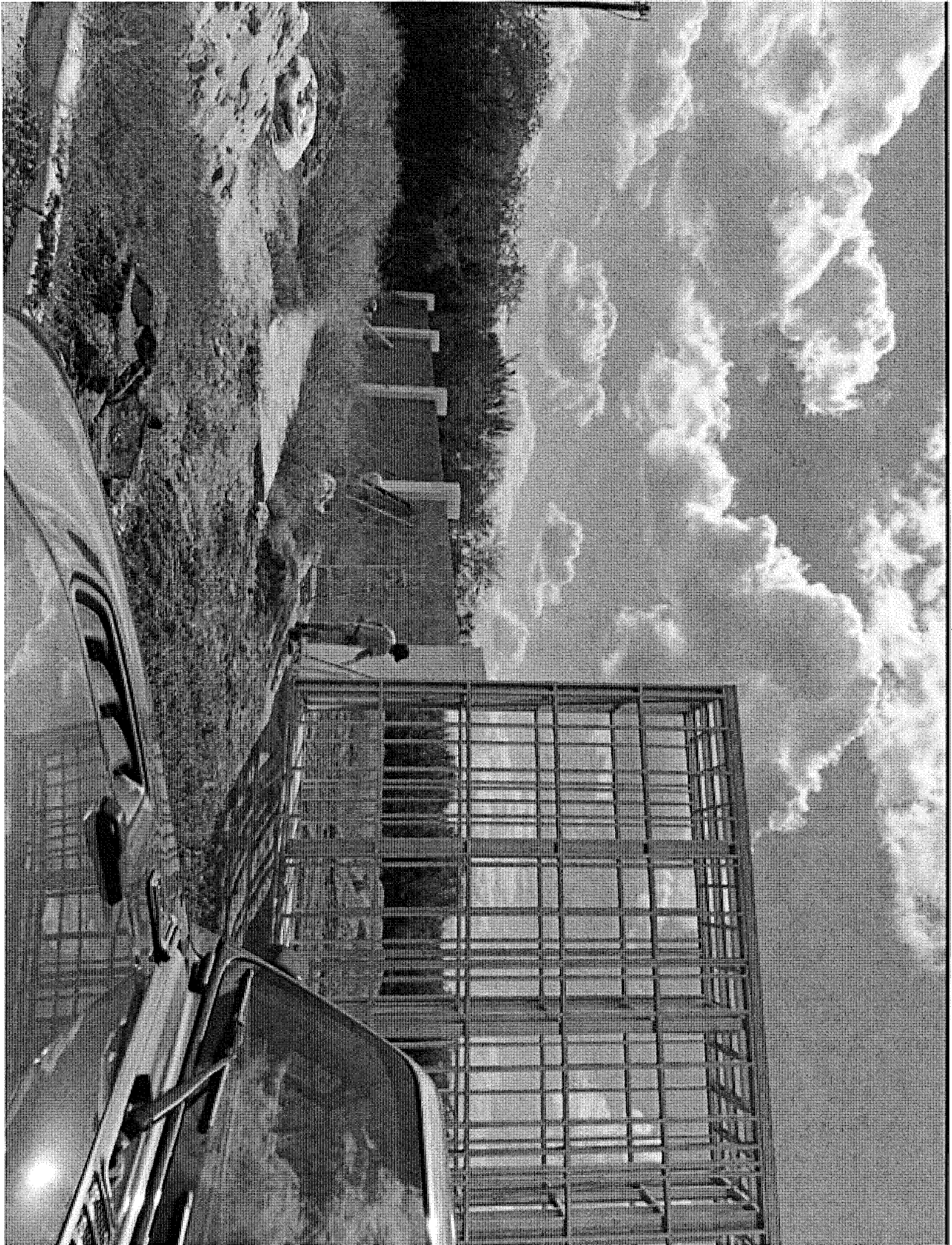
28'10"

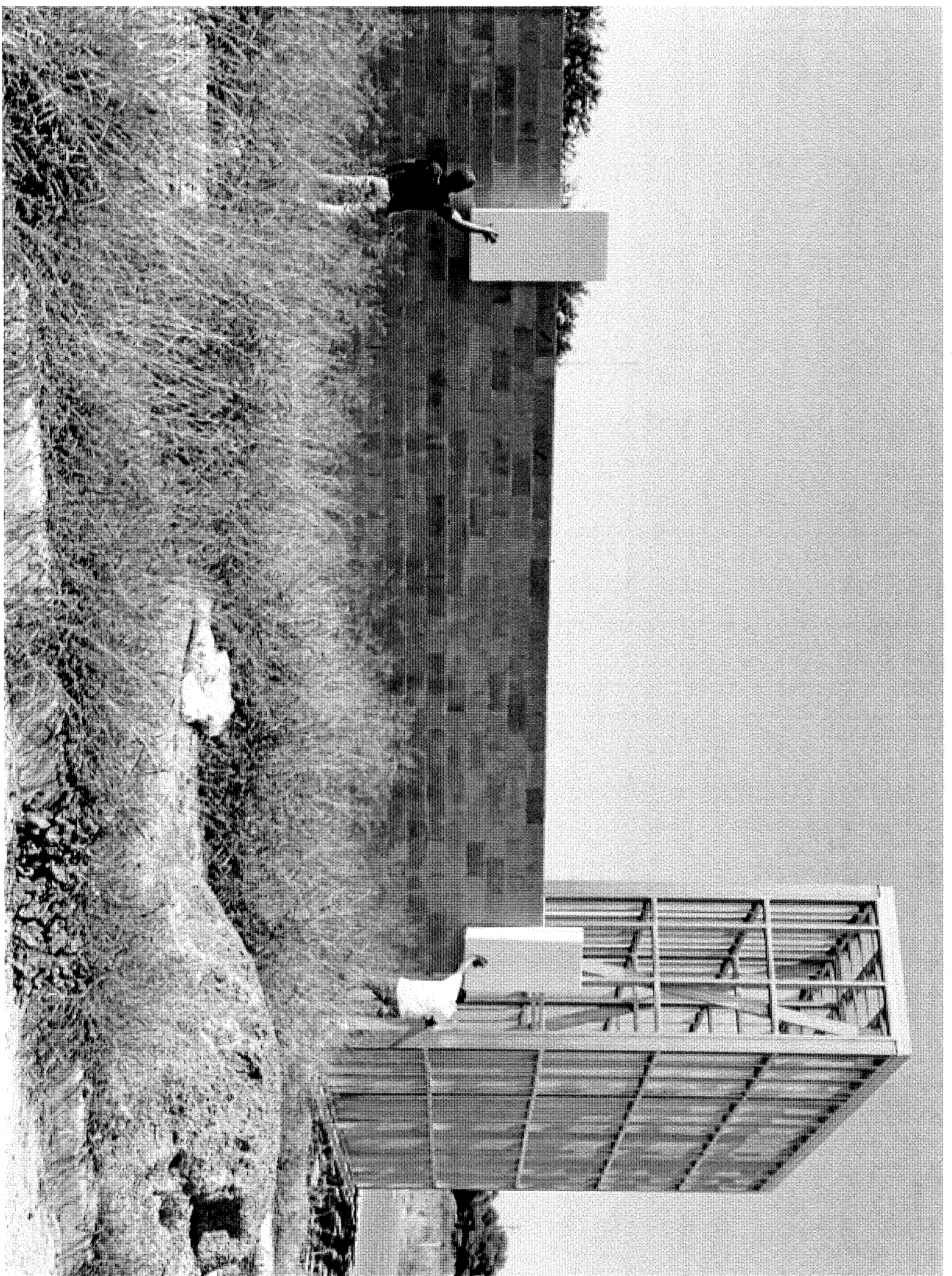


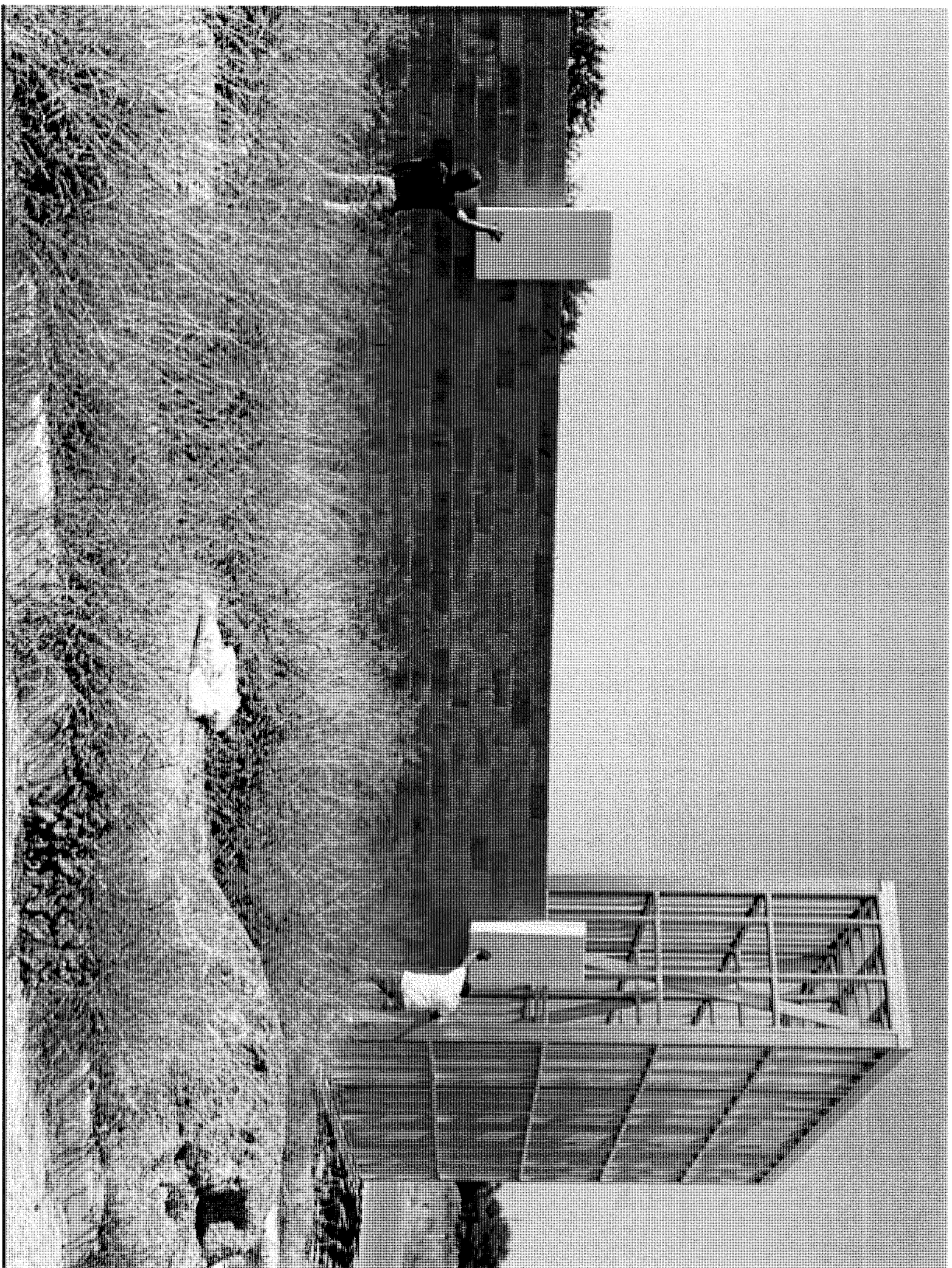
IMPERIO  
AT CRESTWOOD  
ESTATES

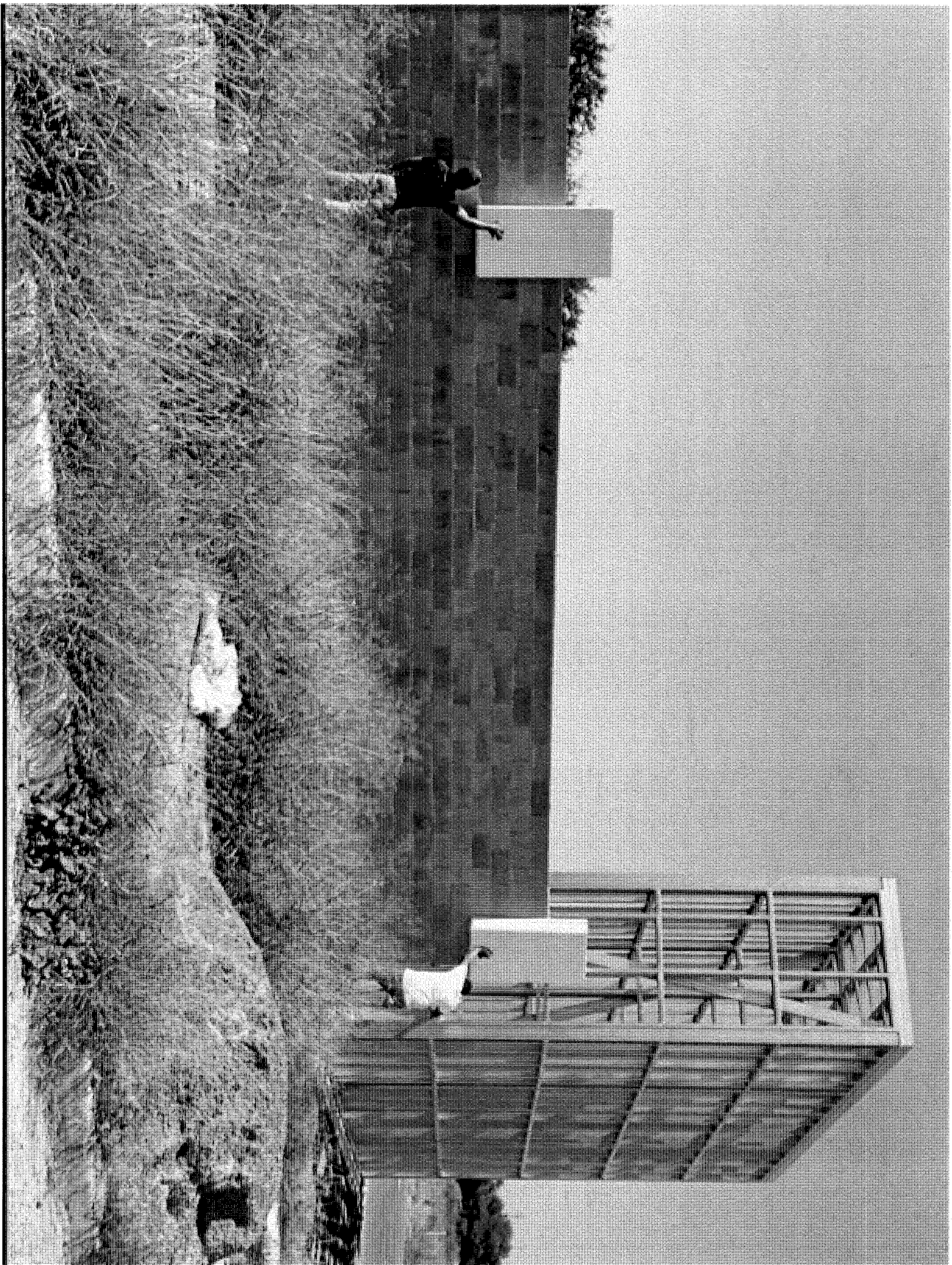
20'

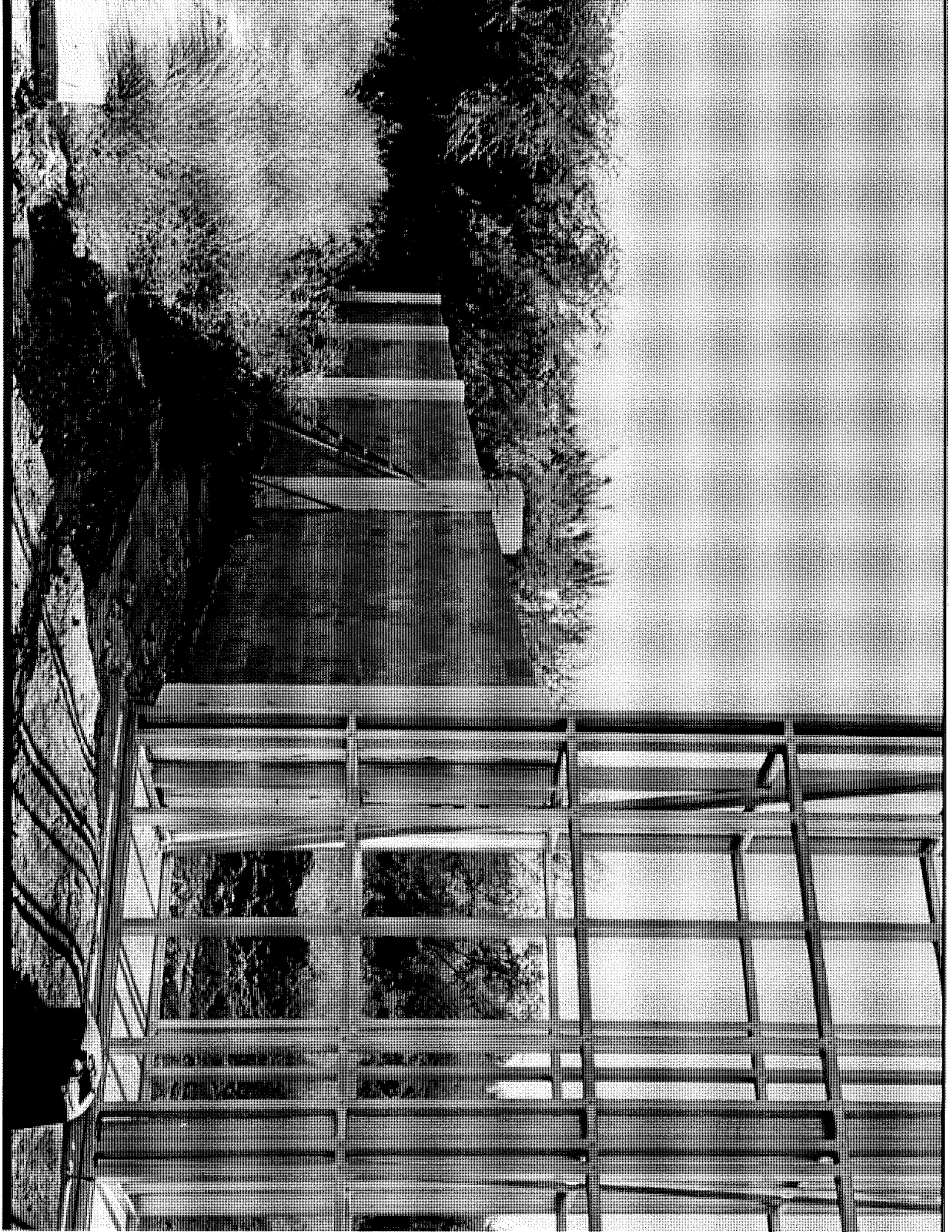


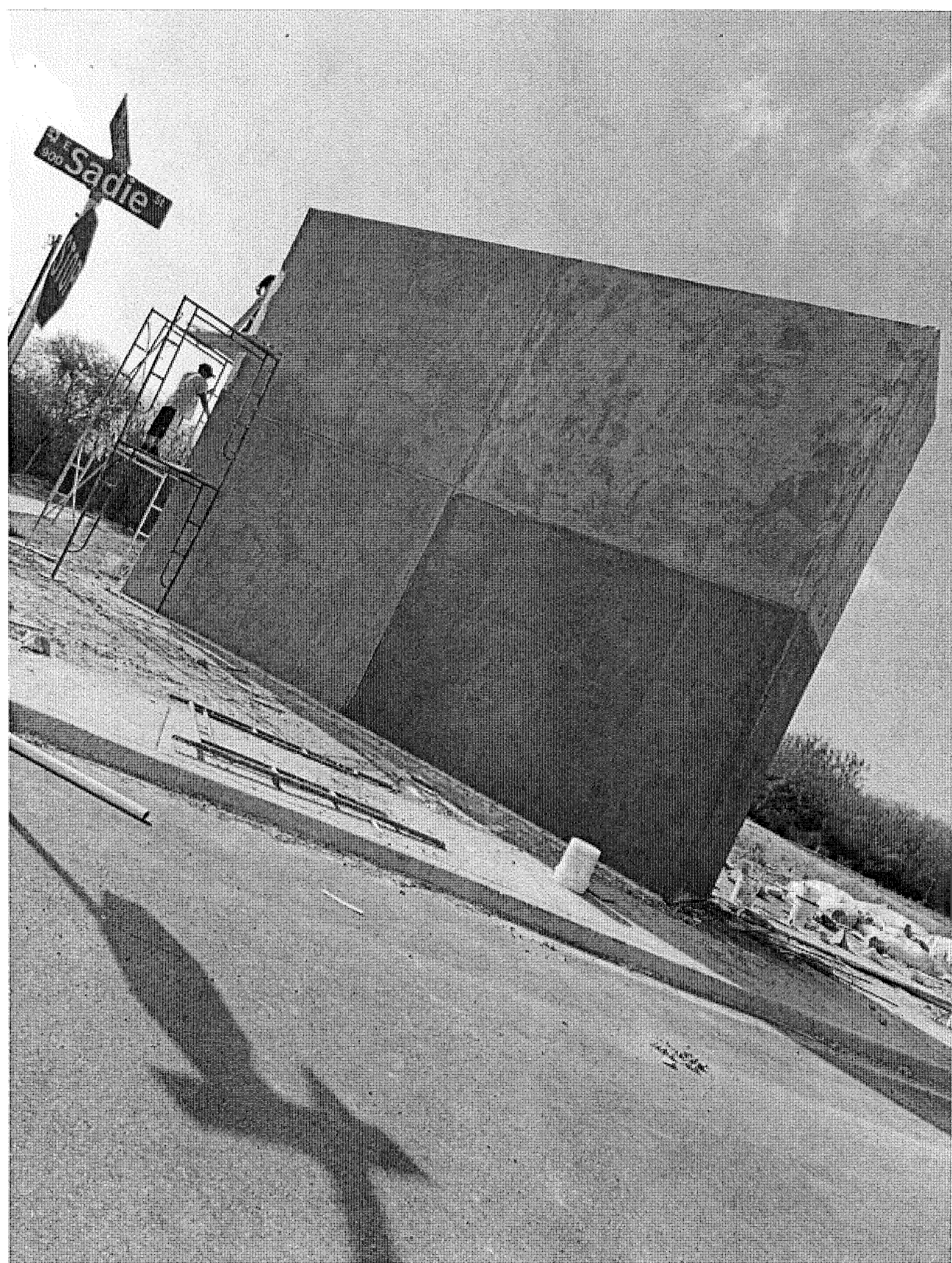


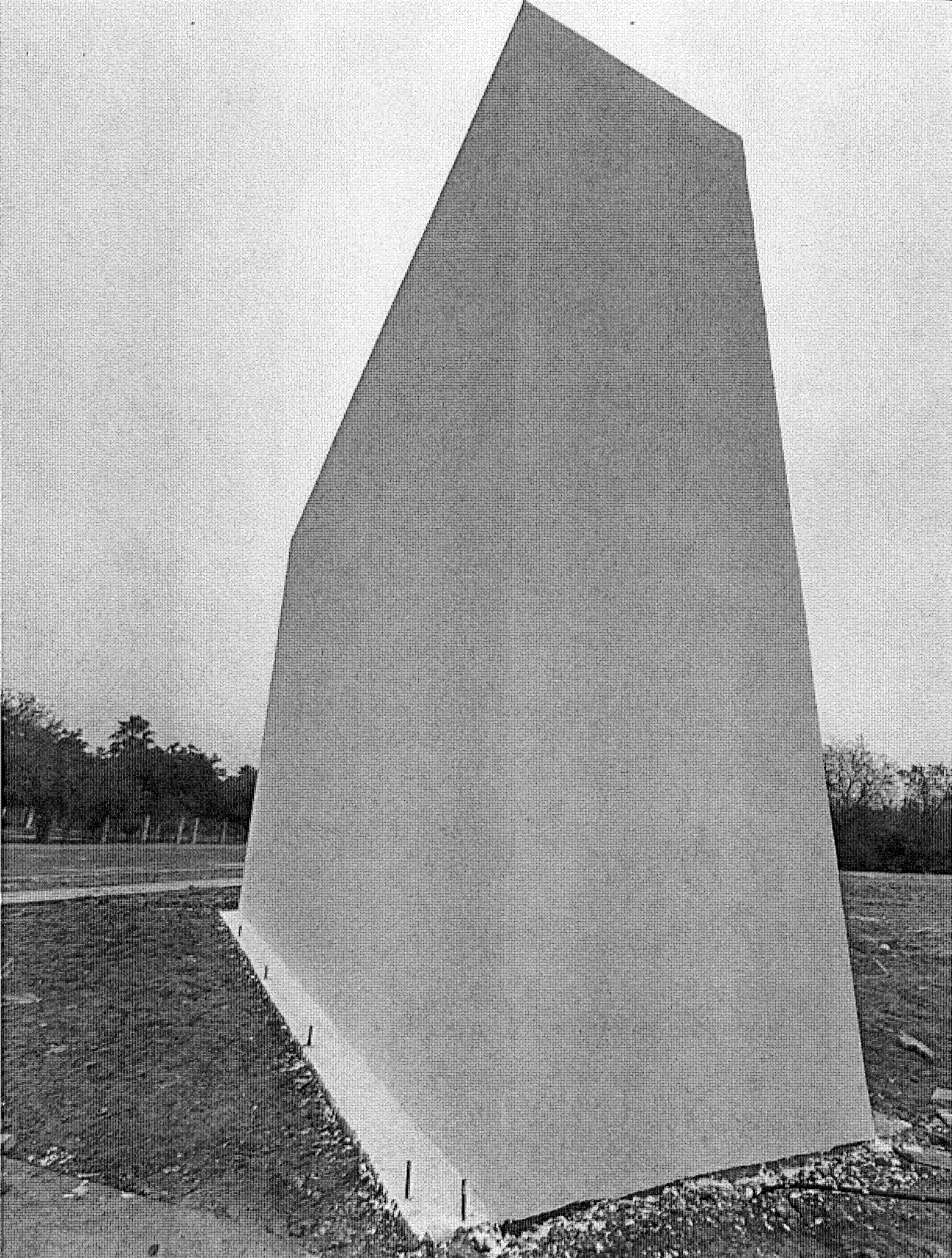


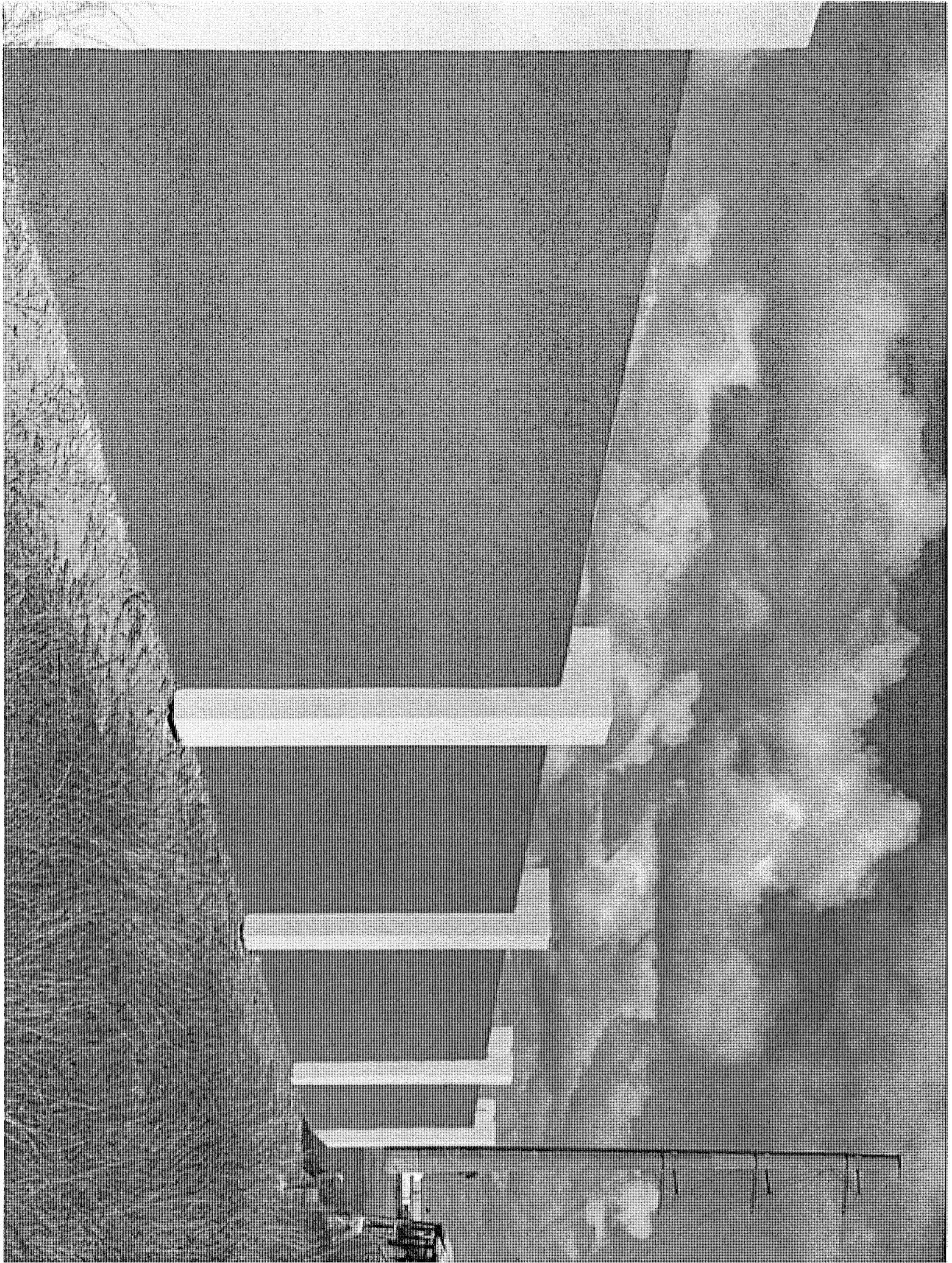


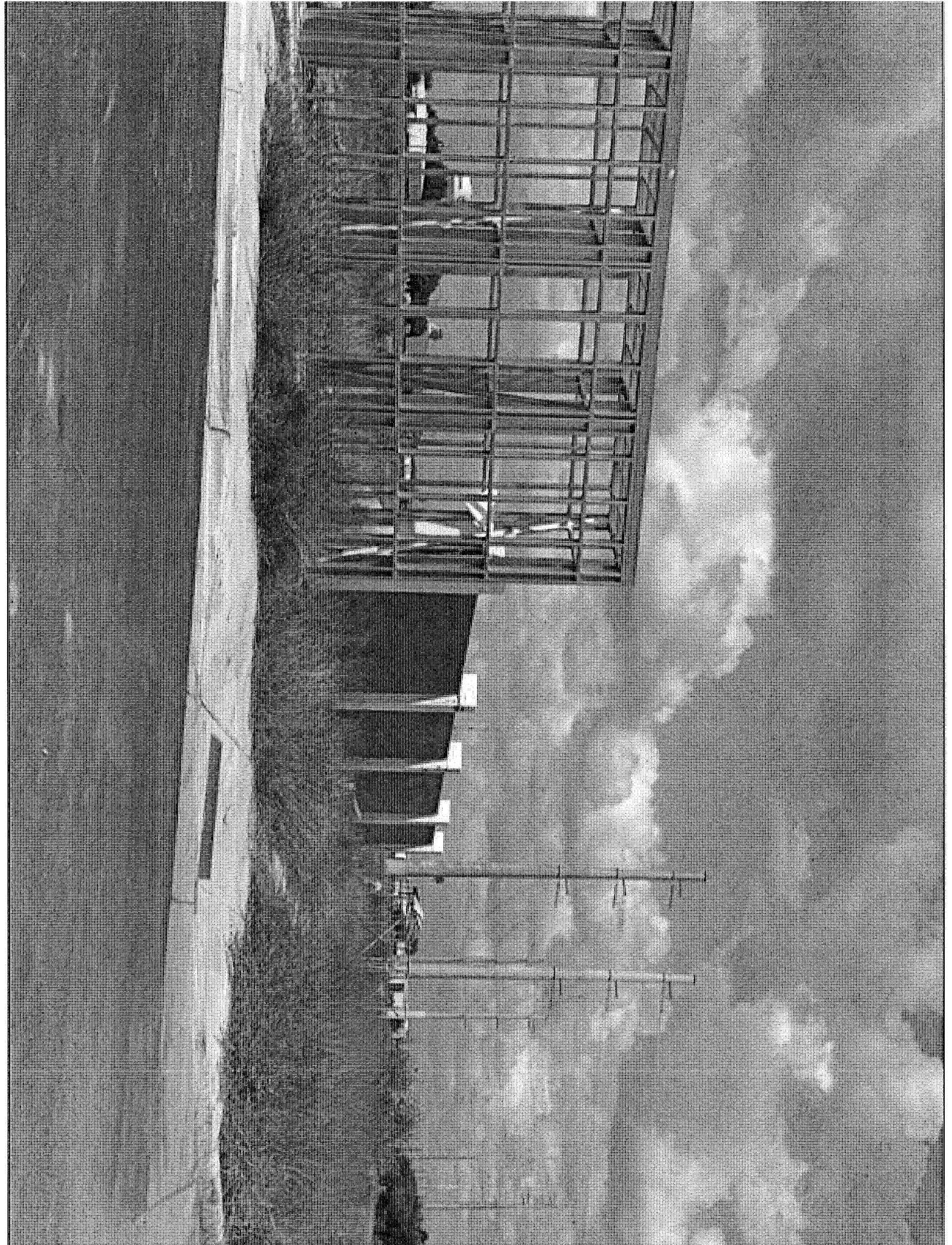














**To:** Mrs. Cecilia Garcia  
Hollywood Development and Construction, LLC  
10303 North 23<sup>rd</sup> Lane  
McAllen, Texas

**From:** Lucas Castillo, Jr. P.E

**RE: Monument Assessment**  
Crestwood Subdivision  
Edinburg, Texas  
ATLAS Project No. LOC25-092

**Date:** September 24, 2025

ATLAS Engineering Consultants (ATLAS) performed a visual assessment of a structure located at the entrance of the above referenced subdivision. The purpose of this assessment was to determine its structural integrity due to the lack of plans and inspections during construction. The monument consists of a steel framed structure approximately 16+ feet in height. The following code and loadings were used in our assessment.

- Building Code: 2018 IBC
- Wind Code: ASCE 7-16
- Wind Speed: 135 mph

Based on our observations, the monument structure was determined to be in accordance with the 2018 International Building Code. No modifications are warranted at this time.

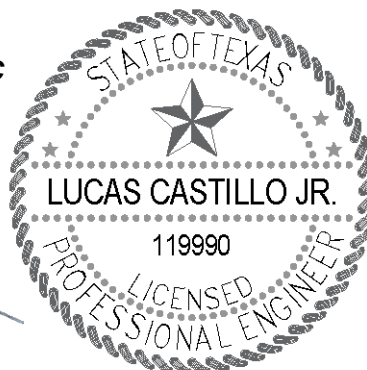
As denoted by the engineering seal on the construction documents and on this letter, we believe that we have fulfilled our obligations as an engineer under the Texas Engineering Practice Act pursuant to its requirements to protect the public health, safety and welfare in the practice of engineering. We further believe we have met those requirements insofar as our responsibility for periodic observation of the work for conformance is concerned.

#### Closing

Note that this brief transmittal report was to inspect the structural components of the monument structure located at the above referenced address. No additional warranties are implied. If you have any questions, or need additional clarifications, please contact me at (956) 379-3857.

Sincerely,  
**ATLAS Engineering Consultants, LLC**  
TBPE Firm No. F-17057

Lucas Castillo Jr., P.E  
Principal



09/24/2025



# Rezoning Request Site Photo

Khristian Galvan

3201 North Roegiers Road







# City of Edinburg

## PLANNING & ZONING COMMISSION

November 20, 2025

### Special Use Permit: On-Premise Consumption of Alcoholic Beverages

#### **AGENDA ITEM:**

Special Use Permit for On Premise Consumption for Alcoholic Beverages, Being 15.287 Acres, More or Less, Out of Lot 10, Block 271, Texas-Mexican Survey, Located at 123 E. Mark S. Pena Dr. As Requested By Edinburg Arts Foundation

#### **DESCRIPTION / SCOPE:**

The applicant is requesting a Special Use Permit for the On-Premise Consumption of Alcoholic Beverages, Mixed Beverage Permit and Food Beverage Certificate.

The property is located on the north side of E. Mark S. Pena Dr. approximately 300.00 feet east of S. Closner Boulevard. The property has 1,000 ft. of frontage along E. Mark S. Pena Dr. and a lot depth of 647.55 ft. The property is located in the Residential, Suburban (RS) District. Adjacent zoning is Commercial General (CG) District to the South, West and a part to the North, the rest of the North portion is zoned Residential, Primary (RP) District and Residential, Manufactured Home (MH) to the East.

The applicant is requesting a permit to sell alcohol at said location. The proposed hours of operation are Monday through Sunday from 10:00 a.m. to 12:00 a.m. Staff received a Special Use Permit Application: On-premise Consumption of Alcoholic Beverages on October 10, 2025. If approved, the applicant will proceed to obtain the necessary permit from the Texas Alcoholic Beverage Commission.

Staff mailed a notice of the public hearing to 35 neighboring property owners on Monday, November 10, 2025, and received one letter against this request. Notice of this public hearing was published in the newspaper on November 12, 2025.

#### **STAFF RECOMMENDATION:**

Staff recommends approval of the special use permit based the location and intent for this activity. The Edinburg Activity Center has been available for events and private parties for over 40 years. The proposed use should not present a conflict with previous uses at this location. If approved, the applicant will be required to comply with the additional following conditions:

1. The applicant complies with the hours of operation for the On-Premise Consumption of beer, wine and mixed beverages as allowed by the City and the Texas Alcoholic Beverage Commission.
2. Adequate security lighting must be provided for customer's safety and crime prevention purposes.
3. The applicant complies with all city requirements, including but not limited to building, building occupancy, fire codes, health permit, landscaping, parking, and all other City requirements.

4. Operations in connection with the proposed special use permit must not be more objectionable to nearby properties by reason of noise or other characteristics than would the operations of any permitted use not requiring special use approval. The use must comply with the City's Noise Standards as per the Unified Development Code.
5. The Special Use Permit may be revoked at any time by the Planning and Zoning Commission and City Council. **1 year permit renewal application will need to be turned in prior to October 5, 2026.**

Prepared by:  
**Anaisa Licerio**  
Planner II

Reviewed by:  
**Jaime Acevedo**  
Director of Planning and Zoning

**MEETING DATES:**  
**PLANNING & ZONING COMMISSION – 11/20/2025**  
**CITY COUNCIL – 12/02/2025**  
**DATE PREPARED – 10/01/2025**

**STAFF REPORT**  
**GENERAL INFORMATION**

**APPLICATION:** Special Use Permit for On-Premise Consumption of Alcoholic Beverages

**APPLICANT:** Edinburg Arts Foundation

**AGENT:** Magdiel Castle

**LEGAL:** Being 15.287 Acres, More or Less, Out of Lot 10, Block 271, Texas-Mexican Survey

**LOCATION:** 123 E. Mark S. Pena Dr.

**LOT/TRACT SIZE:** 15.287 acres

**CURRENT USE:** Activity Center

**PROPOSED USE:** Activity Center

**EXISTING ZONING:** Residential, Suburban (RS) District

**ADJACENT ZONING:** North – Commercial, General (CG) District & Residential, Suburban (RS) District  
South – Commercial, General (CG) District  
East – Commercial, General (CG) District  
West – Commercial, General (CG) District

**LAND USE PLAN:** General Commercial and Auto-Urban

**PUBLIC SERVICES:** City of Edinburg Water and Sewer

**RECOMMENDATION:** Staff recommends approval of the special use permit subject to the conditions listed in the staff report. A comprehensive evaluation is on the following page.

## **SPECIAL USE PERMIT – ON-PREMISE CONSUMPTION OF ALCOHOL EDINBURG ARTS FOUNDATION**

### **EVALUATION**

The following is staff's evaluation of the request.

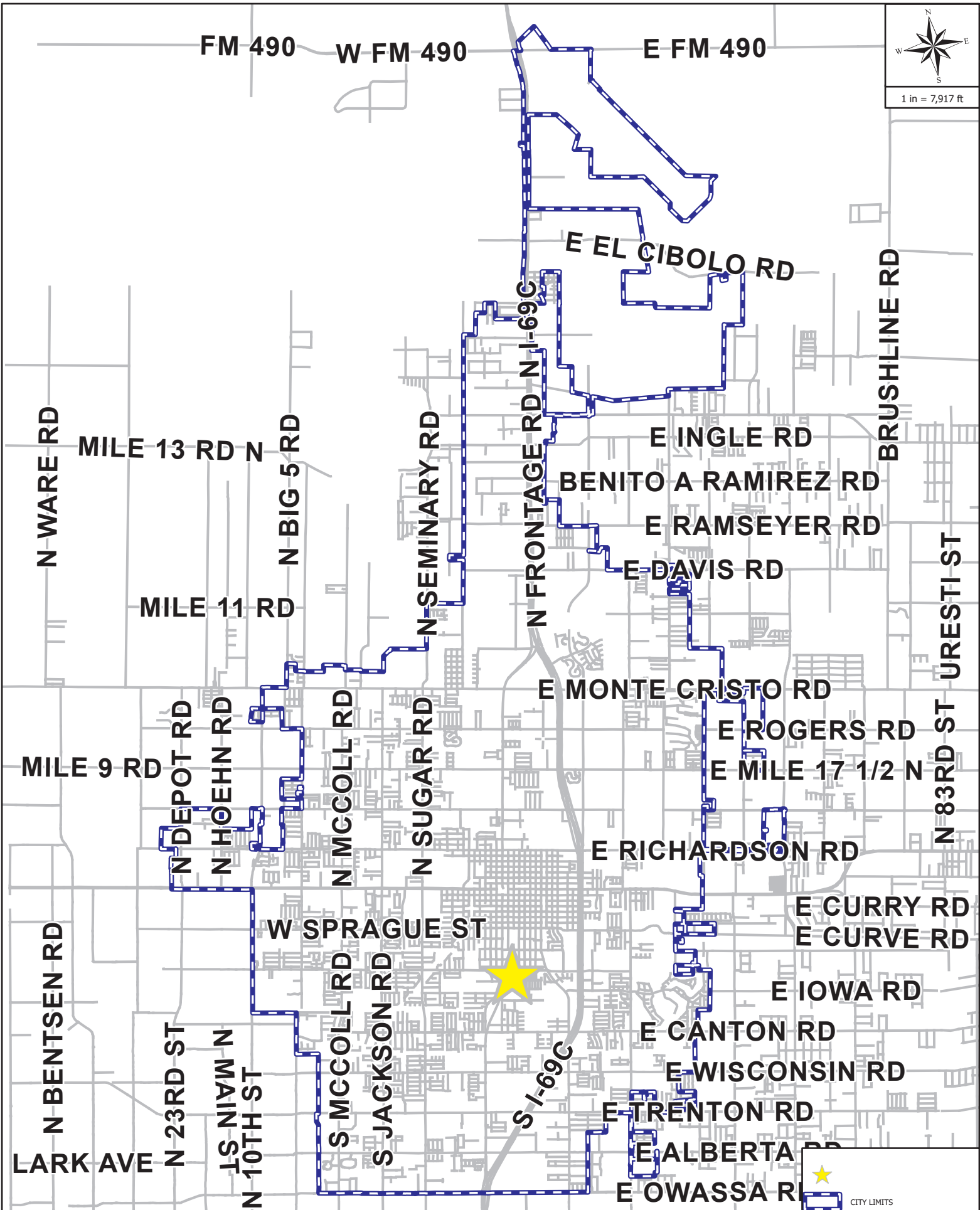
1. The area is characterized by mixed uses to include, but not limited Edinburg Police Department, Hotels, Restaurants and the Edinburg I.S.D. stadium.
2. The applicant is requesting the City's approval to sell Mixed Beverages with a Food and Beverage Certificate at the subject location.
3. The hours proposed by the applicant are Monday through Sunday from 8:00 a.m. to 12:00 a.m. These hours conform to TABC regulations.
4. The project, as proposed, is unlikely to present a conflict with surrounding uses.
5. Consumption of alcohol should be limited to the eating area designated by the applicant. Pedestrians taking open containers off of the subject property could result in violation of Edinburg Code of Ordinances, Title XI, Chapter 110, Section 110.10.

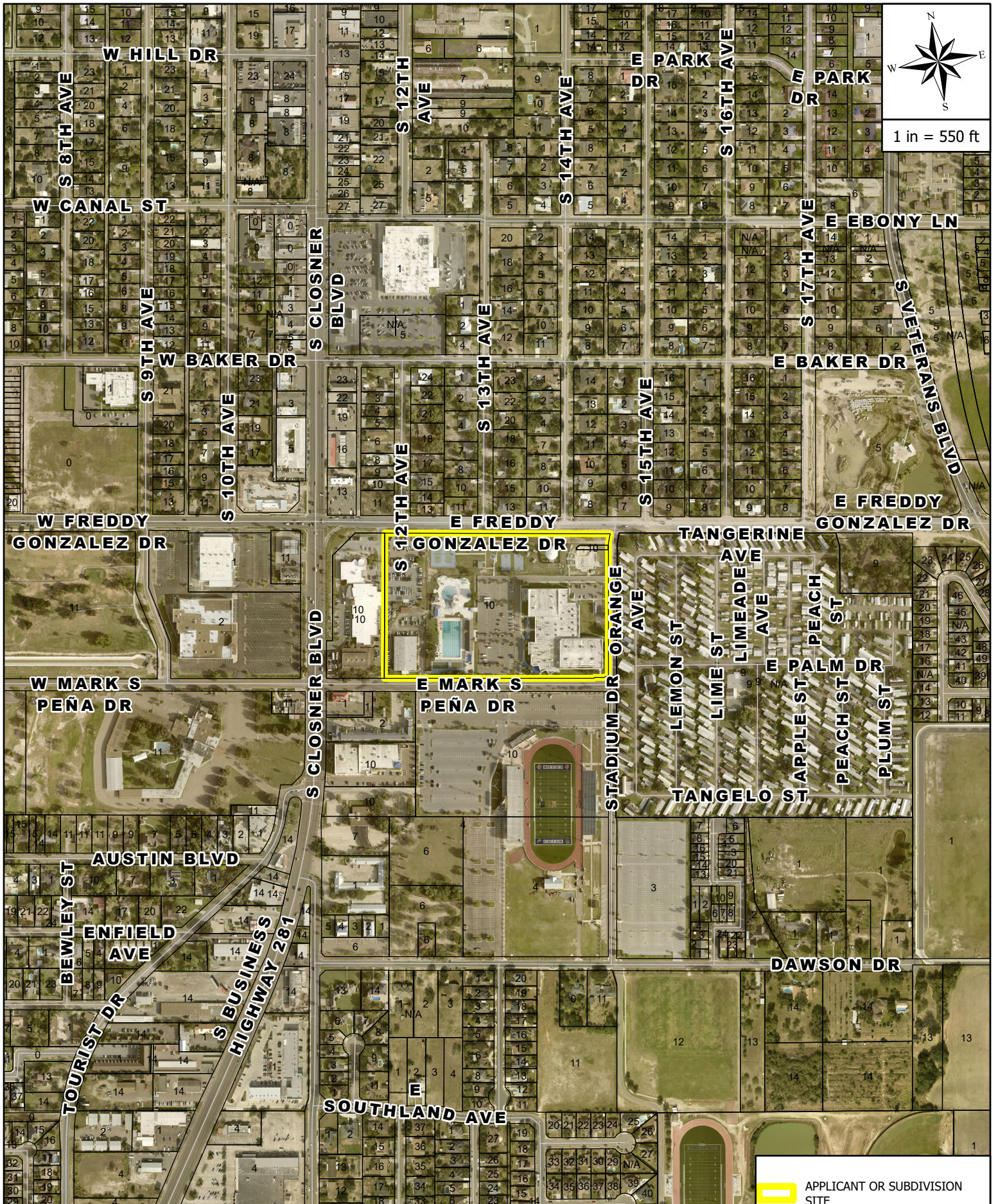
Staff recommends approval of the special use permit based the location and intent for this activity. The Edinburg Activity Center has been available for events and private parties for over 40 years. The proposed use should not present a conflict with previous uses at this location. If approved, the applicant will be required to comply with the additional following conditions:

1. Adequate security lighting must be provided for customer's safety and crime prevention purposes.
2. The applicant complies with all city requirements, including but not limited to building, building occupancy, fire codes, health permit, landscaping, parking, and all other City requirements.
3. Operations in connection with the proposed special use permit must not be more objectionable to nearby properties by reason of noise or other characteristics than would the operations of any permitted use not requiring special use approval. The use must comply with the City's Noise Standards as per the Unified Development Code.
4. The Special Use Permit may be revoked at any time by the Planning and Zoning Commission and City Council. **1 year permit renewal application will need to be turned in prior to October 5, 2026.**


The City may impose appropriate conditions and safeguards including a specific period of time. Each permit is reviewed on a case by case basis and neighborhood input is a vital component in the final outcome of an application for the On-Premise Consumption of mixed beverages at this location. Additionally, land use characteristics of an area, traffic and other factors are considered in reviewing these requests.

Staff mailed a notice of the public hearing to 35 neighboring property owners on Monday, November 10, 2025, and received one letter against this request. Notice of this public hearing was published in the newspaper on November 12, 2025.





1 in = 550 ft

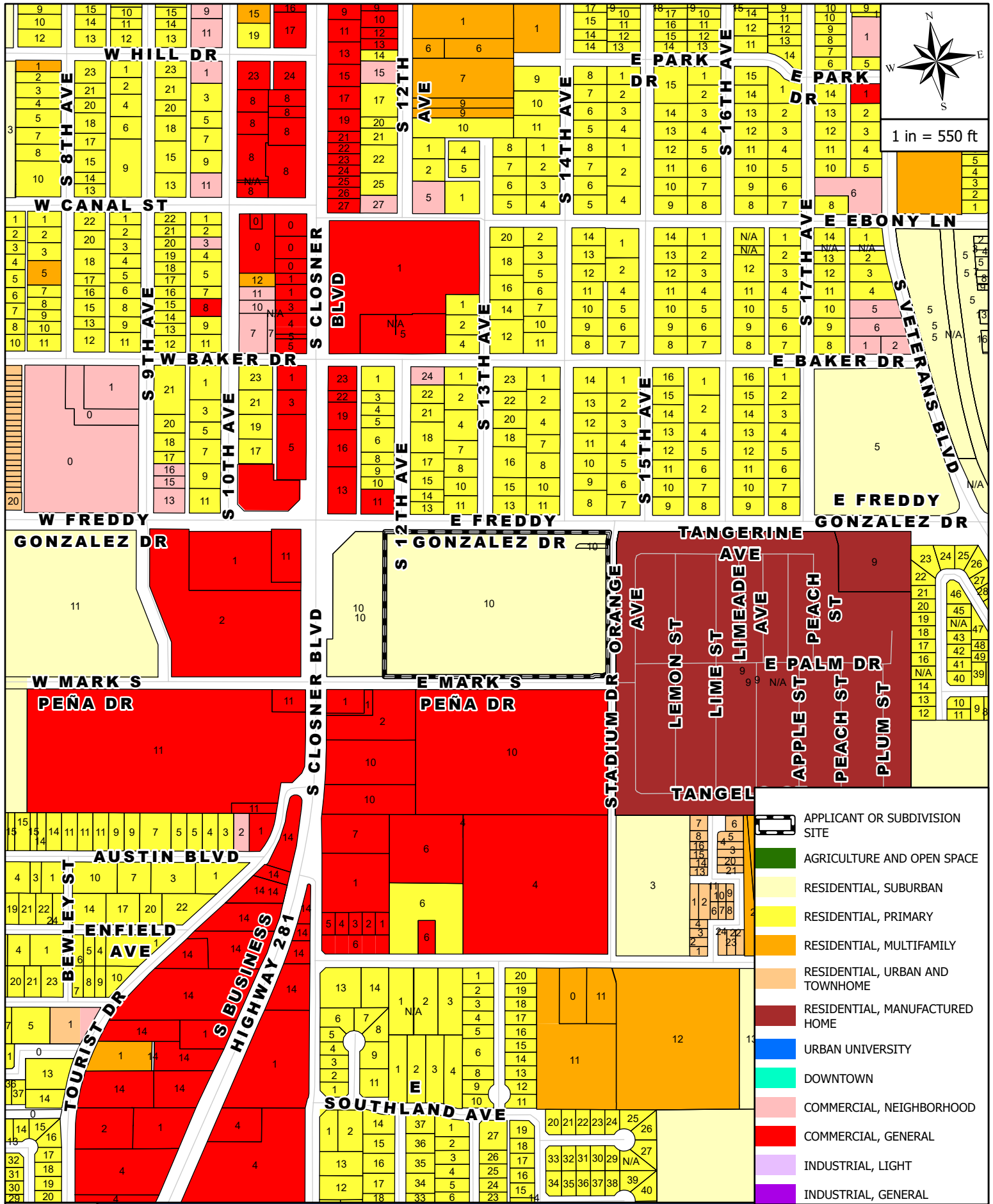
 APPLICANT OR SUBDIVISION SITE



**AERIAL MAP**

**APPLICANT AND/OR SUBDIVISION:**

EDINBURG ARTS FOUNDATION

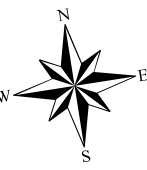
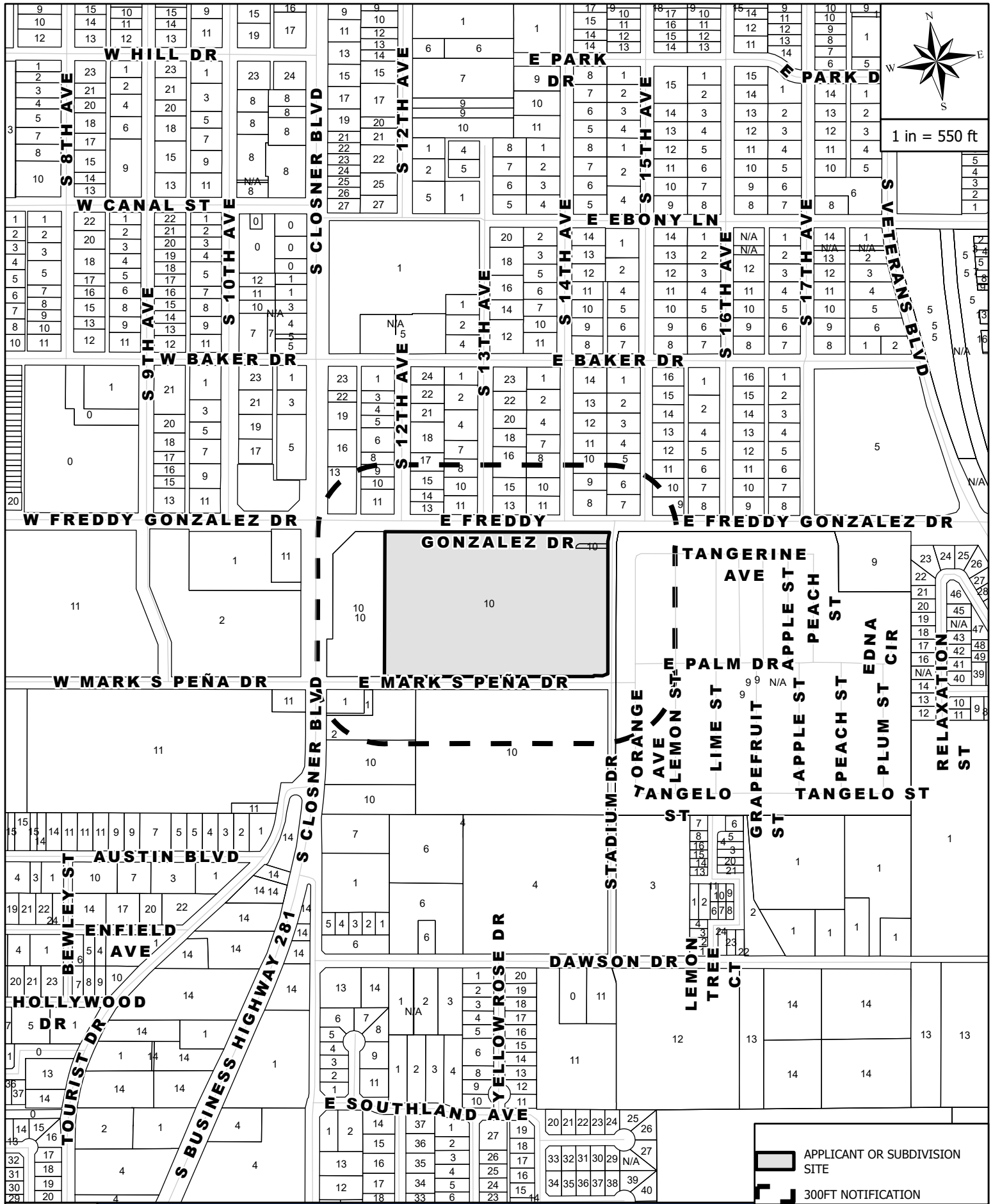


**ZONING MAP**



**APPLICANT AND/OR SUBDIVISION:**

EDINBURG ARTS FOUNDATION





1 in = 550 ft

 APPLICANT OR SUBDIVISION SITE  
 300FT NOTIFICATION

**MAILOUT AND SITE MAP**  
**APPLICANT AND/OR SUBDIVISION:**  
 EDINBURG ARTS FOUNDATION





# Special Use Permit Request Site Photo

Edinburg Arts Foundation

123 E. Mark S. Pena Dr





**NOTIFICATION**

Dear Property Owner:

A public hearing will be held on **Thursday, October 23, 2025, at 5:30 P.M.** in the Edinburg City Hall, City Council Chambers, located at 415 West University Drive, at which time the Planning and Zoning Commission will address the following:

**SPECIAL USE PERMIT FOR ON PREMISE CONSUMPTION FOR ALCOHOLIC BEVERAGES, BEING 15.287 ACRES, MORE OR LESS, OUT OF LOT 10, BLOCK 271, TEXAS-MEXICAN SURVEY, LOCATED AT 123 E. MARK S PENA DR AS REQUESTED BY EDINBURG ARTS FOUNDATION.**

This district has a predominantly auto-urban character. It is the primary residential district, intended to permit a wide range of single-family residential uses.

This request is scheduled to be heard by the **City Council on Tuesday, November 18, 2025, at 6:00 P.M.** As a property owner within 300 ft. of the subject property, you are invited to attend. Please note that meeting time (s) and date (s) are subject to change. Therefore; please call on the date of the meeting to assure that the item is on the agenda. As part of the City effort to encourage greater participation in the rezoning process, **the City is using this notice to solicit your input, but no action or response is required.** Should you have any questions or need more information regarding this notice, you may call (956) 388-8202.

You may return your response by one of the following: MAIL: P. O. Box 1079 Edinburg, Texas 78540  
FAX: (956) 292-2080 by Wednesday, October 22, 2025  
EMAIL: [planning@cityofedinburg.com](mailto:planning@cityofedinburg.com) by Wednesday, October 22, 2025

Please place a checkmark on the appropriate box to indicate if you are in favor, against, or have no comments on this request.

In Favor/A Favor       Against/En Contra       No Comments/No Comentario

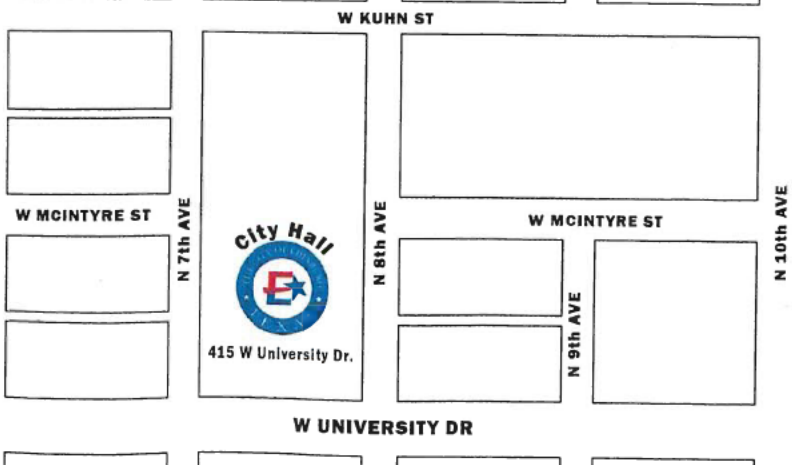
Comments: AREA IS PART OF PARKS & RECREATION CONSTRUCTED FOR FAMILY & CHILDREN NOT FOR BAR & GRILL CANTINA. STADIUM DR. HAS MAJOR TRAFFIC CONGESTION ESPECIALLY DURING FOOTBALL AND OTHER SPECIAL EVENTS. ITS A BUSY ST. ON FREDDY GONZALEZ WHERE TRAFFIC HAVE RUN OVER TRAFFIC POLICES TRIPPLE PEOPLE.

Print Name: [REDACTED] Phone No. [REDACTED]  
Address: [REDACTED] City: EDINBURG State: [REDACTED] Zip: [REDACTED]

**NOTIFICACIÓN**

Si tiene preguntas o necesita información sobre esta aplicación en español, por favor llame al 956-388-8202.

Planning and Zoning Department  
City of Edinburg  
PO BOX 1079  
Edinburg, TX 78540-1079





# City of Edinburg

## PLANNING & ZONING COMMISSION

Regular Meeting: 11/20/2025

### — SUBDIVISION VARIANCE —

#### THE WOODLANDS AT JACKSON SUBDIVISION

- 1. Agenda Item:** Consider Variance Request to the City's Unified Development Code, Article 4, Section 4.204, Bufferyards, Table 4.204-1, Bufferyard Classifications for The Woodlands at Jackson Subdivision, being a 4.00-acre tract of land out of Lot 4, Section 242, Texas-Mexican Railway Company's Survey, Hidalgo County, Texas, as per map recorded in Volume 1, Page 12, Hidalgo County Map Records, located at 1802 N. Jackson Road, as requested by Marco Santivanez.
- 2. Description/Scope:** The property is located on the east side of N. Jackson Road and approximately 1,323 feet north of West Chapin Road, and is within the City of Edinburg city limits. The 4.00-acre tract of land is currently going through the subdivision process and the proposed development consists of twelve (12) Residential, Multi-Family lots. Marco Santivanez, the developer and owner is requesting a variance to the City's Unified Development Code (UDC) for the aforementioned subdivision.

#### **Variance Request: Section 4.204, Bufferyards, Table 4.204-1, Bufferyard Classifications**

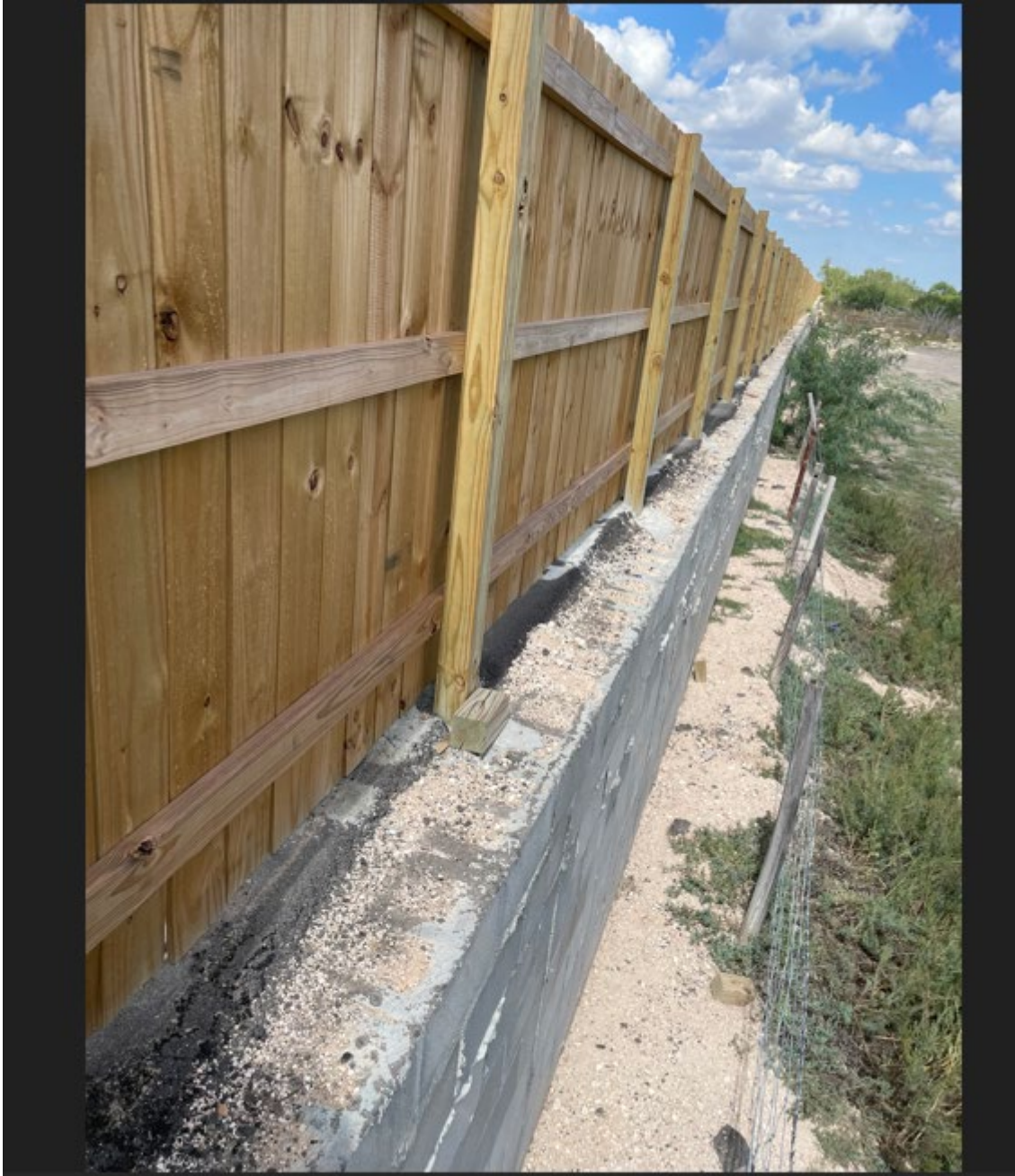
This requested variance is to Article 4, Section 4.204, Table 4.204-1, Bufferyard Classifications as it applies to buffers that are required between different abutting zoning districts. The developer's reason for the request is due to the property being raised 3 feet and are adding a 3-foot retaining wall along the north and south side of the abutting Residential, Suburban (RS) District, and Residential, Primary (RP) District respectively. Our UDC requires for a Class A buffer, specifically a wall since the depth of the subdivision is more than 200 ft. on each side. The developer is proposing a mixture of both the CMU wall and cedar fence for the buffer. It will consist of the 3 ft. retaining wall at the bottom and the 6 ft. cedar fence on top of the CMU. Due to elevation differences between abutting properties, the applicant states that this option works best. (example photo attached)

**Staff's Recommendation:** Staff recommends approval of the variance request as the buffer that the applicant is proposing will help prevent flooding issues to the abutting subdivisions to the north and south of the development. Staff recommends that the proposed 3 ft. CMU wall does not include any weeps holes that will allow water to seep through and design the wall to drain towards N Jackson Rd. Staff recommends the applicant comply with all other requirements listed on our Unified Development Code.

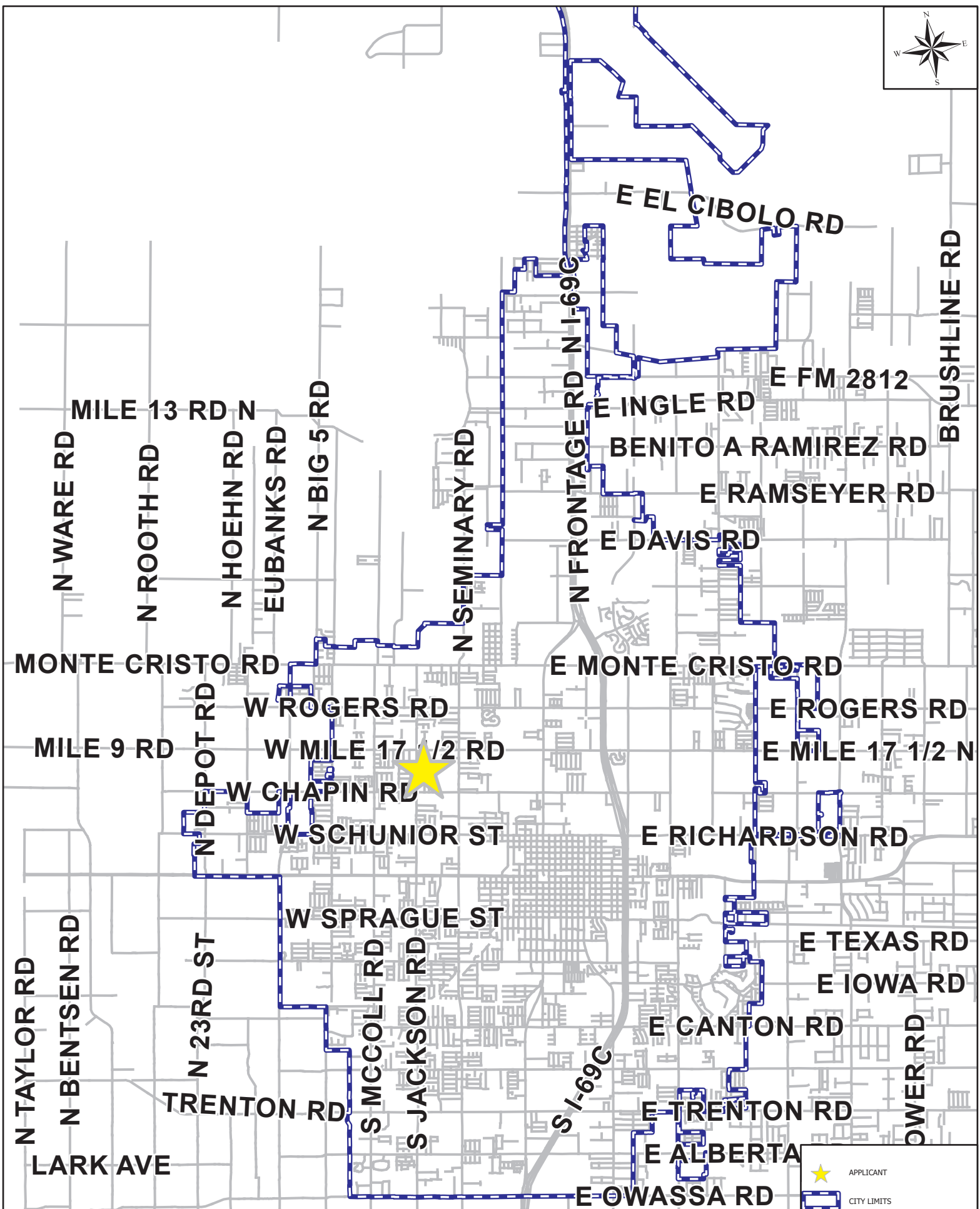




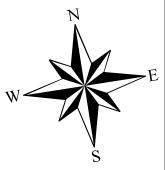
Example of Proposed site structure for buffer – 3 ft CMU and 6 ft Cedar on top -



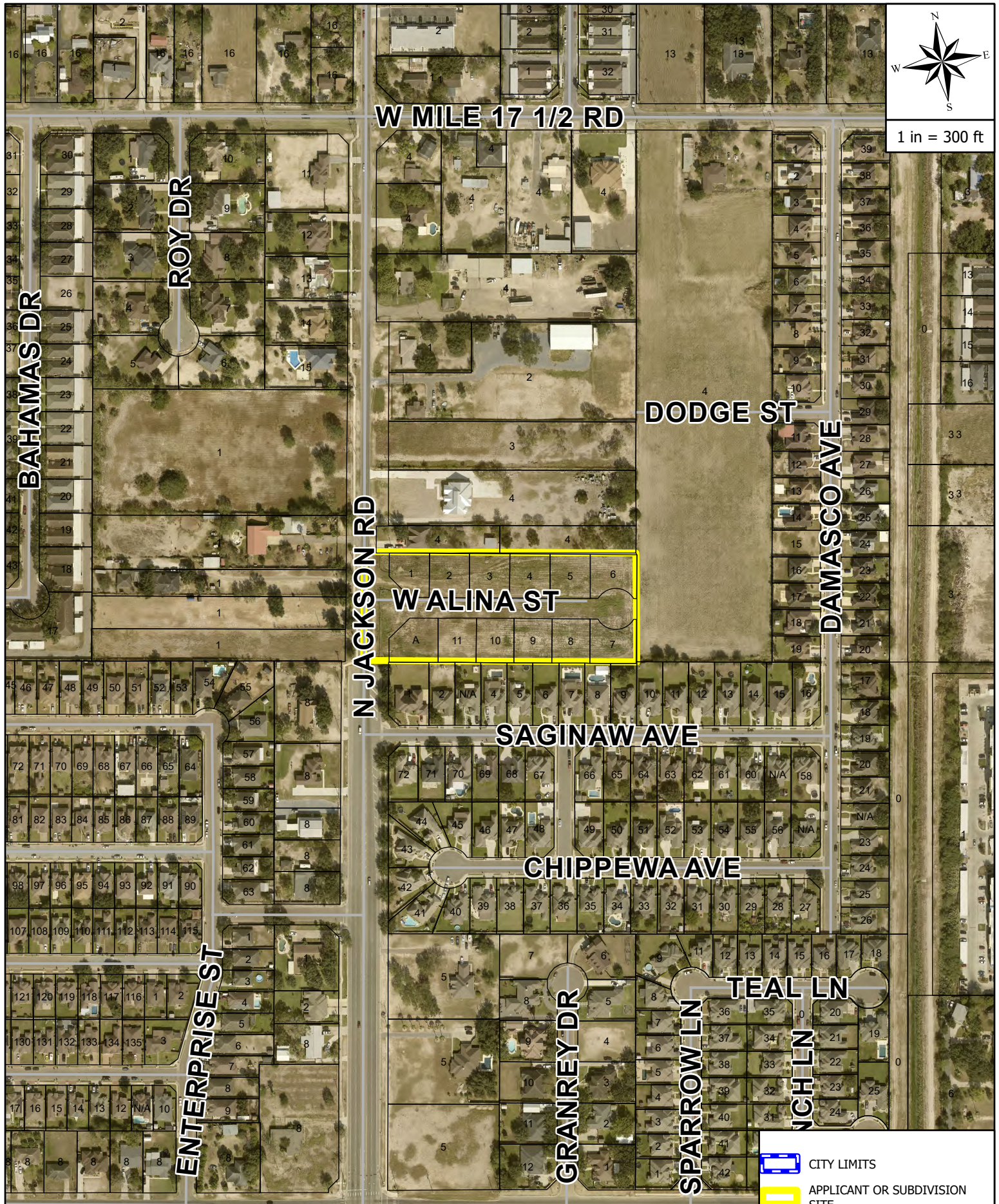
The Woodlands at Jackson Subdivision - VAR-2025-0341





★ APPLICANT  
 [Dashed Blue Line] CITY LIMITS



1 in = 300 ft



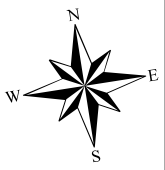
-  CITY LIMITS
-  APPLICANT OR SUBDIVISION SITE



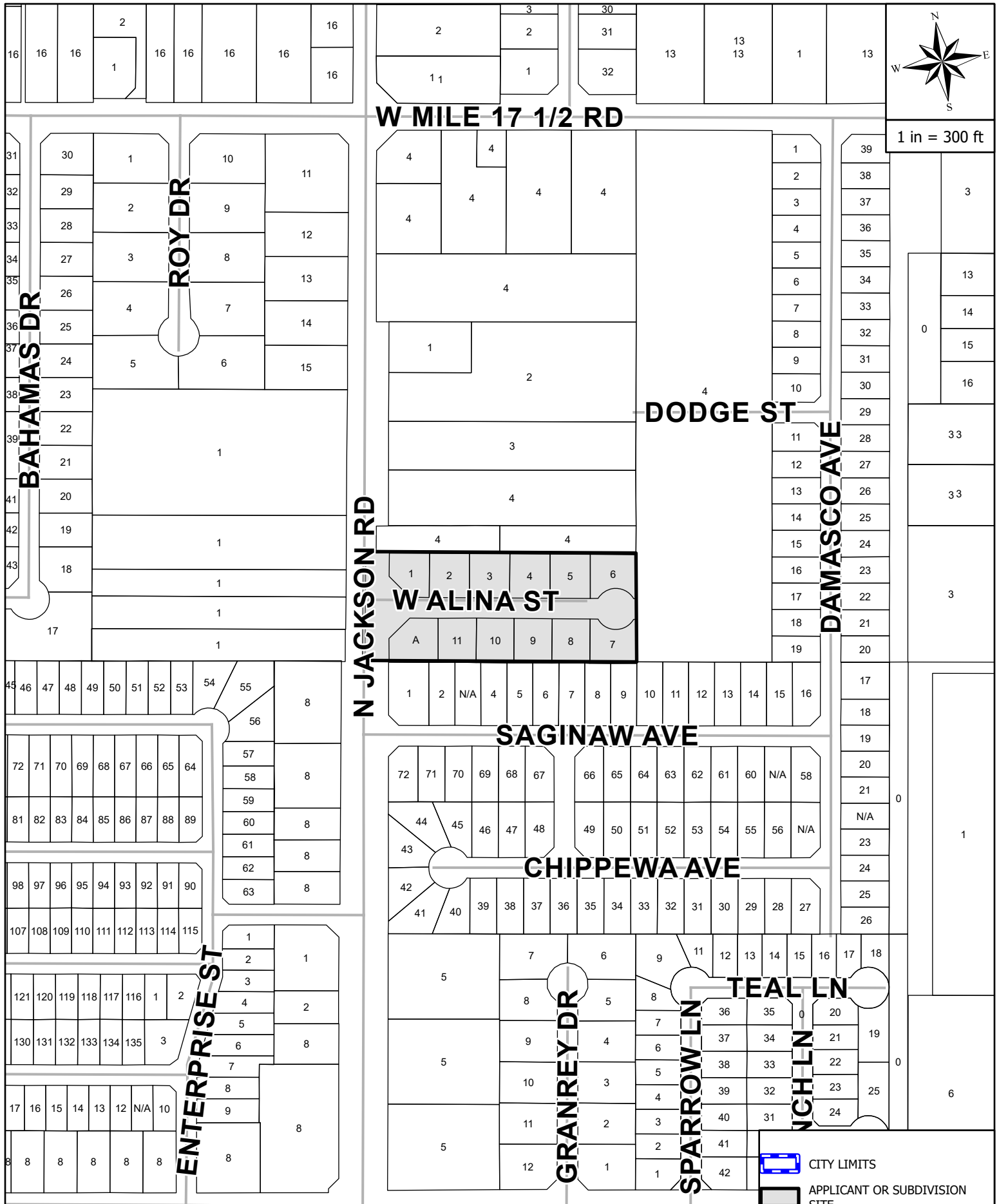
### AERIAL MAP

### APPLICANT AND/OR SUBDIVISION:

VAR-2025-0341 1802 JACKSON RD



1 in = 300 ft

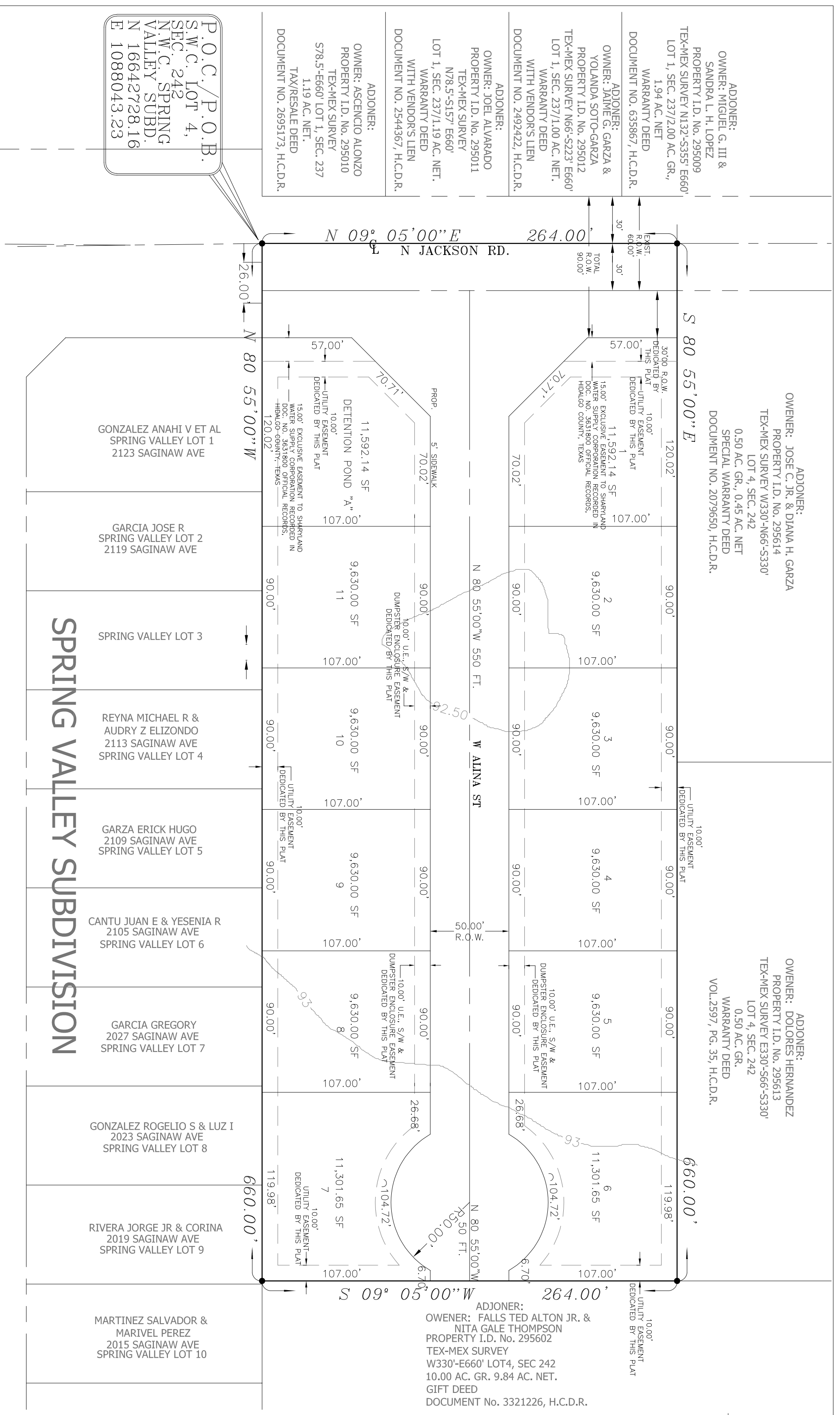


**MAILOUT AND SITE MAP**

**APPLICANT AND/OR SUBDIVISION:**

VAR-2025-0341 1802 JACKSON RD

- CITY LIMITS
- APPLICANT OR SUBDIVISION SITE



**GENERAL NOTES:**

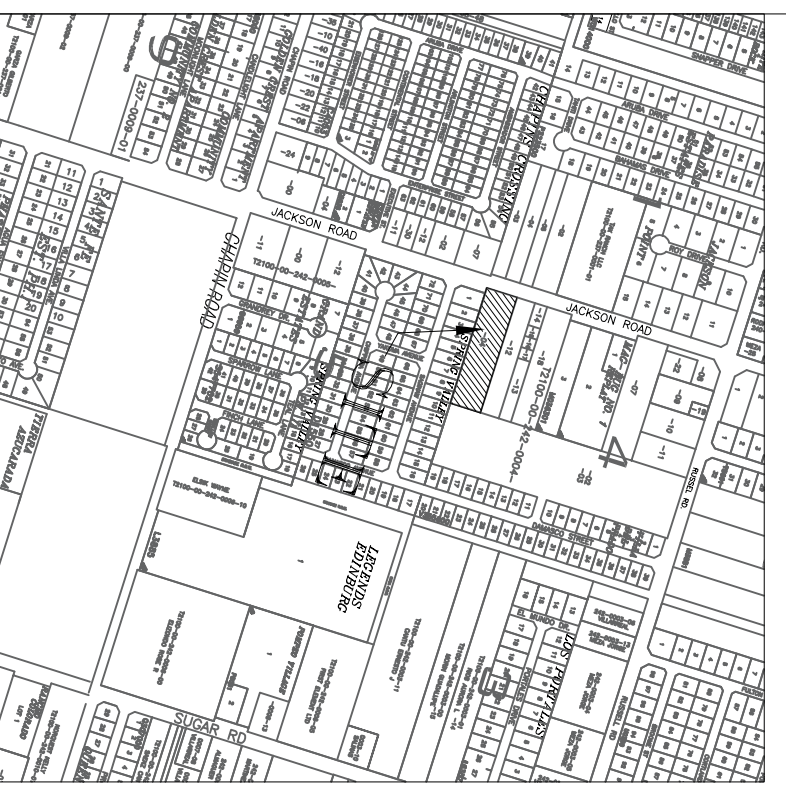
1. PROPOSED SETBACKS FOR RESIDENTIAL, MULTIFAMILY (RM) ZONED LOTS AS PER THE FOLLOWING:  
FRONT 10' OR GREATER FOR EASEMENTS  
REAR 10' OR GREATER FOR EASEMENTS  
SIDE 05' OR GREATER FOR EASEMENTS  
FRONT CUL-DE-SAC 15' OR GREATER FOR EASEMENTS  
REAR CUL-DE-SAC 15' OR GREATER FOR EASEMENTS  
STREET SIDE YARD (CORNER) 10' OR GREATER FOR EASEMENTS  
18' OR GREATER FOR EASEMENTS
2. MINIMUM PERMISSIBLE FINISHED FLOOR ELEVATION: 24" ABOVE TOP OF CURB MEASURED AT FRONT OF EACH LOT.
3. THE SUBDIVISION IS IN ZONE X-SHADED; AREAS OF 500-YEAR FLOOD, AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 10 ACRES, ARE PROTECTED BY LEVEES FROM 100-YEAR FLOOD, IN ACCORDANCE WITH FEMA, COMMUNITY FIRM MAP NO. 480328 0030 E, MAP REVISED JUNE 04, 2010.
4. BENCHMARK: 96.00 NAIL ON POWER POLE FOUND SOUTH WEST CORNER OF PROPOSED SUBDIVISION, NAVD 88 DATUM, LAT 26.3225377N, LONG -98.1829594 E
5. NO PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN UTILITY EASEMENTS, GAS EASEMENTS, IRRIGATION EASEMENTS, LOT LINES.
6. TOTAL VOLUME REQUIRED TO DETAIN 0.65 AC-FT (28,099 CF.) OF STORM RUNOFF AS PER APPROVED DRAINAGE REPORT FOR THE WOODLAND AT JACKSON SUBDIVISION.
7. NO ACCESS TO LOT 1 FROM JACKSON ROAD IS ALLOWED.
8. A FIVE (5) FOOT SIDEWALK FIVE (5) FEET BEHIND THE BACK OF CURB IS REQUIRED ALONG JACKSON ROAD AND BOTH SIDES OF INTERIOR STREET. SIDEWALKS TO BE CONSTRUCTED AT BUILDING PERMIT STAGE, INCLUDING HANDICAP RAMPS IN COMPLIANCE WITH ADA STANDARDS.
9. ALL CONSTRUCTION SHALL COMPLY WITH STORMWATER POLLUTION PREVENTION PLAN (SWP REQUIREMENTS).
10. SET NO. 4 IRON REBAR ON ALL PROPOSED LOT CORNERS
11. PROPERTY ZONING IS RESIDENTIAL MULTIFAMILY (RM)
12. A SEPARATE PERMIT IS REQUIRED FOR SIDEWALKS DURING BUILDING PERMIT STAGE FOR RESIDENTIAL USE.
13. 50% OF PERCENT OF THE PARKLAND FEE WILL BE REQUIRED AT BUILDING PERMIT STAGE \$300.00
14. NO CEDAR FENCE OR BLOCK SHALL BE ALLOWED ON FRONT OF LOTS - (OPaque)
15. ALL LOTS MUST HAVE 1 % GRADE FROM REAR OF LOT TO STREET TO PROVIDE POSITIVE DRAINAGE.
16. DRAINAGE DETENTION AREA "A" SHALL BE USED FOR THE PURPOSES OF DRAINAGE DETENTION FOR THE WOODLAND AT JACKSON SUBDIVISION ONLY AND CANNOT BE EXCHANGED FOR OWNERSHIP. MUST BE FURNISHED AND MAINTAINED BY THE SUBDIVISION DEVELOPER UNTIL HOA IS ESTABLISHED.
17. ALL SHARPLAND WATER SUPPLY CORPORATION EASEMENTS ARE EXCLUSIVE. NO OTHER USE OF EASEMENT IS PERMITTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF SHARPLAND WATER SUPPLY CORPORATION.

**GENERAL NOTES:**

**LEGEND**

- FOUND 6.0-9' NAIL
- FOUND 1/2" IRON ROD
- SET 1/2" IRON ROD
- POINT OF BEGINNEMENT
- R.O.M. RIGHT OF WAY
- P.O.C. POINT OF BEGINNEMENT
- H.C.D.R. HIDALGO COUNTY DEED RECORDS
- H.C.M.R. HIDALGO COUNTY MAP RECORDS
- S.W.S.C. SHARPLAND WATER SUPPLY CORPORATION

**VICINITY MAP**



**PRINCIPAL CONTACTS:**

NAME	ADDRESS	CITY & ZIP	PHONE
OWNER: MARCO SANTIVANEZ	2413 VICTORIA AVENUE	EDINBURG, TX, 78539	(956) 250-6881
ENGINEER: MARIO A. SALINAS	3911 N. 10TH STREET, SUITE H	MCALLEN, TX, 78501	(956) 537-1311
SURVEYOR: DAVID O. SALINAS	2221 DAFFODIL AVENUE	MCALLEN, TX, 78501	(956) 682-9081

**MAP OF THE WOODLANDS AT JACKSON SUBDIVISION**

**A 4.00 ACRE TRACT OF LAND OUT OF LOT 4, SECTION 01, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS, AS PER MAP RECORDED IN VOLUME 1, PAGE 12, MAP RECORDS OF HIDALGO COUNTY.**

METES AND BOUNDS DESCRIPTION

BEING A 4.00 GROSS ACRE TRACT OF LAND, MORE OR LESS, OUT OF AND FORMING A PART OF LOT 4, SECTION 242, TEXAS-MEXICAN RAILWAY COMPANY'S SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 01, PAGE 12, MAP RECORDS OF HIDALGO COUNTY, TEXAS; SAID 4.00 ACRE TRACT OF LAND IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A NAIL FOUND ON THE SOUTHWEST CORNER OF SAID LOT 4 LOCATED IN THE CENTER OF N. JACKSON ROAD FOR THE SOUTHWEST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT; SAID NAIL FURTHER BEING LOCATED ON THE NORTHWEST CORNER OF SPRING VALLEY SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 51, PAGE 170, HIDALGO COUNTY MAP RECORDS;

- (1) THENCE, NORTH 09 DEGREES 05 MINUTES EAST, CONCORDENT WITH THE WEST LINE OF SAID LOT 4, A DISTANCE OF 264.0 FEET TO A NAIL FOUND FOR THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;
- (2) THENCE, SOUTH 80 DEGREES 55 MINUTES EAST ALONG A LINE PARALLEL TO THE SOUTH LINE OF SAID LOT 4, A DISTANCE OF 30.0 FEET PASS A ½ INCH DIAMETER IRON ROD FOUND ON INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID N. JACKSON ROAD, AT A DISTANCE OF 660.0 FEET IN ALL TO ½ INCH DIAMETER IRON ROD FOUND FOR THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;
- (3) THENCE, SOUTH 09 DEGREES 05 MINUTES WEST ALONG A LINE PARALLEL TO THE WEST LINE OF SAID LOT 4, A DISTANCE OF 264.0 FEET TO A ½ INCH DIAMETER IRON ROD FOUND ON INTERSECTION WITH THE SOUTH LINE OF SAID LOT 4, SAID BEING LOCATED ON INTERSECTION WITH THE NORTH LINE OF SAID SPRING VALLEY SUBDIVISION FOR THE SOUTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;
- (4) THENCE, NORTH 80 DEGREES 55 MINUTES WEST, CONCORDENT WITH THE SOUTH LINE OF SAID LOT 4 AND THE NORTH LINE OF SAID SPRING VALLEY SUBDIVISION, A DISTANCE OF 630.0 FEET PASS A ½ INCH DIAMETER IRON ROD FOUND ON INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID N. JACKSON ROAD, AT A DISTANCE OF 660.0 FEET IN ALL TO THE POINT OF BEGINNING, CONTAINING 4.0 GROSS ACRES OF LAND, MORE OR LESS, OF WHICH THE WEST 3.00 FEET (OR 0.18 ACRES, MORE OR LESS) ARE LOCATED WITHIN THE RIGHT-OF-WAY OF SAID N. JACKSON ROAD, LEAVING 3.82 NET ACRES OF LAND, MORE OR LESS.

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, DAVID O. SALINAS, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, MADE AND PLACED UNDER MY SUPERVISION AND THAT ALL ASPECTS OF IT ARE IN ACCORDANCE WITH THE CITY OF EDINBURG SUBDIVISION ORDINANCE AND ALL STATE STATUTES GOVERNING SURVEYS.

SALINAS ENGINEERING & ASSOCIATES  
CONSULTING ENGINEERS & SURVEYORS  
2413 VICTORIA AVENUE  
EDINBURG, TEXAS 78501

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. SALINAS, A LICENSED PROFESSIONAL ENGINEER, IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

MARIO A. SALINAS, P.E.  
LICENSED PROFESSIONAL ENGINEER # 96611  
3911 N. 10TH STREET, SUITE H,  
MCALLEN, TEXAS 78501

STATE OF TEXAS  
COUNTY OF HIDALGO

I/WE THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE WOODLANDS AT JACKSON SUBDIVISION TO THE CITY OF EDINBURG, TEXAS, AND WHOSE NAME(S) IS/ARE SUBSCRIBED HERETO, DO HEREBY GRANT AN EASEMENT TO THE CITY OF EDINBURG AND THOSE WHO MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY, THE SURFACE USE OF THE STREETS, COMMON AREAS AND UTILITY EASEMENTS THEREON, SHOWN ARE RESTRICTED TO THE EMPLOYEES AND AGENTS OF THE CITY OF EDINBURG, EMPLOYEES OF THE UTILITY COMPANIES UNDER FRANCHISE OF SAID CITY, AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS. OWNERSHIP AND MAINTENANCE OF ALL STREET IMPROVEMENTS AND COMMON AREAS SHALL REMAIN WITH AND BE THE RESPONSIBILITY OF THE WOODLANDS HOMEOWNERS'S ASSOCIATION.

MARCO SANTIVANEZ  
2413 VICTORIA AVENUE  
EDINBURG, TEXAS 78539

STATE OF TEXAS:  
COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE (SHE) UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

NOTARY PUBLIC \_\_\_\_\_ DATE \_\_\_\_\_

I, THE UNDERSIGNED, CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT MEETS ALL THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED AND HAS BEEN APPROVED FOR RECORDING ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

CHAIRMAN, PLANNING & ZONING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

SHARPLAND WATER SUPPLY CORPORATION

I, CARLOS LIMA, HEREBY CONDITIONALLY CERTIFY THAT POTABLE WATER SERVICE IS AVAILABLE AT THIS LOCATION AND THAT THE SUBDIVISION IS SUBJECT TO THE POTABLE WATER SYSTEM MEETING THE APPROVAL OF THE DEVELOPERS DESIGN DESIGNER, ALL APPLICABLE RULES AND REGULATIONS OF SHARPLAND WATER SUPPLY CORPORATION, AND LOCAL, STATE, AND FEDERAL AGENCIES. DEVELOPER AND ITS DESIGN ENGINEER SHALL BEAR FULL RESPONSIBILITY TO ENSURE THAT THE ABOVE REFERENCED POTABLE WATER SYSTEM IS CONSTRUCTED WITHIN THE DESIGNATED SHARPLAND WATER SUPPLY CORPORATION EXCLUSIVE EASEMENT.

CARLOS LIMA  
GENERAL MANAGER  
SHARPLAND WATER SUPPLY CORPORATION

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT No. 1 ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TRESS, FENCES, AND OTHER) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 RIGHTS OF WAYS OR EASEMENTS.

HIDALGO COUNTY DISTRICT NO. 1  
PRESIDENT \_\_\_\_\_ ATTEST: SECRETARY \_\_\_\_\_

RAUL E. SESIN, P.E., C.F.M.  
GENERAL MANAGER

DATE OF PREPARATION: MARCH 12, 2025

**MAS ENGINEERING LLC.**  
CONSULTING ENGINEERING  
FIRM NO. F-15499  
PH: (956) 537-1311  
E-MAIL: MSALINAS0973@ATT.NET



# City of Edinburg

## PLANNING & ZONING COMMISSION

Regular Meeting:  
November 20, 2025

### — SUBDIVISION VARIANCE —

- 1. Agenda Item:** Consider Variance Request to the City's Unified Development Code, Article 5, Table 5.203-1, Right-of-Way Widths, being 19.858 acres situated in the City of Edinburg, County of Hidalgo, Texas being a part or portion out of Lot 7, Section 240, Texas-Mexican Railway Company's Survey Subdivision, according to the Plat thereof Recorded in Volume 1, Page 12, Hidalgo County Map Records, located at 2800 N. McColl Road, as Requested by Melden & Hunt, Inc.
- 2. Description/Scope:** The property is located at the northeast corner of N. McColl Road and W. Rogers Road, and is within the City of Edinburg city limits. The 19.858 tract of land is currently going through the subdivision process and the proposed development consists of 107 single family residential lots. The property is zoned Residential, Urban and Townhome (RU) District. Melden & Hunt., Inc. on behalf of the developer is requesting a variance to the City's Unified Development Code (UDC) for the aforementioned subdivision.

#### **Variance Request: Table 5.203-1**

This requested variance is to Article 5, Table 5.203-1 as it applies to Right-of-Way width. The developer is requesting to not widen or escrow the road due to existing transmission poles along the north right-of-way that prevents construction of the complete road profile required in an 80' thoroughfare as per the UDC. City of Edinburg has West Rogers Road classified as an Existing Collector, for a total right-of-way requirement of Eighty (80) feet. There is an existing twenty-two foot pavement section along W. Rogers Road but fifty-seven (57) feet is required.

**Staff's Recommendation:** Staff recommends denial of the variance request. If approved, the applicant would need to comply with all other requirements during the permitting process.

Prepared By:  
**Claudia Mariscal**  
Planner I

Approved By:  
**Jaime Acevedo**  
Planning and Zoning Director

**Attachments:**  
Unified Development Code  
Development Map  
Aerial Map  
Site Map

## Sec. 5.203, Streets Cross Sections

- A. Right-of-Way and Pavement Widths.** Rights-of-way shall conform to those set out in Table 5.203-1, *Right-of-Way Widths*, and as generally depicted in Figure 5.203-1, *Sample Right-of-Way Cross-Section*.
- B. Adjustments.** The City shall, where feasible, require the street's design to minimize the disturbance of natural resources, including floodplains. Where additional right-of-way is needed to obtain vertical curve, grade, clear sight triangles, turn lanes, or medians, the required right-of-way shall be adjusted to the extent necessary in accordance with local needs as determined by the Planning and Engineering Departments.
- C. Half Streets Prohibited.** No half-streets shall be permitted in new subdivision plats.

**Table 5.203-1**  
**Right-of-Way Widths<sup>1</sup>**

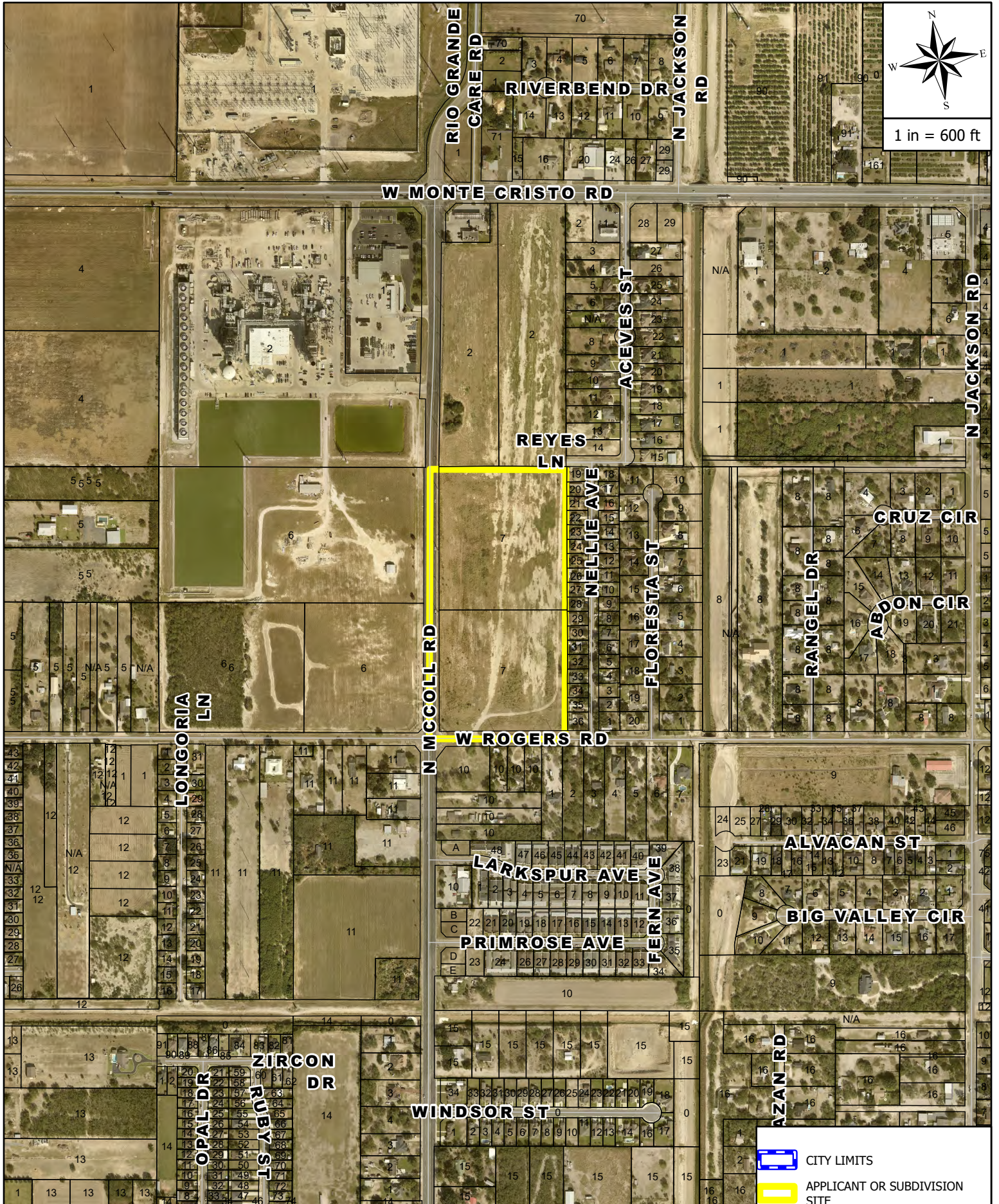
Road Classification	Minimum Right-of-Way Width Required (A)	Minimum Pavement Width Required <sup>2</sup> (B)	Lanes (C)	Sidewalks (width and sides of street) (D)
Principal Arterial	120 feet	81 feet	5 including center	5 feet / Both
Minor Arterial	100 feet	64 feet	5 including center	5 feet / Both
Collector	80 feet	57 feet	3 including center	5 feet / Both
Residential Collector <sup>3</sup>	60 feet	43 feet	2	5 feet / Both
Minor Street	50 feet / 60 feet	32 feet / 36 feet	2	5 feet / Both
Alleys	20 feet	18 feet	--	--

**TABLE NOTES:**

<sup>1</sup>Refer to the City Standards Manual [Street Details](#) for more information.

<sup>2</sup>From back-of-curb to back-of-curb.

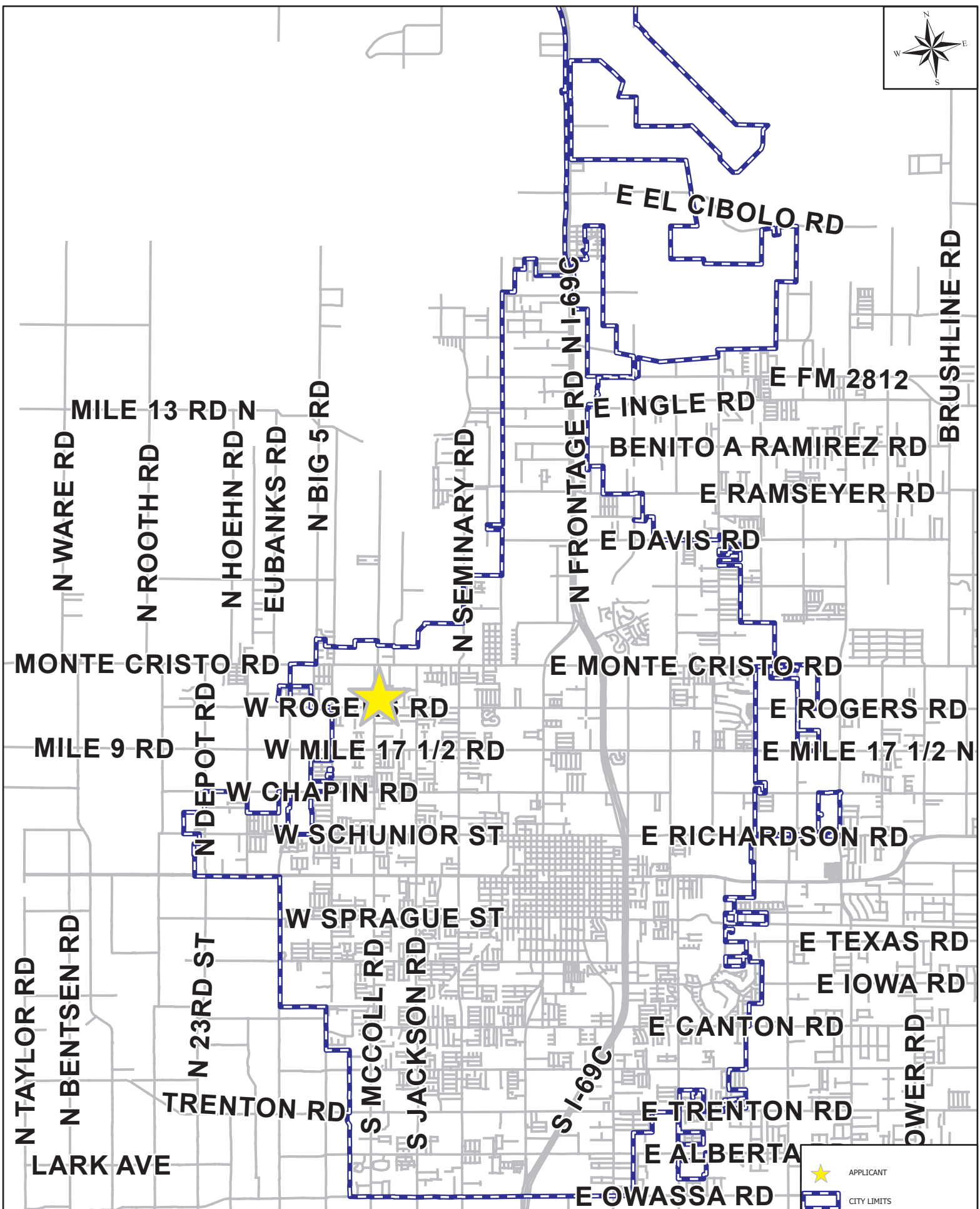
<sup>3</sup>Multi-family subdivisions shall be required to comply with residential collector street standards except that internal streets may have a minimum right-of-way width of 50 feet, a minimum pavement width of 40 feet, and shall require easements that are 10 feet in width on both sides of the street for utilities and sidewalks. Streets on the perimeter of the development are not eligible for this reduction.



**AERIAL MAP**

**APPLICANT AND/OR SUBDIVISION:**

VAR-2025-0338 2800 N MCCOLL RD



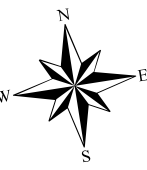
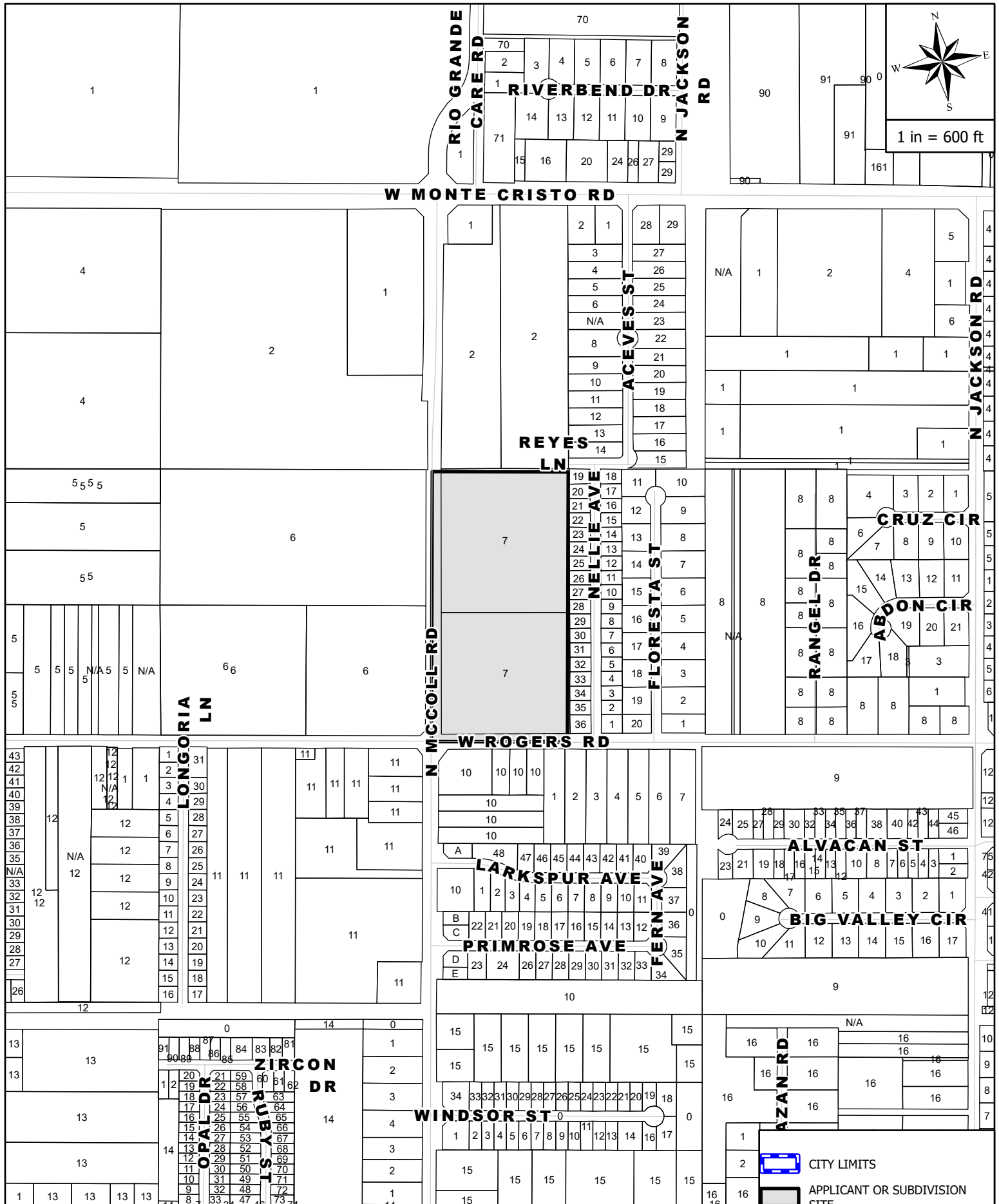
★ APPLICANT  
▭ CITY LIMITS





**EDINBURG NEW DEVELOPMENT MAP**

APPLICANT AND/OR SUBDIVISION:

VAR-2025-0338 2800 N MCCOLL RD



1 in = 600 ft

-  CITY LIMITS
-  APPLICANT OR SUBDIVISION SITE

**MAILOUT AND SITE MAP**  
**APPLICANT AND/OR SUBDIVISION:**

VAR-2025-0338 2800 N MCCOLL RD





TBPELS Firm # F-1435  
TBPELS # 10096900

MELDEN & HUNT INC.  
CONSULTANTS • ENGINEERS • SURVEYORS  
MARIO A. REYNA • ALLAN F. BOOE • ROBERTO N. TAMEZ • RUBEN JAMES DE JESUS • MICHAEL HERNANDEZ

City of Edinburg Planning & Zoning Dept.  
Mr. Jaime Acevedo, Director of Planning & Zoning  
415 W University Dr.  
Edinburg, TX 78539

Re: Variance Request- McColl Groves Subdivision

Dear Mr. Acevedo,

On behalf of the developer, Riverside Development Services, LLC, and regarding the above-mentioned subdivision, we are respectfully requesting the following varaiance from the City of Edinburg Unified Development Code:

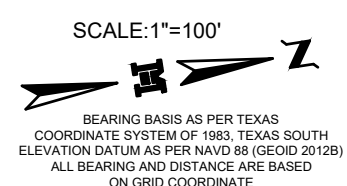
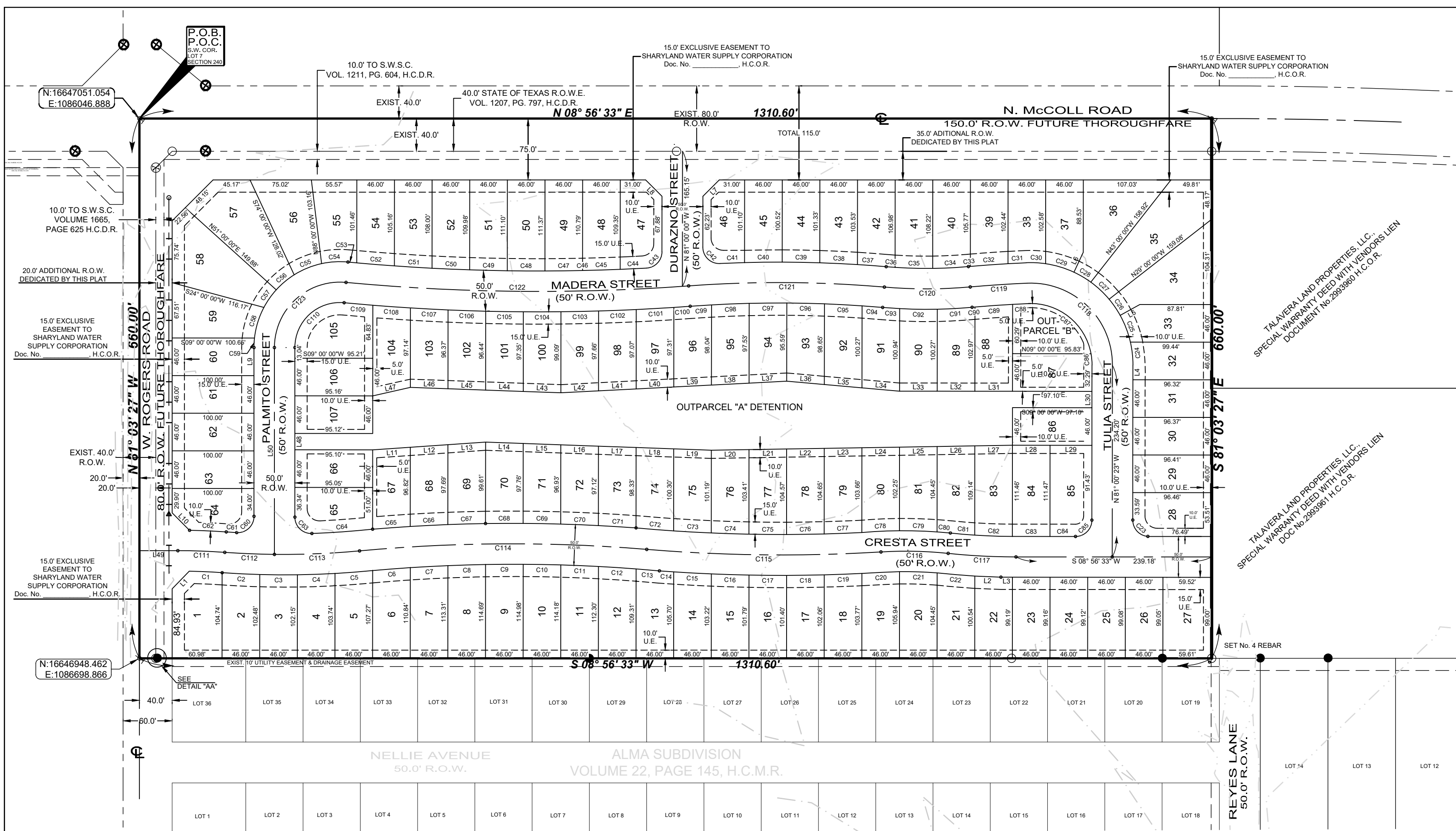
- 1. Minimum Pavement Width Required-** UDC Table 5.203-1 requires an 80' thoroughfare to have a 57 foot pavement section. Currently there is an existing 22 foot pavement section along W Rogers Rd, developer is proposing not to widen or escrow the road widening due to existing transmission poles along the north right-of-way that prevent the construction of the complete road profile required in an 80' thoroughfare as per the UDC. The developer is still dedicating the right-of-way and will provide sidewalks along Rogers and Mccoll Rd.

Your consideration of this request is greatly appreciated. We would like to be inlcuded at your next available Planning and Zoning meeting. If you have any questions or need further information, please feel free to contact me at (956) 381-0981.

Respectfully,

MELDEN & HUNT, INC.

Mario A. Reyna, P.E.  
President



# SUBDIVISION MAP OF McCOLL GROVES SUBDIVISION

BEING A SUBDIVISION OF 19.858 ACRES SITUATED IN THE CITY OF EDINBURG, COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF LOT 7, SECTION 240, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1, PAGE 12, HIDALGO COUNTY MAP RECORDS.

Lot Area Table			Lot Area Table			Lot Area Table		
Lot #	SQ. FT.	Area	Lot #	SQ. FT.	Area	Lot #	SQ. FT.	Area
1	6247.60	0.143	37	4846.15	0.111	74	4571.75	0.105
2	4758.71	0.109	38	4678.85	0.107	75	4639.01	0.106
3	4699.05	0.108	39	4783.37	0.110	76	4709.90	0.108
4	4728.02	0.109	40	4935.71	0.113	77	4787.60	0.110
5	4845.77	0.111	41	4963.74	0.114	78	4816.00	0.111
6	5020.70	0.115	42	4839.22	0.111	79	4795.09	0.110
7	5159.84	0.118	43	4706.73	0.108	80	4721.83	0.108
8	5248.11	0.120	44	4637.42	0.106	81	4740.22	0.109
9	5286.73	0.121	45	4632.25	0.106	82	4914.88	0.113
10	5275.05	0.121	46	4909.59	0.113	83	5084.75	0.117
11	5213.23	0.120	47	5239.87	0.120	84	5127.62	0.118
12	5101.17	0.117	48	5066.50	0.116	85	5608.45	0.129
13	4942.29	0.113	49	5112.95	0.117	86	4466.40	0.103
14	4801.00	0.110	50	5120.30	0.118	87	4460.65	0.102
15	4711.10	0.108	51	5088.23	0.117	88	4816.56	0.111
16	4699.37	0.107	52	5016.80	0.115	89	4661.62	0.107
17	4675.73	0.107	53	4905.93	0.113	90	4614.88	0.106
18	4730.17	0.109	54	4755.44	0.109	91	4624.95	0.106
19	4828.30	0.111	55	4973.68	0.114	92	4580.93	0.105
20	4855.97	0.111	56	6116.91	0.140	93	4472.89	0.103
21	4707.70	0.108	57	8388.18	0.193	94	4447.21	0.102
22	4584.63	0.105	58	7924.02	0.182	95	4503.51	0.103
23	4562.09	0.105	59	5622.76	0.129	96	4495.05	0.103
24	4560.40	0.105	60	4602.52	0.106	97	4467.49	0.103
25	4558.72	0.105	61	4600.00	0.106	98	4475.47	0.103
26	4557.03	0.105	62	4600.00	0.106	99	4522.10	0.104
27	4588.35	0.105	63	4600.00	0.106	100	4514.91	0.104
28	4501.47	0.117	64	4934.19	0.113	101	4453.88	0.102
29	4436.06	0.102	65	4374.42	0.100	102	4431.42	0.102
30	4433.94	0.102	67	4453.79	0.102	103	4447.58	0.102
31	4431.81	0.102	68	4469.65	0.103	104	4780.19	0.110
32	4459.04	0.102	69	4533.77	0.104	105	5771.89	0.133
33	4754.86	0.109	70	4535.54	0.104	106	4378.59	0.101
34	7142.08	0.164	71	4474.02	0.103	107	4376.47	0.100
35	9056.17	0.208	72	4459.26	0.102			
36	7415.57	0.170	73	4491.37	0.103			

OUTPARCEL Area Table		
Lot #	SQ. FT.	Area
*A	59588.20	1.367
*B	4739.83	0.109

Curve Table

Curve #	Delta	Radius	Length	Tangent	Chord Direction	Chord Length
C1	003° 08' 47"	758.83	41.87	20.84	S11° 30' 59"W	41.87
C2	002° 19' 36"	1,099.11	44.63	22.32	S11° 43' 12"W	44.63
C3	002° 23' 53"	1,099.11	46.00	23.01	S9° 21' 27"W	46.00
C4	002° 23' 59"	1,099.11	46.03	23.02	S6° 57' 31"W	46.03
C5	002° 24' 19"	1,099.11	46.14	23.07	S4° 33' 22"W	46.14
C6	001° 21' 39"	1,942.66	46.14	23.07	S4° 30' 19"W	46.14
C7	001° 21' 32"	1,942.66	46.07	23.04	S5° 51' 55"W	46.07
C8	001° 21' 26"	1,942.66	46.02	23.01	S7° 13' 24"W	46.02
C9	001° 21' 24"	1,942.66	46.00	23.00	S8° 34' 49"W	46.00
C10	001° 21' 25"	1,942.66	46.01	23.00	S9° 56' 14"W	46.01
C11	001° 21' 28"	1,942.66	46.04	23.02	S11° 17' 41"W	46.04
C12	001° 21' 34"	1,942.66	46.09	23.05	S12° 39' 12"W	46.09
C13	000° 50' 32"	1,942.66	28.55	14.28	S13° 45' 15"W	28.55
C14	000° 29' 51"	2,025.00	17.59	8.79	S12° 55' 35"W	17.59
C15	001° 18' 12"	2,025.00	46.03	23.00	S12° 01' 33"W	46.06
C16	001° 18' 08"	2,025.00	46.02	23.01	S10° 43' 23"W	46.02
C17	001° 18' 06"	2,025.00	46.00	23.00	S9° 25' 17"W	46.00
C18	001° 18' 06"	2,025.00	46.01	23.00	S8° 07' 11"W	46.01
C19	001° 18' 09"	2,025.00	46.03	23.02	S6° 49' 03"W	46.03
C20	001° 36' 36"	1,638.50	46.04	23.02	S6° 14' 34"W	46.04
C21	005° 33' 08"	475.11	46.04	23.04	S10° 48' 06"W	46.02
C22	002° 13' 51"	1,185.68	46.16	23.09	S13° 48' 09"W	46.16
C23	090° 03' 27"	20.00	31.44	20.02	N53° 58' 16"E	28.30
C24	012° 55' 21"	125.00	28.19	14.16	N87° 27' 40"W	28.13
C25	016° 04' 39"	125.00	35.08	17.65	S78° 02' 20"W	34.96
C26	010° 59' 22"	125.00	23.98	12.02	S64° 30' 19"W	23.94
C27	014° 02' 11"	125.00	30.62	15.39	S51° 59' 33"W	30.55
C28	010° 58' 27"	125.00	23.94	12.01	S39° 29' 14"W	23.91
C29	016° 36' 38"	125.00	36.24	18.25	S25° 41' 41"W	36.11
C30	010° 51' 22"	125.00	23.68	11.88	S11° 57' 40"W	23.65
C31	000° 51' 12"	1,505.00	22.41	11.21	S6° 06' 24"W	22.41
C32	001° 45' 22"	1,505.00	46.13	23.06	S4° 48' 07"W	46.12
C33	000° 05' 29"	1,505.00	2.40	1.20	S3° 52' 41"W	2.40
C34	004° 21' 08"	575.00	43.68	21.85	N6° 00' 31"E	43.67
C35	004° 35' 11"	575.00	46.03	23.03	N10° 28' 41"E	46.02
C36	001° 05' 40"	575.00	10.98	5.49	N13° 19' 06"E	10.98
C37	001° 19' 13"	1,525.00	35.14	17.57	S13° 12' 20"W	35.14
C38	001° 43' 49"	1,525.00	46.05	23.03	S11° 40' 48"W	46.05
C39	001° 43' 43"	1,525.00	46.01	23.01	S9° 57' 03"W	46.01
C40	001° 43' 43"	1,525.00	46.01	23.00	S8° 13' 20"W	46.00
C41	001° 07' 45"	1,525.00	30.05	15.03	S6° 47' 36"W	30.05

Curve Table

Curve #	Delta	Radius	Length	Tangent	Chord Direction	Chord Length
C42	002° 46' 17"	20.00	32.38	20.99	N52° 36' 52"E	28.96
C43	086° 52' 17"	20.00	30.32	18.94	N37° 33' 51"W	27.50
C44	000° 44' 38"	2,475.00	32.13	16.06	N6° 14' 36"E	32.13
C45	001° 03' 56"	2,475.00	46.02	23.01	N7° 08' 53"E	46.02
C46	000° 09' 15"	19.35	0.00	0.00	N7° 49' 51"E	0.00
C47	001° 03' 54"	2,475.00	46.00	23.00	N8° 12' 48"E	46.00
C48	001° 03' 54"	2,475.00	46.00	23.00	N9° 16' 41"E	46.00
C49	001° 03' 55"	2,475.00	46.01	23.01	N10° 20' 36"E	46.01
C50	001° 03' 57"	2,475.00	46.04	23.02	N11° 24' 32"E	46.04
C51	001° 04' 01"	2,475.00	46.09	23.04	N12° 28' 30"E	46.08
C52	001° 04' 06"	2,475.00	46.14	23.07	S13° 32' 34"W	46.14
C53	000° 15' 04"	2,475.00	10.85	5.43	S14° 12' 09"W	10.85
C54	017° 49' 15"	105.00	32.38	16.32	S5° 29' 33"W	32.26
C55	019° 59' 41"	105.00	36.37	18.37	S13° 15' 58"E	36.19
C56	015° 39' 12"	105.00	28.69	14.43	S31° 00' 51"E	28.60
C57	014° 20' 50"	105.00	26.29	13.22	S46° 00' 52"E	26.22
C58	021° 29' 56"	105.00	39.40	19.93	S63° 56' 16"E	39.17
C59	003° 21' 43"	20.00	32.59	21.21	N34° 22' 35"W	29.10
C60	000° 44' 59"	975.00	12.78	6.38	N12° 40' 46"E	12.78
C61	003° 12' 18"	804.74	45.01	22.51	S11° 29' 28"W	45.01
C62	092° 02' 24"	20.00	32.13	20.73	N52° 55' 21"E	28.78
C63	003° 33' 46"	1,197.83	74.48	37.25	S4° 54' 39"W	74.47
C64	001° 18' 18"	2,025.00	46.13	23.06	S4° 46' 31"W	46.13
C65	001° 18' 12"	2,025.00	46.06	23.03	S6° 04' 46"W	46.06
C66	001° 18' 07"	2,025.00	46.02	23.01	S7° 22' 56"W	46.02
C67	001° 15' 57"	2,082.38	46.00	23.00	S8° 42' 07"W	46.00
C68	001° 15' 57"	2,082.38	46.01	23.00	S9° 58' 04"W	46.01
C69	001° 16' 00"	2,082.38	46.04	23.02	S11° 14' 03"W	46.03
C70	001° 16' 05"	2,082.38	46.09	23.04	S12° 30' 05"W	46.09
C71	001° 20' 17"	1,975.00	46.12	23.06	S13° 26' 40"W	46.12
C72	001° 20' 13"	1,975.00	46.08	23.04	S12° 06' 25"W	46.08
C73	001° 20' 07"	1,975.00	46.02	23.01	S10° 46' 16"W	46.02
C74	001° 20' 04"	1,975.00	46.00	23.00	S9° 26' 10"W	46.00
C75	001° 20' 06"	1,974.41	46.01	23.00	S8° 06' 06"W	46.01
C76	001° 20' 09"	1,974.41	46.04	23.02	S6° 45' 58"W	46.03
C77	004° 30' 28"	585.59	46.07	23.04	S6° 14' 44"W	46.05
C78	004° 30' 15"	585.59	46.03	23.03	S10° 45' 04"W	46.02
C79	001° 34' 55"	585.59	16.17	8.08	S13° 47' 30"W	16.17
C80	002° 19' 05"	741.46	30.00	15.00	S13° 50' 02"W	30.00
C81	003° 33' 26"	741.46	46.03	23.02	S10° 53' 47"W	46.03
C82	000° 04' 50"	32,112.01	46.00	23.00	S9° 00' 16"W	46.00

Curve Table

Curve #	Delta	Radius	Length	Tangent	Chord Direction	Chord Length
C84	000° 03' 20"	32,112.00	31.12	15.56	S9° 59' 00"W	31.12
C85	089° 56' 33"	20.00	31.40	19.98	N36° 01' 44"W	28.27
C86	010° 31' 57"	75.00	13.79	6.91	N86° 15' 59"W	13.77
C87	081° 56' 04"	75.00	107.25	65.12	S47° 30' 01"W	98.34
C88	000° 44' 38"	1,455.00	18.89	9.45	S6° 09' 40"W	18.89
C89	001° 48' 58"	1,455.00	46.12	23.06	S4° 52' 52"W	46.12
C90	001° 03' 54"	2,475.00	46.00	23.00	N3° 54' 10"W	46.00
C91	003° 53' 52"	625.00	42.52	21.27	N5° 49' 53"E	42.51
C92	004° 13' 06"	625.00	46.02	23.02	N9° 50' 22"E	46.00
C93	001° 55' 01"	625.00	20.91	10.46	N12° 28' 30"E	20.91
C94	000° 58' 45"	1,475.00	25.21	12.60	S13° 22' 34"W	25.21
C95						





# City of Edinburg

## PLANNING & ZONING COMMISSION

Regular Meeting:  
11/20/2025

### — SUBDIVISION VARIANCE —

1. **Agenda Item:** Consider Variance Request to the City's Unified Development Code, Article 5, Table 5.203-1, Right-of-Way Widths, Being a 7.434-acre tract of land, more or less, out of the South 25.20 acres of Lot 5, Section 239, Texas-Mexican Railway Company's Survey, Hidalgo County, Texas, located at 1901 W. Rogers Road, as Requested by Melden & Hunt, Inc.
2. **Description/Scope:** The property is located on the north side of W. Rogers Road and approximately 665 feet east of N. Jackson Road, and is within the City of Edinburg, city limits. The 7.434 tract of land is currently going through the subdivision process and the proposed development consists of 36 single family residential lots. The property is zoned Residential, Primary (RP) District. Melden & Hunt, Inc., on behalf of the developer, is requesting a variance to the City's Unified Development Code (UDC) for the aforementioned subdivision.

#### **Variance Request: Table 5.203-1**

This requested variance is to Article 5, Table 5.203-1 as it applies to Right-of-Way Widths. The developer is requesting to not widen or escrow the road due to existing transmission poles along the north right-of-way that prevents construction of the complete road profile required in an 80' thoroughfare as per the UDC. The City of Edinburg has West Rogers Road classified as an Existing Collector, for a total right-of-way requirement of Eighty (80) feet. There is an existing twenty-two foot pavement section along W. Rogers Road, but fifty-seven (57) feet is required.

**Staff's Recommendation:** Staff recommends denial of the variance request. If approved, the applicant would need to comply with all other requirements during the permitting process.

Prepared By:  
**Claudia Mariscal**  
Planner I

Approved By:  
**Jaime Acevedo**  
Planning and Zoning Director

#### **Attachments:**

Unified Development Code  
Development Map  
Aerial Map  
Site Map  
Reduced Subdivision Plat

## Sec. 5.203, Streets Cross Sections

- A. Right-of-Way and Pavement Widths.** Rights-of-way shall conform to those set out in Table 5.203-1, *Right-of-Way Widths*, and as generally depicted in Figure 5.203-1, *Sample Right-of-Way Cross-Section*.
- B. Adjustments.** The City shall, where feasible, require the street's design to minimize the disturbance of natural resources, including floodplains. Where additional right-of-way is needed to obtain vertical curve, grade, clear sight triangles, turn lanes, or medians, the required right-of-way shall be adjusted to the extent necessary in accordance with local needs as determined by the Planning and Engineering Departments.
- C. Half Streets Prohibited.** No half-streets shall be permitted in new subdivision plats.

**Table 5.203-1**  
**Right-of-Way Widths<sup>1</sup>**

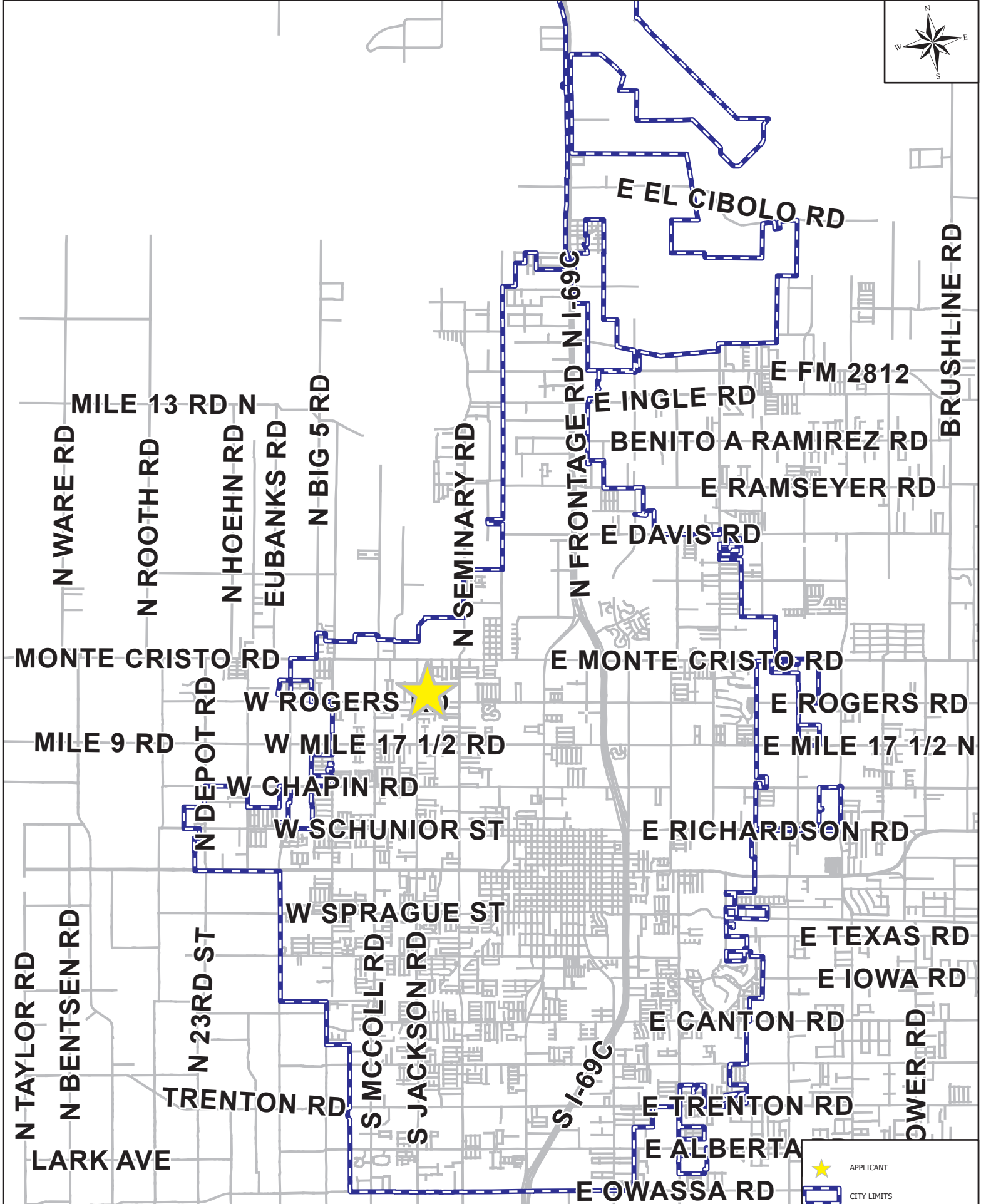
Road Classification	Minimum Right-of-Way Width Required (A)	Minimum Pavement Width Required <sup>2</sup> (B)	Lanes (C)	Sidewalks (width and sides of street) (D)
Principal Arterial	120 feet	81 feet	5 including center	5 feet / Both
Minor Arterial	100 feet	64 feet	5 including center	5 feet / Both
Collector	80 feet	57 feet	3 including center	5 feet / Both
Residential Collector <sup>3</sup>	60 feet	43 feet	2	5 feet / Both
Minor Street	50 feet / 60 feet	32 feet / 36 feet	2	5 feet / Both
Alleys	20 feet	18 feet	--	--

**TABLE NOTES:**

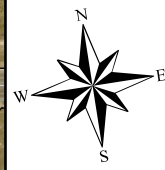
<sup>1</sup>Refer to the City Standards Manual [Street Details](#) for more information.

<sup>2</sup>From back-of-curb to back-of-curb.

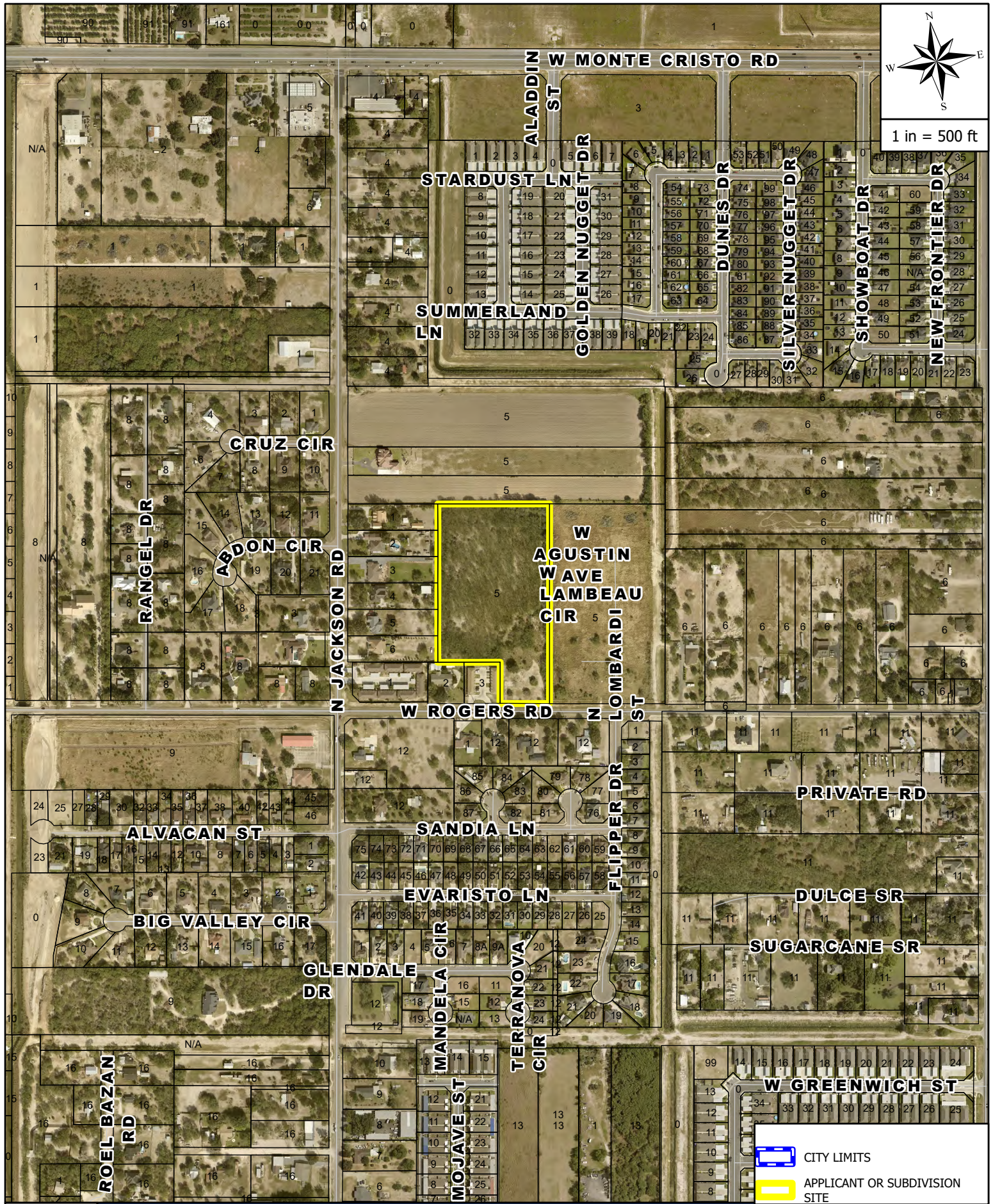
<sup>3</sup>Multi-family subdivisions shall be required to comply with residential collector street standards except that internal streets may have a minimum right-of-way width of 50 feet, a minimum pavement width of 40 feet, and shall require easements that are 10 feet in width on both sides of the street for utilities and sidewalks. Streets on the perimeter of the development are not eligible for this reduction.





★ APPLICANT  
 [Blue dashed line] CITY LIMITS



1 in = 500 ft



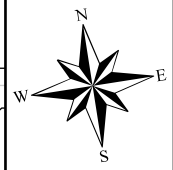
-  CITY LIMITS
-  APPLICANT OR SUBDIVISION SITE



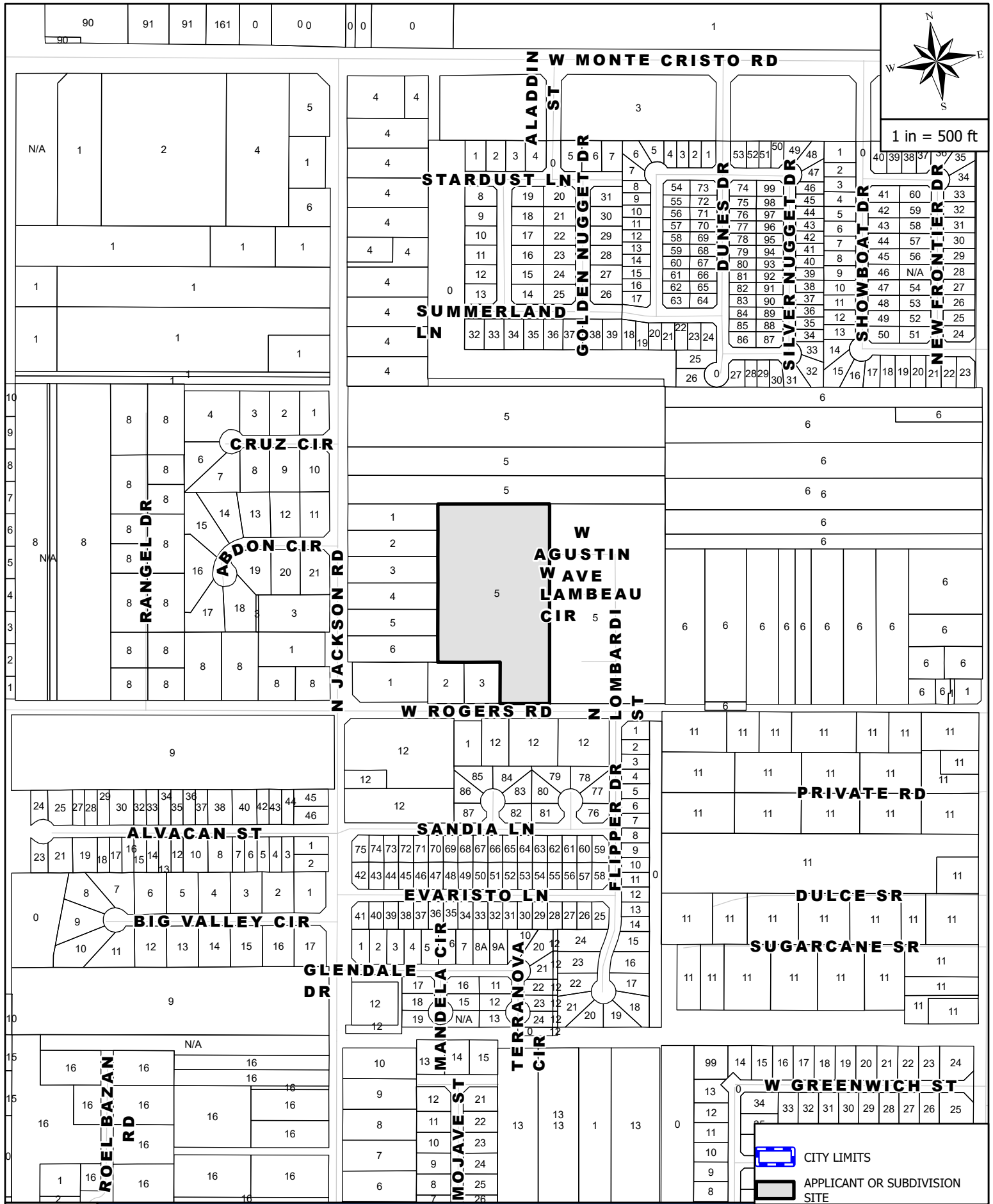
**AERIAL MAP**  
**APPLICANT AND/OR SUBDIVISION:**  
 ROGERS ESTATES SUBDIVISION

90 91 91 161 0 00 00 0

1



1 in = 500 ft



**MAILOUT AND SITE MAP**  
**APPLICANT AND/OR SUBDIVISION:**  
ROGERS ESTATES SUBDIVISION



TBPELS Firm # F-1435  
TBPELS # 10096900

MELDEN & HUNT INC.  
CONSULTANTS • ENGINEERS • SURVEYORS  
MARIO A. REYNA • ALLAN F. BOOE • ROBERTO N. TAMEZ • RUBEN JAMES DE JESUS • MICHAEL HERNANDEZ

City of Edinburg Planning & Zoning Dept.  
Mr. Jaime Acevedo, Director of Planning & Zoning  
415 W University Dr.  
Edinburg, TX 78539

Re: Variance Request- Rogers Estates Subdivision

Dear Mr. Acevedo,

On behalf of the developer, Rainbow Falls Properties, LLC, and regarding the above-mentioned subdivision, we are respectfully requesting the following varaincne from the City of Edinburg Unified Development Code:

- 1. Minimum Pavement Width Required-** UDC Table 5.203-1 requires an 80' thoroughfare to have a 57 foot pavement section. Currently there is an existing 22 foot pavement section along W Rogers Rd, developer is proposing not to widen or escrow the road widening due to existing transmission poles along the north right-of-way that prevent the construction of the complete road profile required in an 80' thoroughfare as per the UDC. The developer is still dedicating the right-of-way and will provide a sidewalk along Rogers rd.

Your consideration of this request is greatly appreciated. We would like to be included at your next available Planning and Zoning meeting. If you have any questions or need further information, please feel free to contact me at (956) 381-0981.

Respectfully,

MELDEN & HUNT, INC.

Mario A. Reyna, P.E.  
President

# SUBDIVISION MAP OF ROGERS ESTATES SUBDIVISION

A SUBDIVISION OF 7.434 ACRES OUT OF LOT 5,  
SECTION 239, TEXAS MEXICAN RAILWAY COMPANY'S SURVEY,  
CITY OF EDINBURG, HIDALGO COUNTY, TEXAS

**GENERAL NOTES:**

- THIS SUBDIVISION LIES IN ZONE "X" (SHADED), WHICH IS DESIGNATED AS "AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD." FEMA'S FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 480338 0015 E, MAP REVISED JUNE 6, 2000; REVISED TO REFLECT LOMR: MAY 14, 2001.
- THE MINIMUM PERMISSIBLE FINISH FLOOR ELEVATION IS 18" ABOVE THE TOP OF CURB MEASURED FROM THE CENTER AND AT THE FRONT OF EACH RESIDENTIAL LOT.
- THIS PROPERTY IS BEING PROPOSED AS ZONED AS RESIDENTIAL, PRIMARY (RP) DISTRICT.
- MINIMUM BUILDING SETBACK LINES ARE AS FOLLOWS (UNLESS GREATER SETBACK OR EASEMENT APPLIES):  
FRONT: 20 FEET  
FRONT CUL-DE-SAC: 15 FEET  
REAR: 20 FEET  
SIDE: 6 FEET  
STREET SIDE: 10 FEET  
GARAGE: 18 FEET
- THIS SUBDIVISION IS REQUIRED TO DETAIN 35,841 C.F. (0.823 AC.-FT.) OF STORM RUNOFF. DETENTION SHALL BE PROVIDED WITHIN THE PROPOSED DETENTION POND.
- BENCHMARK #1: SET MHI DISK APPROXIMATELY 35.76 FEET NORTH OF ROGERS ROAD CENTER LINE AND APPROXIMATELY 1.52 FEET EAST OF THE EAST PROPERTY LINE OF THIS SUBDIVISION. NORTHING: 16646545.5870, EASTING: 1089503.3880, ELEVATION: 91.657'.  
BENCHMARK #2: SET MHI DISK APPROXIMATELY 34.80 FEET NORTH OF ROGERS ROAD CENTER LINE AND APPROXIMATELY 39.22 FEET EAST OF THE WEST PROPERTY LINE OF THIS SUBDIVISION. NORTHING: 16646568.1160, EASTING: 1089352.0550, ELEVATION: 91.702'.
- NO BUILDING ALLOWED OVER ANY EASEMENT.
- LOT OWNERS ARE REQUIRED TO OBTAIN AND COMPLY WITH ALL APPLICABLE PERMITS REQUIRED BY THE CITY OF EDINBURG.
- 5-FOOT SIDEWALK ALONG ALL INTERIOR STREETS IS REQUIRED DURING BUILDING PERMIT STAGE AND PRIOR TO OCCUPANCY.
- No. 4 REBARS SET WITH PLASTIC CAP STAMPED MELDEN & HUNT AT ALL LOT CORNERS IN THIS SUBDIVISION.
- RESIDENTIAL LOTS ARE TO HAVE A 1% SLOPE FROM REAR TO FRONT OF LOTS.
- 5-FOOT SIDEWALKS WITH ADA RAMP ARE REQUIRED DURING CONSTRUCTION OF THE SUBDIVISION ALONG ROGERS ROAD AND COMMON LOT A, IS LOCATED IN THE BACK PORTION OF THE SUBDIVISION.
- DEDICATED R.O.W., DETENTION POND AREA MUST BE MAINTAINED BY THE CITY OF EDINBURG.
- LOT "A" COMMON AREA MUST BE MAINTAINED BY LOT OWNERS AND NOT THE CITY OF EDINBURG. GREEN AREA MUST BE MAINTAINED BY LOT OWNERS AND NOT THE CITY OF EDINBURG.
- AS PER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR ROGERS ESTATES SUBDIVISION RECORDED UNDER DOCUMENT NUMBER \_\_\_\_\_ HIDALGO COUNTY OFFICIAL RECORDS, DEVELOPER/HOMEOWNER ASSOCIATION/OWNER, THEIR SUCCESSORS AND/OR ASSIGNS, AND NOT THE CITY OF EDINBURG, SHALL BE RESPONSIBLE FOR MAINTENANCE OF LOT "A" COMMON DETENTION AREA AND ITS PERIMETER FENCE/WALL.
- DRAINAGE NOTE: IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO.1 AND HIDALGO COUNTY DRAINAGE REQUIREMENTS, THIS DEVELOPMENT IS REQUIRED TO DETAIN A TOTAL OF 35,841 C.F. 0.823 ACRES-FEET OF STORM WATER RUN OFF. DRAINAGE DETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS STATED IN THE DRAINAGE REPORT.
- PURSUANT TO APPLICABLE FIRE SAFETY REGULATIONS, THE INSTALLATION OF ADDITIONAL FIRE HYDRANTS, FIRE DEPARTMENT ACCESS ROAD(S), FIRE RATED CONSTRUCTION, AND OTHER FIRE PROTECTION EQUIPMENT MAY BE MANDATED DURING THE SITE PLAN OR BUILDING PERMIT PROCESS.
- ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER PREVENTION PLAN (SW3P) REQUIREMENTS, EROSION AND SEDIMENTATION CONTROLS CONSTRUCTED IN ACCORDANCE WITH THE STORM WATER ORDINANCE 98.30 OF THE CITY OF EDINBURG ARE REQUIRED FOR ALL CONSTRUCTION ON LOT.

**METES AND BOUNDS DESCRIPTION:**

A SUBDIVISION OF A TRACT OF LAND CONTAINING 7.434 ACRES SITUATED IN THE CITY OF EDINBURG, COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF LOT 5, SECTION 239, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1, PAGE 12, HIDALGO COUNTY MAP RECORDS, WHICH SAID 7.434 ACRES WERE CONVEYED TO RAINBOW FALLS PROPERTIES, LLC BY VIRTUE OF A GENERAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 3074520, HIDALGO COUNTY OFFICIAL RECORDS, SAID 7.434 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 5, SECTION 239;

THENCE, N 81° 06' 05" W ALONG THE SOUTH LINE OF SAID LOT 5 AND WITHIN THE EXISTING RIGHT-OF-WAY OF ROGERS ROAD, A DISTANCE OF 469.30 FEET TO A NAIL SET FOR THE SOUTHEAST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

- THENCE, N 81° 06' 05" W ALONG THE SOUTH LINE OF SAID LOT 5 AND WITHIN THE EXISTING RIGHT-OF-WAY OF ROGERS ROAD, A DISTANCE OF 190.70 FEET TO A NAIL SET FOR THE SOUTHERNMOST SOUTHWEST CORNER OF THIS TRACT;
- THENCE, N 08° 53' 55" W AT A DISTANCE OF 20.00 FEET PASS A NO. 4 REBAR FOUND IN LINE, AT A DISTANCE OF 35.00 FEET PASS A NO. 4 REBAR FOUND IN LINE, AT A DISTANCE OF 40.00 FEET PASS A NO. 4 REBAR FOUND ON THE EXISTING NORTH RIGHT-OF-WAY LINE OF ROGERS ROAD, CONTINUING A TOTAL DISTANCE OF 198.00 FEET TO A NO. 4 REBAR FOUND FOR AN INSIDE CORNER OF THIS TRACT;
- THENCE, N 81° 06' 05" W AT A DISTANCE 146.67 FEET PASS A NO. 4 REBAR FOUND IN LINE, CONTINUING A TOTAL DISTANCE OF 253.85 FEET TO A NO. 4 REBAR FOUND ON THE EAST LINE OF CLASSIC HEIGHTS SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 26, PAGE 157B, HIDALGO COUNTY MAP RECORDS, FOR THE NORTHERNMOST SOUTHWEST CORNER OF THIS TRACT;
- THENCE, N 08° 53' 55" E ALONG THE EAST BOUNDARY LINE OF SAID CLASSIC HEIGHTS SUBDIVISION, A DISTANCE OF 643.50 FEET TO A NO. 4 REBAR FOUND [N:16647410.634, E:1089187.328] FOR THE NORTHWEST CORNER OF THIS TRACT;
- THENCE, S 81° 06' 05" E A DISTANCE OF 444.55 FEET TO A NO. 4 REBAR FOUND FOR THE NORTHEAST CORNER OF THIS TRACT;
- THENCE, S 08° 53' 55" W AT A DISTANCE OF 801.50 FEET PASS A NO. 4 REBAR FOUND ON THE EXISTING NORTH RIGHT-OF-WAY LINE OF ROGERS ROAD, AT A DISTANCE OF 821.50 FEET PASS A NO. 4 REBAR FOUND IN LINE, CONTINUING A TOTAL DISTANCE OF 841.50 FEET TO THE POINT OF BEGINNING AND CONTAINING 7.434 ACRES, OF WHICH 0.175 OF ONE ACRE LIES WITHIN THE EXISTING RIGHT-OF-WAY OF ROGERS ROAD, LEAVING A NET OF 7.259 ACRES OF LAND, MORE OR LESS.

I, THE UNDERSIGNED, CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT KNOWN AS ROGERS ESTATES CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED AND HAS BEEN APPROVED FOR RECORDING ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

CHAIRMAN, PLANNING AND ZONING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

THIS PLAT IS HEREBY APPROVED BY HIDALGO COUNTY IRRIGATION DISTRICT No. 1 ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

HIDALGO COUNTY IRRIGATION DISTRICT No. ONE WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION. THERE WILL NOT BE ANY PERMANENT STRUCTURES ON THE DISTRICT RIGHT-OF-WAYS AND/OR EASEMENTS.

NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON THE HCID#1 RIGHT-OF-WAYS OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF HCID#1.

PRESIDENT \_\_\_\_\_ SECRETARY \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF DALLAS §

OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

I THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE ROGERS ESTATES ADDITION OF THE CITY OF EDINBURG, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE OF CONSIDERATION THEREIN EXPRESSED.

RAINBOW FALLS PROPERTIES, LLC. \_\_\_\_\_ DATE \_\_\_\_\_  
EZRA EZBAN, PRESIDENT  
1601 ELM STREET STE. 4360  
THANKSGIVING TOWER  
DALLAS, TEXAS 75201

STATE OF TEXAS §  
COUNTY OF DALLAS §

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED EZRA EZBAN, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO, BEING BY ME, FIRST DULY SWORN AND DECLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREBY EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC, FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES: \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF HIDALGO §

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. MELDEN & HUNT, INC.  
TEXAS REGISTRATION F-1435

MARIO A. REYNA, PROFESSIONAL ENGINEER No. 117388  
STATE OF TEXAS  
DATE PREPARED: 07-07-2025  
ENGINEERING JOB # 19250.00

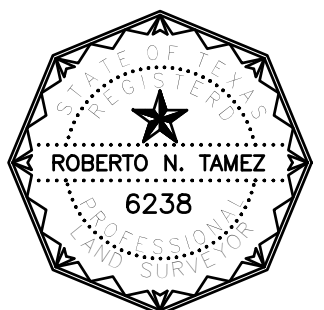


STATE OF TEXAS  
COUNTY OF HIDALGO

I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE COUNTY OF HIDALGO, TEXAS.

DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

ROBERTO N. TAMEZ, R.P.L.S. No.6238  
STATE OF TEXAS  
DATE SURVEYED: 02-26-2020  
1-1097-PG. 22-24  
SURVEY JOB # 19250-02-08



**APPROVED BY DRAINAGE DISTRICT:**

HIDALGO COUNTY DRAINAGE DISTRICT No.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT No. 1

RAUL E. SESIN, P.E., C.F.M. \_\_\_\_\_ DATE \_\_\_\_\_  
GENERAL MANAGER



FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUJARDO, JR.,  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM

INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: \_\_\_\_\_ DEPUTY

**Lot Area Table**

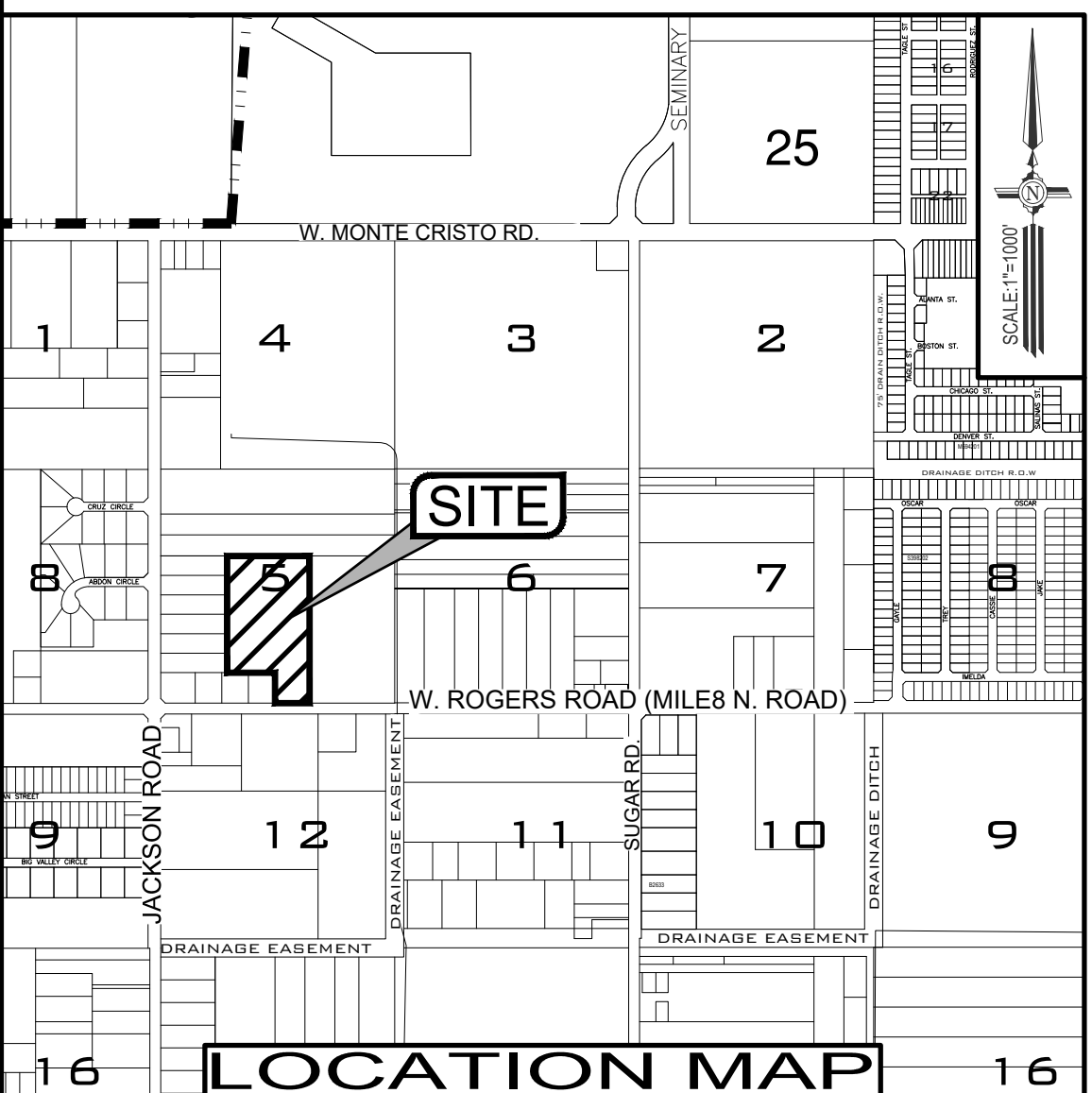
Lot #	SQ. FT.	Area
1	7852.50	0.180
2	6981.71	0.160
3	6250.45	0.143
4	6196.74	0.142
5	6196.74	0.142
6	6196.74	0.142
7	6196.74	0.142
8	6196.74	0.142
9	6181.34	0.142
10	6012.14	0.138
11	6026.42	0.138
12	6408.36	0.147
13	6389.92	0.147
14	6502.12	0.149
15	6389.33	0.147
16	6389.33	0.147
17	6502.12	0.149
18	6389.92	0.147
19	6174.45	0.142
20	6174.45	0.142

**Lot Area Table**

Lot #	SQ. FT.	Area
21	6174.45	0.142
22	5350.82	0.123
23	6134.79	0.141
24	4687.95	0.108
25	4262.58	0.098
26	5565.51	0.128
27	5568.00	0.128
28	5568.00	0.128
29	5568.00	0.128
30	5572.29	0.128
31	4452.50	0.102
32	5174.11	0.119
33	6620.59	0.152
34	5029.85	0.115
35	6161.48	0.141
36	6048.83	0.139
OUT "A"	2500.00	0.057
C.A."A"	600.00	0.014
C.A."B"	12348.78	0.283

**LINE TABLE**

Line #	Length
L1	28.26'
L2	21.21'
L3	21.21'
L4	21.21'
L5	21.21'
L6	21.21'
L7	21.21'
L8	20.00'
L9	12.52'



**LEGEND**

- FOUND NO. 4 REBAR
- SET NAIL
- ⊙ SET MHI DISK
- AC - OF ONE ACRE
- D.E - DRAINAGE EASEMENT
- DOC - OF ONE ACRE
- EL - ELEVATION
- H.C.D.R. - HIDALGO COUNTY DEED RECORDS
- H.C.M.R. - HIDALGO COUNTY MAP RECORDS
- H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
- H.C.D.R. - HIDALGO COUNTY OFFICIAL RECORDS
- No. - NUMBER
- P.O.B. - POINT OF BEGINNING
- P.O.C. - POINT OF COMMENCING
- PROP. - PROPOSED
- R.O.W. - RIGHT OF WAY
- S.E. COR. - SOUTHEAST CORNER
- SF - SQUARE FEET
- U.E. - UTILITY EASEMENT DEDICATED BY THIS PLAT
- D.E. - DRAINAGE EASEMENT DEDICATED BY THIS PLAT

SCALE: 1" = 60'

RECORDING INFORMATION: THIS PLAT IS BEING RECORDED IN VOLUME 27, PAGE 136, H.C.M.R. ELEVATION DATA AS PER NAVD83 (GCP# 2078)

**MELDEN & HUNT INC.**  
CONSULTANTS • ENGINEERS • SURVEYORS

115 W. McINTYRE - EDINBURG, TX 78541  
PH: (956) 381-0981 - FAX: (956) 381-1839  
ESTABLISHED 1947 - www.meldenandhunt.com

DRAWN BY: A.D. DATE 07/07/2025  
REVISED BY: \_\_\_\_\_ DATE \_\_\_\_\_  
SURVEYED, CHECKED DATE \_\_\_\_\_  
FINAL CHECK DATE \_\_\_\_\_

NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER: EZRA EZBAN (PRESIDENT)	2665 30TH STREET ST 212	SANTA MONICA, CALIFORNIA 90405	(956) 655-2901	
ENGINEER: MARIO A. REYNA, P.E.	115 W. McINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839
SURVEYOR: ROBERTO N. TAMEZ, R.P.L.S.	115 W. McINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839



**STAFF REPORT: GARCO NORTH INDUSTRIAL PARK SUBDIVISION**

Date Prepared: October 28, 2025  
Planning and Zoning Meeting: November 20, 2025  
Preliminary Plat Approval

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**Subject:** Consider the Preliminary Plat approval of Garco North Industrial Park Subdivision, being a 5.87 acres tract of land out of Lots 1, 2 and 4, Block 49, Santa Cruz Gardens Unit No. 2 Subdivision, Hidalgo County, Texas, recorded in Volume 8, Pages 28 and 29, Hidalgo County Map Records, located at 104 Constitution Drive, as requested by Quintanilla, Headley and Associates.

**Location:** The property is located on the southwest corner of Constitution Drive and N. Frontage Road, and within the City of Edinburg City Limits.

**Zoning:** Property zoning is currently Industrial, General (IG) District. Rezoning required if lot sizes are not met.

**Setbacks:** UDC Setbacks for Industrial, General (IG) District, Front and Exterior Side 25 ft., Side 10 ft., and Rear yard 10 ft.

**Analysis:** The Preliminary Plat development consists of 6 Industrial lots with lots 2-6 averaging approximately 22,398.21 square feet and Lot 1 is at 130,797.75 square feet.

**Utilities:** Water Distribution System will be provided by the City of Edinburg with City of Edinburg Sanitary Sewer Collection System requirements. All utility improvements within the proposed subdivision that are not limited to water system, sewer system, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2021 Standards Manual.

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Recommendations:

**City of Edinburg Planning & Zoning Department:**

Staff recommends approval of the Preliminary Plat, subject to compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.



# SUBMITTAL SUMMARY REPORT (PLAT-2025-0342) FOR THE CITY OF EDINBURG

<b>PERMIT ADDRESS:</b> 104 CONSTITUTION DR EDINBURG, TX 78541	<b>PARCEL:</b> S1700-02-049-0001-00
<b>APPLICATION DATE:</b> 10/09/2025	<b>SQUARE FEET:</b> 0
<b>EXPIRATION DATE:</b> 04/07/2026	<b>VALUATION:</b> \$0.00

**DESCRIPTION:** A 5.60 acre tract of land out of Lots 1, 2, and 4, Block 49, Santa Cruz Gardens Unit No. 2, Hidalgo County, Texas

CONTACTS	NAME	COMPANY	ADDRESS
Applicant	Quintanilla, Headley & Associates, Inc.	Quintanilla, Headley & Associates, Inc.	124 E Stubbs st Edinburg, TX 78539
Developer		GARCO LTD	3910 W FREDDY GONZALEZ EDINBURG, TX 78539-9308

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
Planning & Zoning Review (PZ, Eng, Fire, Util, SW) v.1	10/15/2025	10/22/2025		Requires Re-submit
Planning & Zoning Review (PZ, Eng, Fire, Util, SW) v.1				Not Received

## SUBMITTAL DETAILS

### Planning & Zoning Review (PZ, Eng, Fire, Util, SW) v.1

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Engineering (Engineering) <i>Comments</i>	Rodolfo Cantu Regalado	10/22/2025	10/24/2025	Complete
<p>15' U.E. COMMENTS: 1. VERIFY EASEMENT. EDINBURG CCN FOR BOTH WATER AND SEWER. 2. PROVIDE NORTHING AND EASTING FOR POB AND POC. 3. LOT 5 MISSING SEWER SERVICE</p> <p>SEE PLAT</p>				
Fire (Fire) <i>Comments</i>	Anthony Riojas	10/22/2025	10/20/2025	Complete
<p>PENDING INFFORMATION: 1. SITE PLAN: Need to provide a property site plan for intended property use; current plan submittals do not have adequate details for review. 2. PLAT NOTE REQUIREMENT: Pursuant to applicable fire safety regulations, the installation of additional fire hydrants, fire department access road(s), fire rated construction, and other fire protection equipment may be mandated during the Site Plan or Building Permit process.</p>				
Planning & Zoning (Planning & Zoning) <i>Comments</i>	Clarence Cruz Jr.	10/22/2025	10/23/2025	Requires Re-submit

# SUBMITTAL SUMMARY REPORT (PLAT-2025-0342)

Planning and Zoning comments:

Page 2 - Plat Sheet

update name of subdivision as per your name change request

\*What is the proposed use of the property? What type of business will this be? This will help us to determine the zoning requirements mentioned below. \*

\*currently zoned Industrial, General (IG) District - as per UDC Table 3.202-1, Nonresidential and Mixed-Use Lot Standards, Industrial, General (IG) District Rows Require Lot Area to minimum of 40,000 sq ft, and 125 Lot Width - with current proposed plans only Lot 1 meets those requirements - \*recommend rezoning to Industrial, Light (IL) District

verify drainage calculations provided ( two different amounts provided) Plat note 5

BOLD OUT POC and POB - include northing and east coordinates within plat design and within metes and bounds description ( add marker)

Map location scale > SCALE: 1" = 1,000'

ADD > \*Article 4 - Sec. 4.206, Maintenance

5. Right-of-way Maintenance - It is the duty of the adjacent landowner to keep streets and alleys, whether private or public free of debris

identify perimeter easements for lots 2 (west side) and 1 (south side)

add plat note that no access to lot 1 from lots 2-6.

add subdivision name to Planning and Zoning Commission Certification block

\*\*Is there a Master Plan since the parcel is being divided by metes and bounds?\*

Page 4 - Pre & Post Erosion Control & PP Layout

check spelling "wastersprinkling" ?

Public Works (Public Works)	David De La Fuente	10/22/2025	10/23/2025	Complete
<i>Comments</i>	SW3P, NOI, Large Construction Notice, Erosion Control Plan, Plat Note			
Solid Waste (Solid Waste)	Laura Olivarez	10/22/2025	10/15/2025	Complete
<i>Comments</i>	Plat message and guidelines sent			
Utilities (Utilities)	Gerardo Carmona	10/22/2025	10/22/2025	Complete
Utilities (Utilities)	Priscilla Bernal	10/22/2025	10/17/2025	Approved
<i>Comments</i>	The preliminary utility fees are as follows: 1. Water Tap Fees - \$14,820 2. Sewer Fees - \$540 3. Water Rights - \$17,610 4. Transfer Fees - N/A			

Please note that these fees are preliminary and are subject to change based on the final plat. Final fees must be requested from the City and must be paid prior to recording of the plat.

Will submit comments to Engineering and Planning & Zoning.

**REVIEW SESSION FILES:**

- METES & BOUNDS.pdf
- PLAT 10-9-25.pdf
- Preliminary Drainage Report (for City).pdf
- STREET LIGHT LAYOUT (10-9-25).pdf
- SURVEY.pdf
- UNITED GARCO SET 10-9-2025.pdf
- UTILITY LAYOUT 10-9-25.pdf

REVIEWER	MARKUP	DATE/TIME	FILE NAME	PG #
Clarence Cruz Jr	SCALE 1" = 1,000'	10/17/2025 6:47 pm	UNITED GARCO SET 10-9-2025.pdf	2

# SUBMITTAL SUMMARY REPORT (PLAT-2025-0342)

Clarence Cruz Jr	Planning and Zoning comments:  what is the proposed use of the property? What will the business be?  currently zoned Industrial, General (IG) District - as per UDC Table 3.202-1, Nonresidential and Mixed-Use Lot Standards, Industrial, General (IG) District Rows Require Lot Area to minimum of 40,000 sq ft, and 125 Lot Width - with current proposed plans only Lot 1 meets those requirements - recommend rezoning to Industrial, Light (IL) District  verify drainage calculations provided  corner clip length cal out - northeast corner lot 6  BOLD OUT POC and POB - include northing and east coordinates within plat design and within metes and bounds description  Map location scale > SCALE: 1" = 1,000'  ADD > 4.200, Landscaping and Buffering Sec. 4.206, Maintenance 5. Right-of-way Maintenance - It is the duty of the adjacent landowner to keep streets and alleys, whether private or public free of debris  add note that no access to lot 1 allowed from lots 2-6  **Is there a master plan since the parcel is being divided by metes and bounds?*	10/17/2025 6:54 pm	UNITED GARCO SET 10-9-2025.pdf	2
Clarence Cruz Jr	Industrial, General (IG) and Industrial, Light (IL) - as per Table 3.202-2, Nonresidential and Mixed-Use Building Placement Standards	10/17/2025 7:04 pm	UNITED GARCO SET 10-9-2025.pdf	2
Clarence Cruz Jr	BOLD OUT P.O.C. and P.O.B. and make larger font - include northing and easting coordinates to each marker and within Metes and Bounds description	10/17/2025 7:09 pm	UNITED GARCO SET 10-9-2025.pdf	2
Clarence Cruz Jr	verify	10/17/2025 7:14 pm	UNITED GARCO SET 10-9-2025.pdf	2
Clarence Cruz Jr	N Expressway 281 or Interstate 69C as per Edinburg GIS map -	10/17/2025 7:16 pm	UNITED GARCO SET 10-9-2025.pdf	2
Clarence Cruz Jr	P.O.C. = POINT OF COMMENCEMENT	10/17/2025 7:51 pm	UNITED GARCO SET 10-9-2025.pdf	2
Clarence Cruz Jr	add marker	10/22/2025 2:01 pm	UNITED GARCO SET 10-9-2025.pdf	2
Clarence Cruz Jr	verify	10/22/2025 2:20 pm	UNITED GARCO SET 10-9-2025.pdf	3
Clarence Cruz Jr	update name of subdivision as per your request - "Garco North Industrial Park Subdivision"	10/22/2025 4:47 pm	UNITED GARCO SET 10-9-2025.pdf	2
Clarence Cruz Jr	add subdivision name to block	10/23/2025 3:51 pm	UNITED GARCO SET 10-9-2025.pdf	2
Clarence Cruz Jr	perimeter easement ?	10/23/2025 3:52 pm	UNITED GARCO SET 10-9-2025.pdf	2
Clarence Cruz Jr	perimeter easement?	10/23/2025 3:53 pm	UNITED GARCO SET 10-9-2025.pdf	2
rodcantu	15' U.E.	10/23/2025 4:55 pm	PLAT 10-9-25.pdf	1
rodcantu	COMMENTS: 1. VERIFY EASEMENT. EDINBURG CCN FOR BOTH WATER AND SEWER. 2. PROVIDE NORTHING AND EASTING FOR POB AND POC.	10/23/2025 4:56 pm	PLAT 10-9-25.pdf	1
rodcantu	COMMENTS: 1. LOT 5 MISSING SEWER SERVICE	10/23/2025 4:57 pm	UTILITY LAYOUT 10-9-25.pdf	1
rodcantu	CITY PROVIDES WATER AND SEWER	10/23/2025 4:58 pm	UTILITY LAYOUT 10-9-25.pdf	1
rodcantu	INCLUDE CONCRETE CHANNEL	10/23/2025 4:59 pm	UTILITY LAYOUT 10-9-25.pdf	1
rodcantu	NEEDS TO BE 3:1	10/23/2025 5:00 pm	UTILITY LAYOUT 10-9-25.pdf	1
rodcantu	FENCE/BERM	10/23/2025 5:00 pm	UTILITY LAYOUT 10-9-25.pdf	1

# UNITED GARCO SUBDIVISION

A 5.87 ACRE TRACT OF LAND OUT OF LOTS 1, 2 AND 4, BLOCK 49, SANTA CRUZ GARDENS UNIT NO. 2, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT RECORDED IN VOLUME 8, PAGES 28 & 29, MAP RECORDS, HIDALGO COUNTY, TEXAS, AND ACCORDING TO CORRECTION WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 1738805, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

STATE OF TEXAS  
COUNTY OF HIDALGO  
OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

I (WE) THE UNDERSIGNED OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS UNITED GARCO SUBDIVISION ADDITION OF THE CITY OF EDINBURG, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE OF CONSIDERATION THEREIN EXPRESSED.

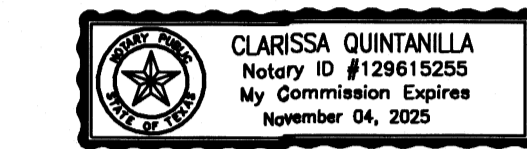
RICHARD A. GARZA  
3910 W. FREDDY GONZALEZ DRIVE  
EDINBURG TX, 78539

DATE

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, the undersigned authority, on this day personally appeared RICHARD A. GARZA

known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for purposes and considerations therein stated.  
Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.



CLARISSA QUINTANILLA-NOTARY PUBLIC

PLANNING & ZONING  
COMMISSION CERTIFICATION

I, the undersigned, Chairperson of the Planning and Zoning Commission of the City of Edinburg, hereby certify that this subdivision plat known as \_\_\_\_\_ conforms to all requirements of the Subdivision Regulations of this City wherein my approval is required and has been approved for recording on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

CHAIRPERSON-PLANNING & ZONING COMMISSION

HIDALGO COUNTY CONSOLIDATED WATER CONTROL

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY CONSOLIDATED WATER CONTROL AND IMPROVEMENT DISTRICT ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY CONSOLIDATED WATER CONTROL AND IMPROVEMENT DISTRICT RIGHT OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A CONVEYANCE, WAIVER OR ABANDONMENT OF ANY PROPERTY INTEREST HELD BY THE DISTRICT IN THE PROPERTY SHOWN ON THE PLAT; OR THE ACCEPTANCE OR APPROVAL OF THE ACCURACY OF ANY STATEMENT, DIMENSION OR DESCRIPTION SHOWN ON THE PLAT.

PRESIDENT \_\_\_\_\_ SECRETARY \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.



MARCO A. GONZALEZ  
P.E. No. 120016  
DATE 10-9-25

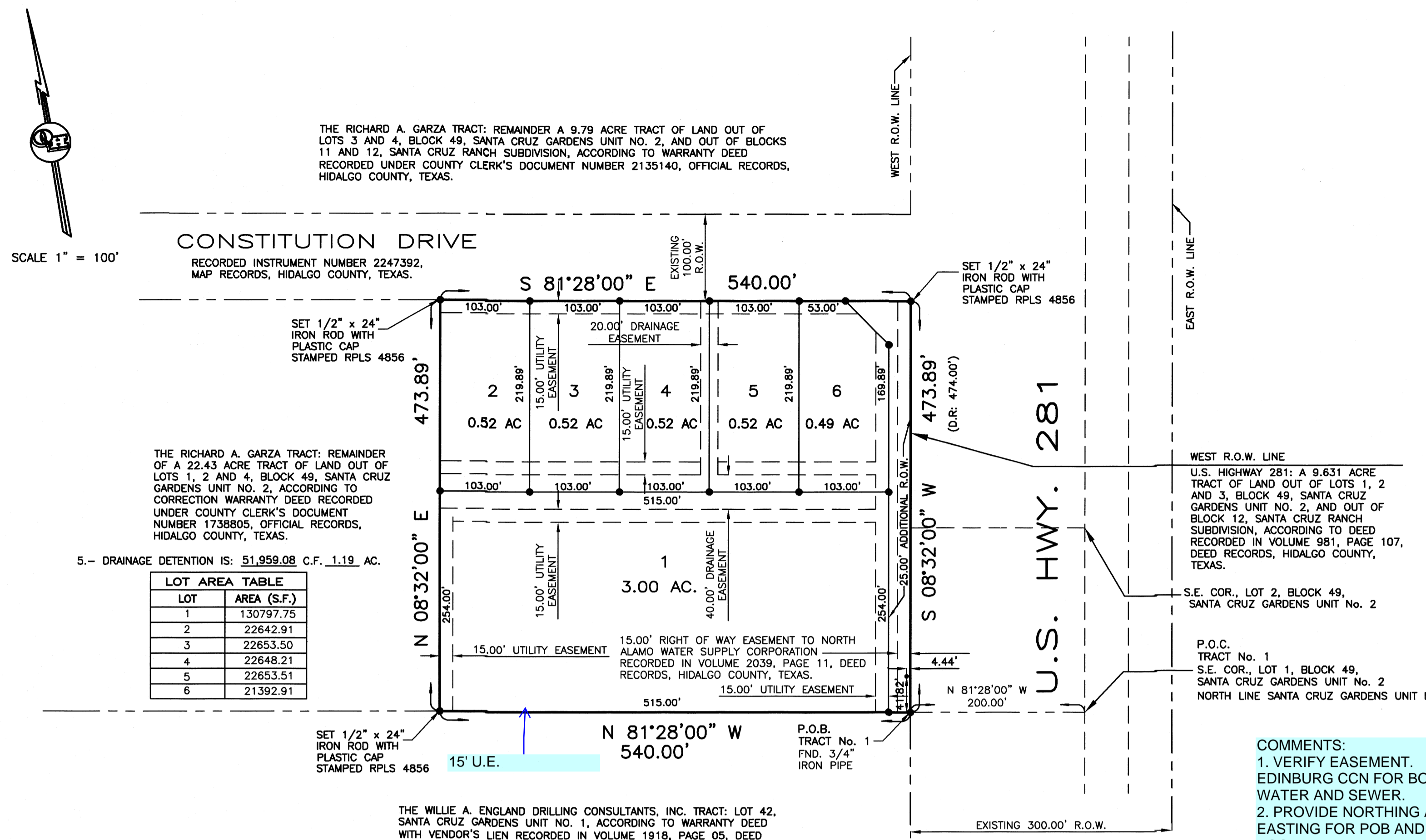
FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUAJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS  
BY: \_\_\_\_\_ DEPUTY

QUINTANILLA, HEADLEY AND ASSOCIATES, INC.  
CONSULTING ENGINEERS LAND SURVEYORS  
124 E. STUBBS ST. PHONE 956-381-6480  
EDINBURG, TEXAS 78539 FAX 956-381-0527  
REGISTRATION NUMBER F-1513 ALFONSO@QHA-ENG.COM  
SURVEYING REGISTRATION NUMBER 100411-00

DATE OF PREPARATION: SEPTEMBER 15, 2025

FILENAME : F:\DATA\SUBDIVISION\EDINBURG\UNITED GARCO SUBDIVISION\PLAT			
DATE PREPARED 9-15-25	PREPARED BY LG	CHECKED BY	APPROVED BY
DATE REVISED	REVISED BY	CHECKED BY	APPROVED BY



### PLAT NOTES AND RESTRICTIONS:

- FLOOD ZONE DESIGNATION: ZONE "X" (SHADED) AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD. COMMUNITY-PANEL NUMBER: 480338 0010 E. MAP REVISED: JUNE 6, 2000 LOMR DATED MAY 14, 2001
- MINIMUM FINISH FLOOR NOTE: MINIMUM FINISH FLOOR ELEVATION 18" ABOVE TOP OF CURB OF THE STREET.
- LEGEND - DENOTES 1/2" IRON ROD SET WITH PLASTIC CAP STAMPED RPLS 4856 UNLESS OTHERWISE NOTED
- MINIMUM BUILDING SETBACK LINES:
 

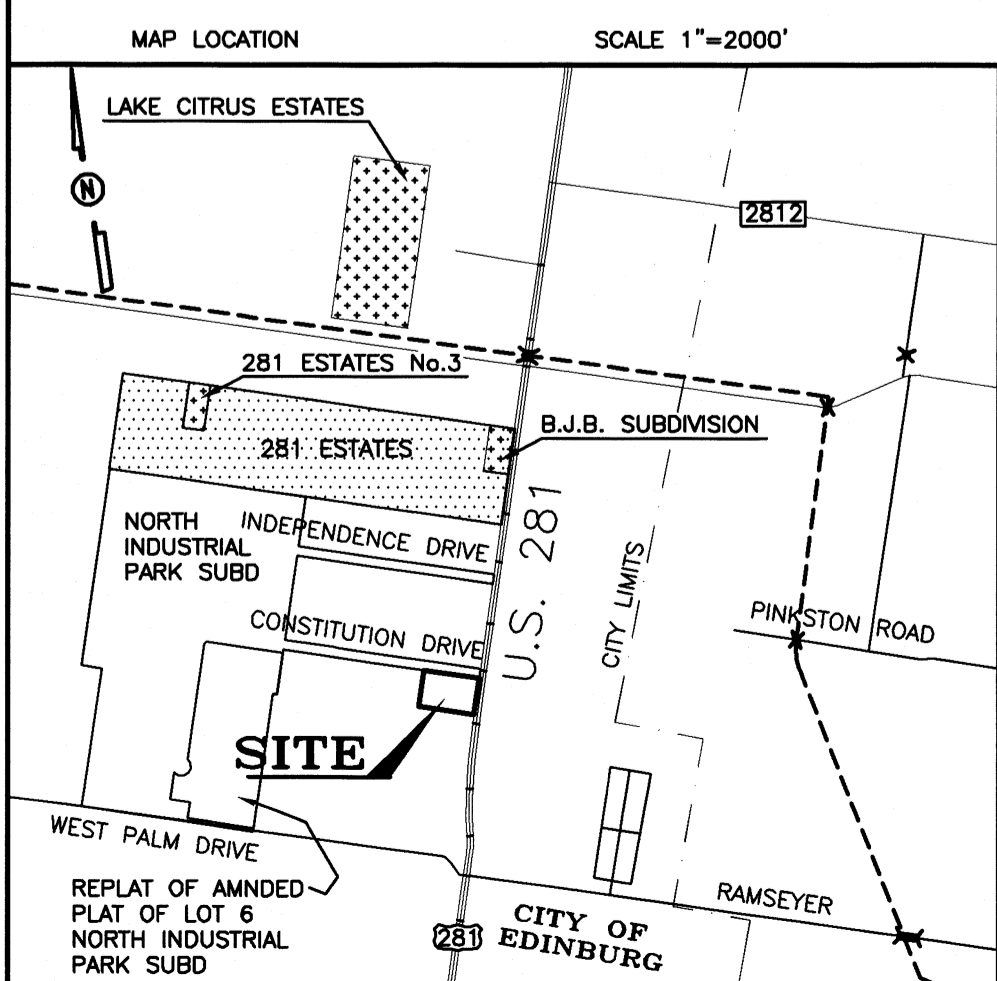
FRONT.....	25.00 FEET
REAR.....	30.00 FEET
SIDE.....	15.00 FEET
CORNER SIDE.....	25.00 FEET

 OR TO EASEMENT LINE WHICHEVER IS GREATER IN ALL CASES.
- DRAINAGE DETENTION IS: 49950.57 C.F., 1.15 AC.
 

LOT 1 = 26,903.36 CF,	LOT 2 = 4,663.25 CF,	LOT 3 = 4,663.25 CF,
LOT 4 = 4,663.25 CF,	LOT 5 = 4,663.25 CF,	LOT 6 = 4,394.21 CF,
- NO PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN UTILITY EASEMENTS.
- BENCH MARK NOTE: B.M. ELEV.=89.75 LOCATED 4.44' WEST AND 41.82' NORTH FROM THE NORTHEAST CORNER OF THIS SUBDIVISION N.A.V.D. 88 DATUM. NORTHING = 16660013.164 EASTING = 1100311.894
- ALL WATER AND SANITARY FEES SHALL BE PAID BY DEVELOPER.
- A FIVE (5.0') FOOT SIDEWALK WITH ADA RAMP IS REQUIRED ALONG CONSTITUTION DRIVE ON SUBDIVISION PROCESS.
- ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SW3P) REQUIREMENTS. SEDIMENTATION CONTROLS CONSTRUCTED IN ACCORDANCE WITH THE STORMWATER ORDINANCE 98.30 OF THE CITY OF EDINBURG ARE REQUIRED FOR ALL CONSTRUCTION ON EACH LOT INCLUDING SINGLE FAMILY AND DUPLEX/MULTI-FAMILY AND CONSTRUCTION.
- SITE PLAN MUST BE REVIEWED AND APPROVED BY THE CITY OF EDINBURG PRIOR TO ISSUANCE OF BUILDING PERMITS.
- T-DOOT PERMIT REQUIRED FOR ACCESS ALONG T-DOOT RIGHT-OF-WAYS. ANY ACCESS POINTS TO STATE HIGHWAY MUST COMPLY WITH THE LATEST VERSION OF T-DOOT ACCESS MANAGEMENT MANUAL AND CITY OF EDINBURG UNIFIED DEVELOPMENT CODE.
- SAID PROPERTY SHALL COMPLY WITH THE MOST CURRENT UNIFIED DEVELOPMENT CODE AND CITY OF EDINBURG REQUIREMENTS AND SPECIFICATIONS. SUCH REQUIREMENTS MAY INCLUDE, BUT ARE NOT LIMITED TO SETBACKS, BUFFER YARDS, FLOOR AREA RATIO, LANDSCAPE SURFACE RATIO, PARKING REQUIREMENTS, FIRE PROTECTION OR ANY OTHER CITY REQUIREMENTS.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF, IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
- PURSUANT TO APPLICABLE FIRE SAFETY REGULATIONS, THE INSTALLATION OF ADDITIONAL FIRE HYDRANTS, FIRE DEPARTMENT ACCESS ROAD(S), FIRE RATED CONSTRUCTION, AND OTHER FIRE PROTECTION EQUIPMENT MAY BE MANDATED DURING THE SITE PLAN OR BUILDING PERMIT PROCESS.
- ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO HIDALGO COUNTY CONSOLIDATED WATER CONTROL AND IMPROVEMENT DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.
- NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM HIDALGO COUNTY CONSOLIDATED WATER CONTROL AND IMPROVEMENT DISTRICT.
- NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY, OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY IRRIGATION DISTRICT. ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
- NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.

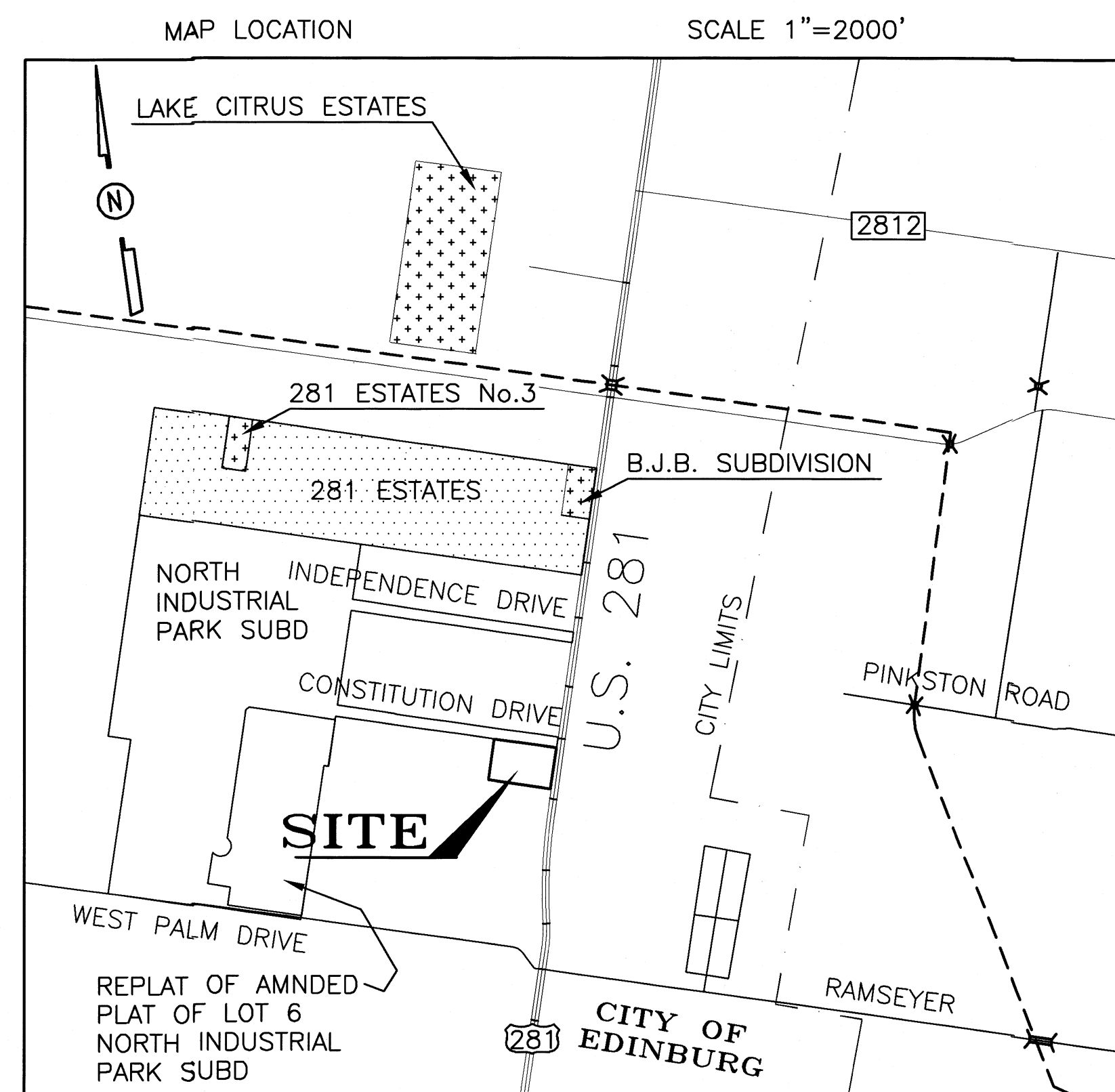
ABBREVIATIONS:

M.R. = MAP RECORD
R.O.W. = RIGHT OF WAY
OH = OVERHEAD POWER LINE
D.R. = DEED RECORD
FND. = FOUND
M.B.S.L. = MINIMAL BUILDING SETBACK LINE
UGL. = UNDERGROUND LINE
R.C.P. = REINFORCED CONCRETE PIPE
P.V.C. = POLY VINYL CHLORIDE
N = NORTH
S = SOUTH
W = WEST
E = EAST
COR. = CORNER
M.V.E.C. = MAGIC VALLEY ELECTRIC COOPERATIVE
S.E.T. = SAFETY END TREATMENT
A.E.P. = AMERICAN ELECTRIC POWER
P.O.B. = POINT OF BEGINNING
B.M. = BENCH MARK
R.P.L.S. = REGISTERED PROFESSIONAL LAND SURVEYOR
U.G.E.B. = UNDERGROUND ELECTRICAL BOX



# UNITED GARCO SUBDIVISION

## WATERLINE, SANITARY SEWER COLLECTION, PAVING AND DRAINAGE SYSTEMS



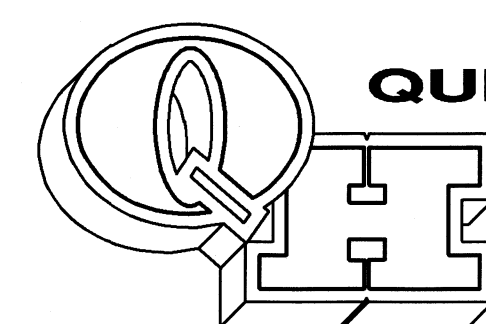
### INDEX:

- 1.-COVER SHEET
- 2.-PLAT
- 3.-UTILITY LAYOUT
- 4.-EROSION CONTROL
- 5.-EROSION CONTROL & POLLUTION PREVENTION
- 6.-EDINBURG WATER STANDARD DETAILS
- 7.-EDINBURG SAN. SEWER STANDARD DETAILS
- 8.-EDINBURG PAVING STANDARD DETAILS SHEET 1
- 9.-EDINBURG PAVING STANDARD DETAILS SHEET 2
- 10.-EDINBURG DRAINAGE STANDARD DETAILS
- 11.-EDINBURG STORMWATER DETAILS



*Marco A. Gonzalez*  
MARCO A. GONZALEZ  
P.E. No. 120016

10-9-25  
DATE



### QUINTANILLA, HEADLEY AND ASSOCIATES, INC.

CONSULTING ENGINEERS

124 E. STUBBS ST.  
EDINBURG, TEXAS 78539  
ENGINEERING REGISTRATION NUMBER F-1513  
SURVEYING REGISTRATION NUMBER 100411-00

LAND SURVEYORS

PHONE 956-381-6480  
FAX 956-381-0527  
alfonsoq@qha-eng.com

# UNITED GARCO SUBDIVISION

A 5.87 ACRE TRACT OF LAND OUT OF LOTS 1, 2 AND 4, BLOCK 49, SANTA CRUZ GARDENS UNIT NO. 2, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT RECORDED IN VOLUME 8, PAGES 28 & 29, MAP RECORDS, HIDALGO COUNTY, TEXAS, AND ACCORDING TO CORRECTION WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 1738805, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

STATE OF TEXAS  
COUNTY OF HIDALGO  
OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

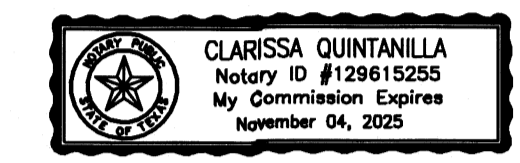
I (WE) THE UNDERSIGNED OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS UNITED GARCO SUBDIVISION ADDITION OF THE CITY OF EDINBURG, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE OF CONSIDERATION THEREIN EXPRESSED.

RICHARD A. GARZA  
3910 W. FREDDY GONZALEZ DRIVE  
EDINBURG TX, 78539

DATE

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, the undersigned authority, on this day personally appeared RICHARD A. GARZA known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for purposes and considerations therein stated. Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.



CLARISSA QUINTANILLA-NOTARY PUBLIC

PLANNING & ZONING COMMISSION CERTIFICATION

I, the undersigned, Chairperson of the Planning and Zoning Commission of the City of Edinburg, hereby certify that this subdivision plat known as \_\_\_\_\_ conforms to all requirements of the Subdivision Regulations of this City wherein my approval is required and has been approved for recording on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

CHAIRPERSON-PLANNING & ZONING COMMISSION

HIDALGO COUNTY CONSOLIDATED WATER CONTROL

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY CONSOLIDATED WATER CONTROL AND IMPROVEMENT DISTRICT ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY CONSOLIDATED WATER CONTROL AND IMPROVEMENT DISTRICT RIGHT OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A CONVEYANCE, WAIVER OR ABANDONMENT OF ANY PROPERTY INTEREST HELD BY THE DISTRICT IN THE PROPERTY SHOWN ON THE PLAT; OR THE ACCEPTANCE OR APPROVAL OF THE ACCURACY OF ANY STATEMENT, DIMENSION OR DESCRIPTION SHOWN ON THE PLAT.

PRESIDENT \_\_\_\_\_ ATTEST: SECRETARY \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF HIDALGO

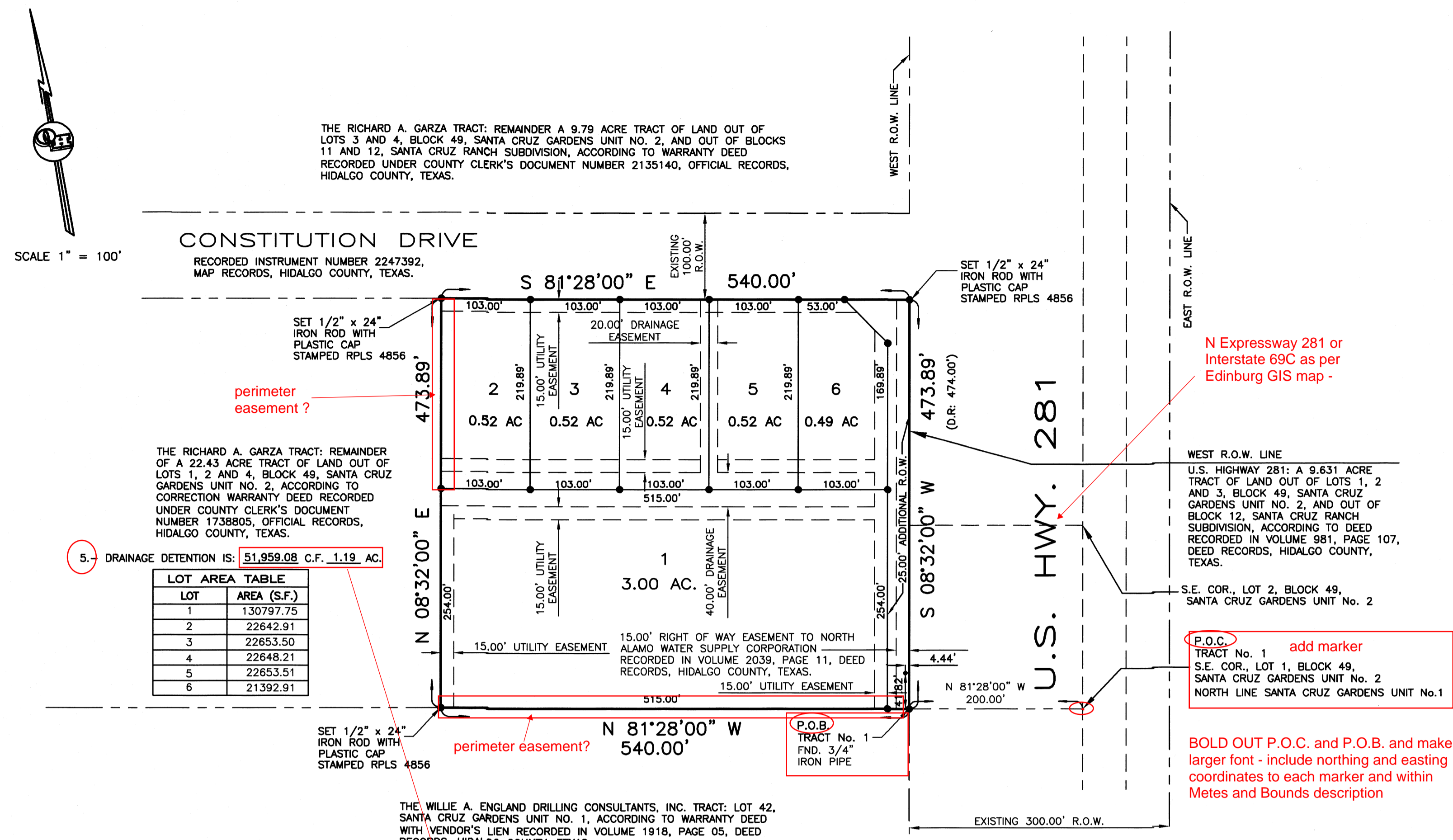
I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.



MARCO A. GONZALEZ  
P.E. No. 120016  
DATE 10-9-25

FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUAJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS  
BY: \_\_\_\_\_ DEPUTY



CONSTITUTION DRIVE  
RECORDED INSTRUMENT NUMBER 2247392,  
MAP RECORDS, HIDALGO COUNTY, TEXAS.

THE RICHARD A. GARZA TRACT, REMAINDER OF A 22.43 ACRE TRACT OF LAND OUT OF LOTS 1, 2 AND 4, BLOCK 49, SANTA CRUZ GARDENS UNIT NO. 2, ACCORDING TO CORRECTION WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 1738805, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

5. DRAINAGE DETENTION IS: 51,959.08 C.F. 1.19 AC.

LOT	AREA (S.F.)
1	130797.75
2	22642.91
3	22643.50
4	22648.21
5	22653.51
6	21392.91

- ABBREVIATIONS:
- M.R. = MAP RECORD
  - R.O.W. = RIGHT OF WAY
  - OH = OVERHEAD POWER LINE
  - D.R. = DEED RECORD
  - FND. = FOUND
  - M.B.S.L. = MINIMAL BUILDING SETBACK LINE
  - UGL. = UNDERGROUND LINE
  - R.C.P. = REINFORCED CONCRETE PIPE
  - P.V.C. = POLY VINYL CHLORIDE
  - N = NORTH
  - S = SOUTH
  - W = WEST
  - E = EAST
  - COR. = CORNER
  - M.V.E.C. = MAGIC VALLEY ELECTRIC COOPERATIVE
  - S.E.T. = SAFETY END TREATMENT
  - A.E.P. = AMERICAN ELECTRIC POWER
  - P.O.B. = POINT OF BEGINNING
  - B.M. = BENCH MARK
  - R.P.L.S. = REGISTERED PROFESSIONAL LAND SURVEYOR
  - U.G.E.B. = UNDERGROUND ELECTRICAL BOX

P.O.C. = POINT OF COMMENCEMENT

### PLAT NOTES AND RESTRICTIONS:

- FLOOD ZONE DESIGNATION: ZONE "X" (SHADED) AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD. COMMUNITY-PANEL NUMBER: 480338 0010 E MAP REVISED: JUNE 6, 2000 LOMR DATED MAY 14, 2001
- MINIMUM FINISH FLOOR NOTE: MINIMUM FINISH FLOOR ELEVATION 18" ABOVE TOP OF CURB OF THE STREET.
- LEGEND \* - DENOTES 1/2" IRON ROD SET WITH PLASTIC CAP STAMPED RPLS 4856 UNLESS OTHERWISE NOTED Industrial, General (IG) and Industrial, Light (IL) - as per Table 3.202-2, Nonresidential and Mixed-Use Building Placement Standards
- MINIMUM BUILDING SETBACK LINES: FRONT ..... 25.00 FEET REAR ..... 30.00 FEET SIDE ..... 15.00 FEET CORNER SIDE ..... 25.00 FEET OR TO EASEMENT LINE WHICHEVER IS GREATER IN ALL CASES.
- DRAINAGE DETENTION IS: 49950.57 C.F. 1.15 AC. verify  
LOT 1 = 26,903.36 CF, LOT 2 = 4,663.25 CF, LOT 3 = 4,663.25 CF,  
LOT 4 = 4,663.25 CF, LOT 5 = 4,663.25 CF, LOT 6 = 4,394.21 CF.
- NO PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN UTILITY EASEMENTS.
- BENCH MARK NOTE: B.M. ELEV.=89.75 LOCATED 4.44' WEST AND 41.82' NORTH FROM THE NORTHEAST CORNER OF THIS SUBDIVISION N.A.V.D. 88 DATUM. NORTHING = 16860013.164 EASTING = 1100311.894
- ALL WATER AND SANITARY FEES SHALL BE PAID BY DEVELOPER.
- A FIVE (5.0') FOOT SIDEWALK WITH ADA RAMP IS REQUIRED ALONG CONSTITUTION DRIVE ON SUBDIVISION PROCESS.
- ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SW3P) REQUIREMENTS. SEDIMENTATION CONTROLS CONSTRUCTED IN ACCORDANCE WITH THE STORMWATER ORDINANCE 98.30 OF THE CITY OF EDINBURG ARE REQUIRED FOR ALL CONSTRUCTION ON EACH LOT INCLUDING SINGLE FAMILY AND DUPLEX/MULTI-FAMILY AND CONSTRUCTION.
- SITE PLAN MUST BE REVIEWED AND APPROVED BY THE CITY OF EDINBURG PRIOR TO ISSUANCE OF BUILDING PERMITS.
- TxDOT PERMIT REQUIRED FOR ACCESS ALONG TxDOT RIGHT-OF-WAYS. ANY ACCESS POINTS TO STATE HIGHWAY MUST COMPLY WITH THE LATEST VERSION OF TxDOT ACCESS MANAGEMENT MANUAL AND CITY OF EDINBURG UNIFIED DEVELOPMENT CODE.
- SAID PROPERTY SHALL COMPLY WITH THE MOST CURRENT UNIFIED DEVELOPMENT CODE AND CITY OF EDINBURG REQUIREMENTS AND SPECIFICATIONS. SUCH REQUIREMENTS MAY INCLUDE, BUT ARE NOT LIMITED TO SETBACKS, BUFFER YARDS, FLOOR AREA RATIO, LANDSCAPE SURFACE RATIO, PARKING REQUIREMENTS, FIRE PROTECTION OR ANY OTHER CITY REQUIREMENTS.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF, IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
- PURSUANT TO APPLICABLE FIRE SAFETY REGULATIONS, THE INSTALLATION OF ADDITIONAL FIRE HYDRANTS, FIRE DEPARTMENT ACCESS ROAD(S), FIRE RATED CONSTRUCTION, AND OTHER FIRE PROTECTION EQUIPMENT MAY BE MANDATED DURING THE SITE PLAN OR BUILDING PERMIT PROCESS.
- ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO HIDALGO COUNTY CONSOLIDATED WATER CONTROL AND IMPROVEMENT DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.
- NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM HIDALGO COUNTY CONSOLIDATED WATER CONTROL AND IMPROVEMENT DISTRICT.
- NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY, OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY IRRIGATION DISTRICT. ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
- NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.

N Expressway 281 or Interstate 69C as per Edinburg GIS map -

P.O.C. TRACT No. 1 add marker  
S.E. COR., LOT 1, BLOCK 49, SANTA CRUZ GARDENS UNIT No. 2 NORTH LINE SANTA CRUZ GARDENS UNIT No.1

BOLD OUT P.O.C. and P.O.B. and make larger font - include northing and easting coordinates to each marker and within Metes and Bounds description

METES AND BOUNDS  
A 5.87 ACRE TRACT OF LAND OUT OF LOTS 1, 2 AND 4, BLOCK 49, SANTA CRUZ GARDENS UNIT NO.2 SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP THEREOF RECORDED IN VOLUME 8, PAGES 28 AND 29, MAP RECORDS, AND ACCORDING TO CORRECTION WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 1738805, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS.

BEGINNING AT A 3/4" IRON PIPE FOUND ON THE SOUTH LINE OF LOT 1 AND ON THE WEST RIGHT OF WAY LINE OF U.S. HIGHWAY 281 FOR THE SOUTHEAST CORNER OF LOT 1 TRACT, SAID PIPE BEARS N 81°28'00" W, 200.00 FEET FROM THE SOUTHEAST CORNER OF LOT 1.  
THENCE: N 81°28'00" W, ALONG THE SOUTH LINE OF LOT 1, A DISTANCE OF 540.00 FEET TO A 1/2" IRON ROD WITH PLASTIC CAP STAMPED RPLS 4856 SET FOR THE SOUTHWEST CORNER OF THIS TRACT.  
THENCE: N 08°32'00" E, A DISTANCE OF 473.89 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET ON THE SOUTH RIGHT OF WAY LINE OF CONSTITUTION DRIVE FOR THE NORTHWEST CORNER OF THIS TRACT.  
THENCE: S 81°28'00" E, ALONG THE SOUTH RIGHT OF WAY LINE OF CONSTITUTION DRIVE, A DISTANCE OF 540.00 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET ON THE WEST RIGHT OF WAY LINE OF U.S. HIGHWAY 281 FOR THE NORTHEAST CORNER OF THIS TRACT.  
THENCE: S 08°32'00" W, ALONG THE WEST RIGHT OF WAY LINE OF U.S. HIGHWAY 281, A DISTANCE OF 473.89 FEET (DEED RECORD: 474.00 FEET) TO THE POINT OF BEGINNING AND CONTAINING 5.87 ACRES OF LAND MORE OR LESS.  
BEARINGS ARE IN ACCORDANCE WITH SANTA CRUZ GARDENS UNIT No.2 SUBDIVISION, RECORDED IN VOLUME 8, PAGES 28 AND 29, MAP RECORDS, HIDALGO COUNTY, TEXAS.

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, AND WAS MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY DONE ON THE GROUND UNDER MY SUPERVISION.



ALFONSO QUINTANILLA  
R.P.L.S. No. 4856  
DATE 9-15-2025

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE 49.21(c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL SESIN, P.E., C.F.M.  
GENERAL MANAGER  
DATE

Planning and Zoning comments:

what is the proposed use of the property? What will the business be?

currently zoned Industrial, General (IG) District - as per UDC Table 3.202-1, Nonresidential and Mixed-Use Lot Standards, Industrial, General (IG) District Rows Require Lot Area to minimum of 40,000 sq ft, and 125 Lot Width - with current proposed plans only Lot 1 meets those requirements - recommend rezoning to Industrial, Light (IL) District

verify drainage calculations provided

corner clip length cal out - northeast corner lot 6

BOLD OUT POC and POB - include northing and east coordinates within plat design and within metes and bounds description

Map location scale > SCALE: 1" = 1,000'

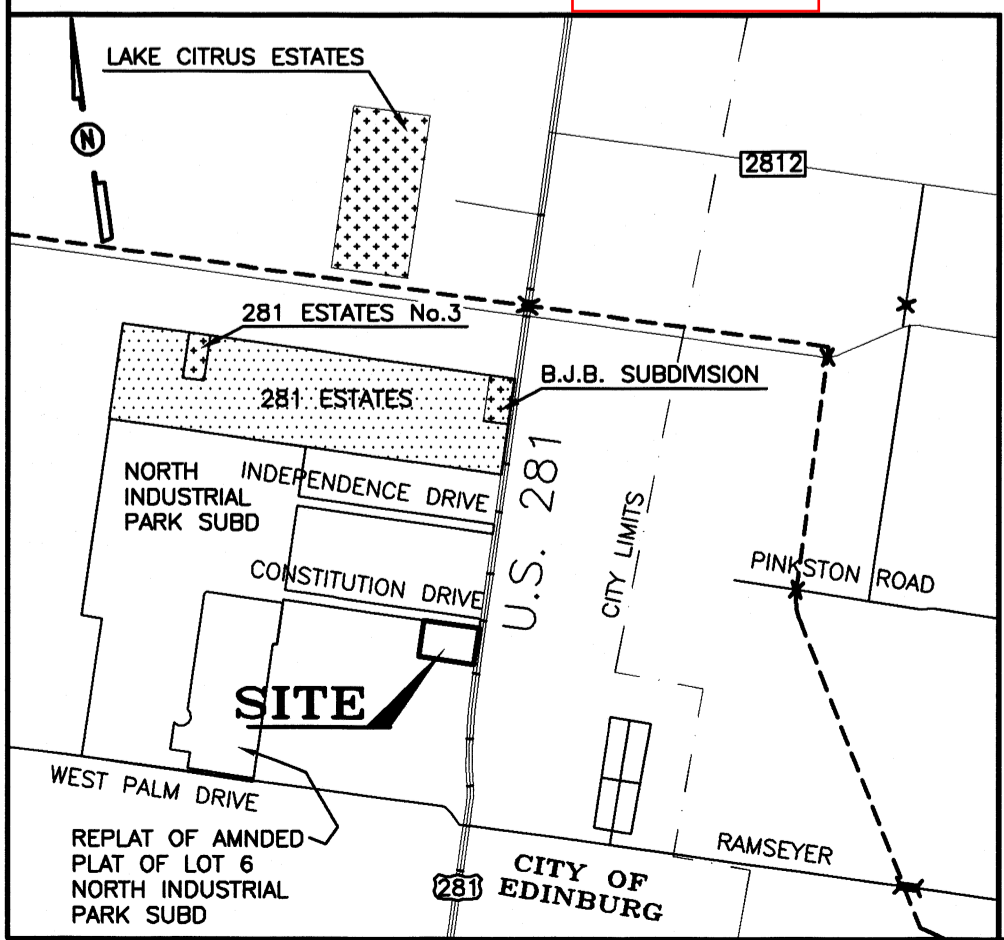
ADD > 4.200, Landscaping and Buffering  
Sec. 4.206, Maintenance

5. Right-of-way Maintenance - It is the duty of the adjacent landowner to keep streets and alleys, whether private or public free of debris

add note that no access to lot 1 allowed from lots 2-6

\*\*Is there a master plan since the parcel is being divided by metes and bounds?\*

SCALE 1" = 1,000'  
SCALE 1" = 2000'



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.  
CONSULTING ENGINEERS  
124 E. STUBBS ST.  
EDINBURG, TEXAS 78539  
REGISTRATION NUMBER F-1513  
SURVEYING REGISTRATION NUMBER 100411-00  
LAND SURVEYORS  
PHONE 956-381-6480  
FAX 956-381-0527  
ALFONSO@QHA-ENG.COM

DATE OF PREPARATION: SEPTEMBER 15, 2025

FILENAME	DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
F:\DATA\SUBDIVISION\EDINBURG\UNITED GARCO SUBDIVISION\PLAT	9-15-25	LG		
	DATE REVISED	REVISED BY	CHECKED BY	APPROVED BY

**LEGEND**

**TOTAL DETENTION REQUIRED - 49,950.57 C.F.**

LOT 1 = 26,903.36 CF, LOT 2 = 4,663.25 CF, LOT 3 = 4,663.25 CF, LOT 4 = 4,663.25 CF, LOT 5 = 4,663.25 CF, LOT 6 = 4,394.21 CF,

**TOTAL DETENTION PROVIDED - 53,942.00 C.F.**

LOT 1 = 29,053.14 CF, LOT 2 = 5,035.86 CF, LOT 3 = 5,035.86 CF, LOT 4 = 5,035.86 CF, LOT 5 = 5,035.86 CF, LOT 6 = 4,745.35 CF,

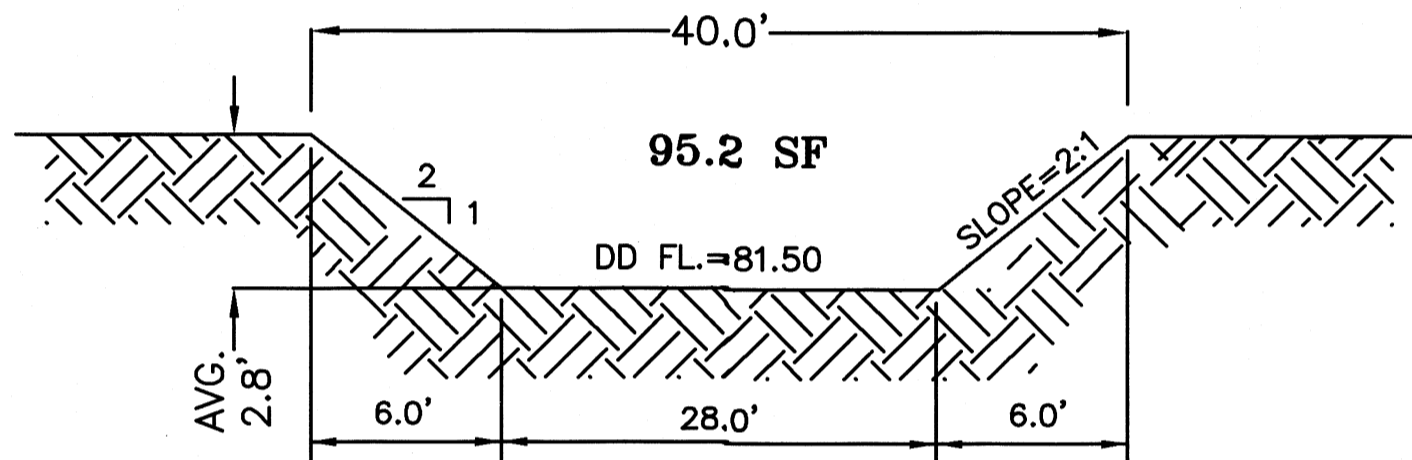
NOTE: THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.

verify

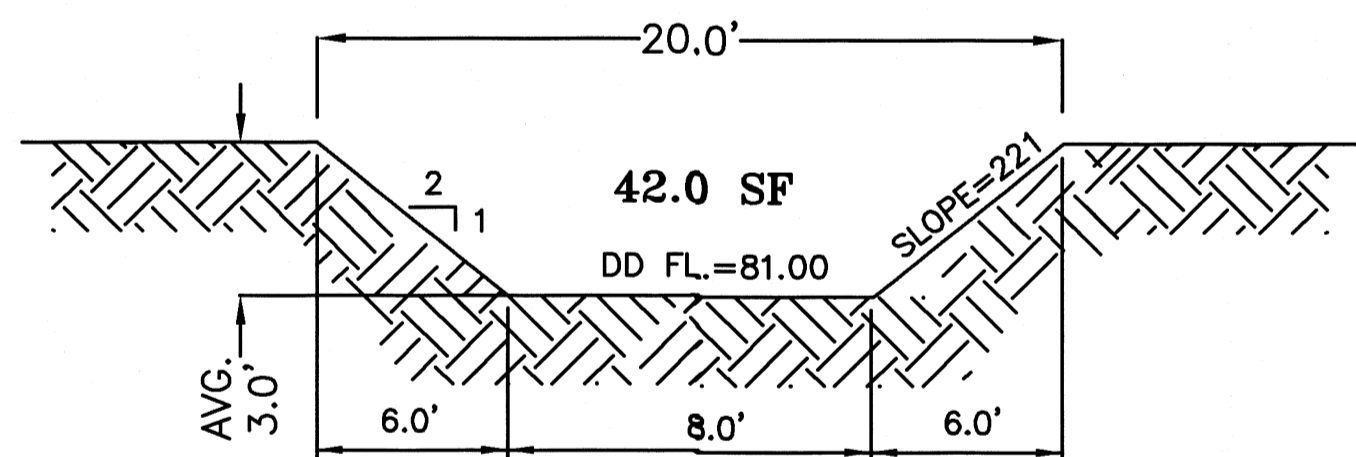
SANTA CRUZ GARDENS UNIT NO. 2  
RECORDED IN VOLUME 8, PAGES 28-29,  
MAP RECORDS, HIDALGO COUNTY, TEXAS

SANTA CRUZ GARDENS UNIT NO. 2  
RECORDED IN VOLUME 8, PAGES 28-29,  
MAP RECORDS, HIDALGO COUNTY, TEXAS

LOT 2  
BLOCK 49



**DETENTION AREA DETAIL "A"**  
DETENTION AREA STORAGE - 46,172.00 C.F.  
(95.2 SF X 485.0' LENGTH)  
NOT TO SCALE



**DETENTION AREA DETAIL "B"**  
DETENTION AREA STORAGE - 7,770.00 C.F.  
(42.0 SF X 185.0' LENGTH)  
NOT TO SCALE

LOT 1  
BLOCK 49

SANTA CRUZ GARDENS UNIT NO. 1  
RECORDED IN VOLUME 7, PAGE 45,  
MAP RECORDS, HIDALGO COUNTY, TEXAS

42

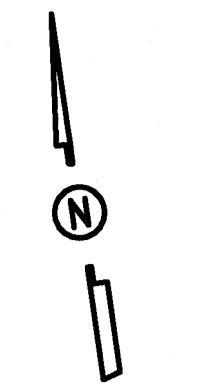
N 81°28'00" W

540.00'

N 81°28'00" W  
200.00'

U.S. HWY. 281

SCALE 1" = 40'



EXIST. 12" WATERLINE  
LOT 3  
BLOCK 49

EXIST. FIRE HYDRANT

PROP. 12"x6" TAPPING SLEEVE  
6" TAPPING VALVE & BOX  
BORE & INSTALL  
12" P.V.C. CASING 85 L.F.  
FIRE HYDRANT

ELECTRIC TRANSFORMER

CONCRETE SLAB  
FOR ELECTRIC  
TRANSFORMER

EXIST. 12" WATERLINE

PROP BORE & INSTALL  
2" P.V.C. CASING  
85 L.F. (TYP.)

PROP. M.H.  
TOP=85.00  
FL=79.80

EXIST. TYPE  
"A" INLET  
TOP=84.00  
FL=79.25  
PROP TIE INTO INLET  
AT FL=80.81

540.00'

PROP. M.H.  
W/DROP STRUCTURE  
TOP=85.00  
INV. WEST=78.73  
FL=70.83

PROP. M.H.  
TOP=85.00  
FL=80.50

S 81°28'00" E

PROP 18" RCP BLEEDER LINE  
50 LF S=0.38% Q=6.99 CFS

PROP 12" SANITARY  
SEWER LINE SDR-26  
320.0 L.F. S=0.335%

PROP 12" SANITARY  
SEWER LINE SDR-26  
206.29 L.F. S= 0.335%

PROP RIP RAP  
FL=81.00

PROP 1" SINGLE  
SERVICE CONN.

473.89'

473.89'  
(D.R: 474.00')

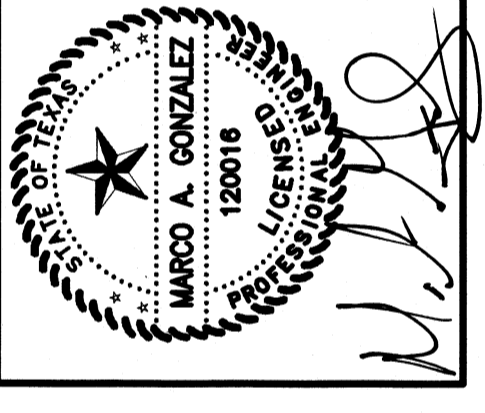
N 08°32'00" E

S 08°32'00" W

JOB NO.	DATE	REVISION	SCALE	DRAWN BY	SHEET
			1"=40'	XX	

**UNITED GARCO SUBDIVISION  
UTILITY LAYOUT**

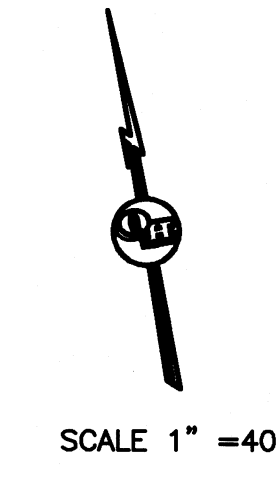
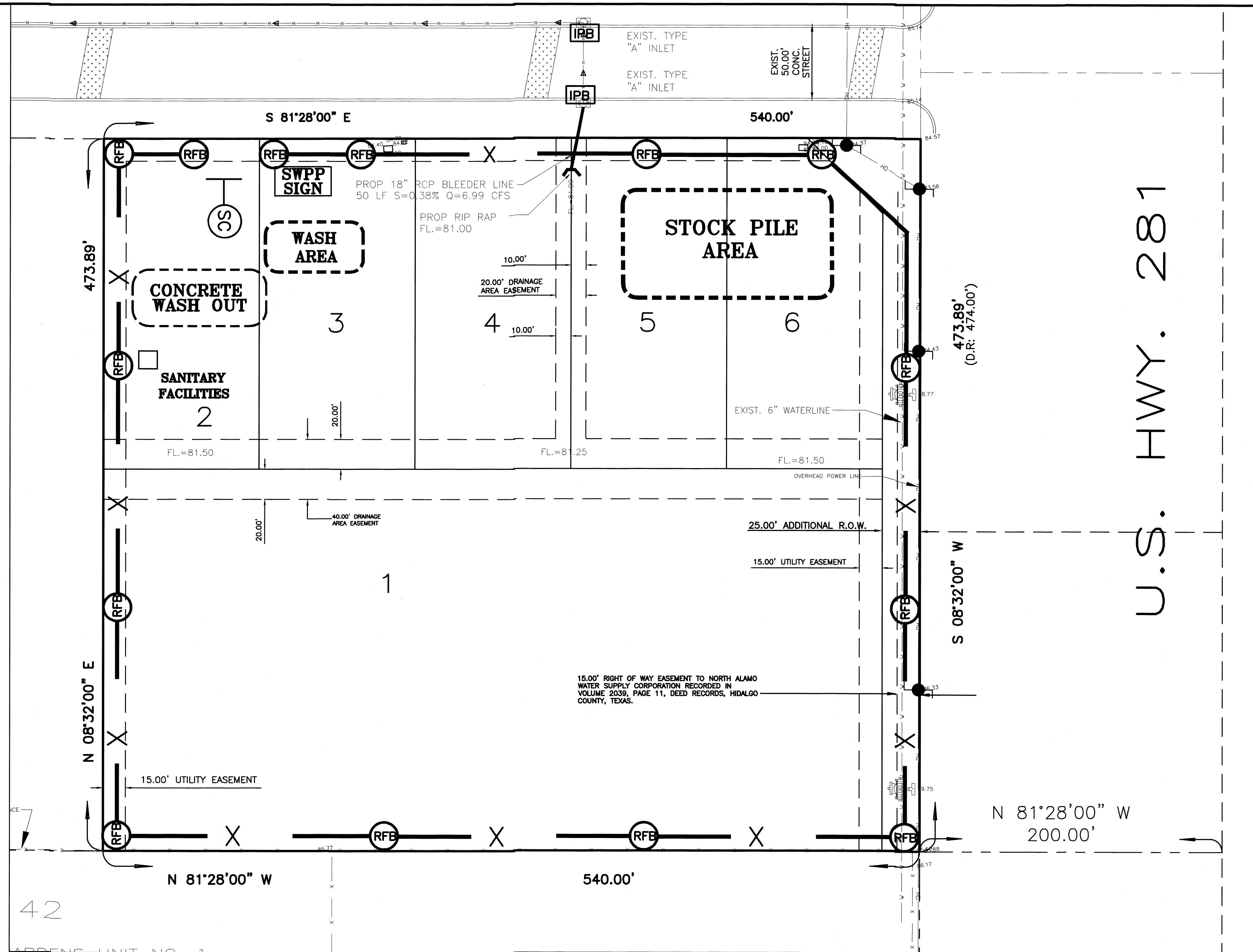
10-9-25



**QUINTANILLA, HEADLEY AND ASSOCIATES, INC.**  
CONSULTING ENGINEERS  
124 E. STUBBS ST.  
EDINBURG, TEXAS 78539  
ENGINEERING REGISTRATION NUMBER F-1513  
SURVEYING REGISTRATION NUMBER 100411-00

**LAND SURVEYORS**  
PHONE 956-361-6480  
FAX 956-361-0527  
ALFONSO@QCHA-ENG.COM

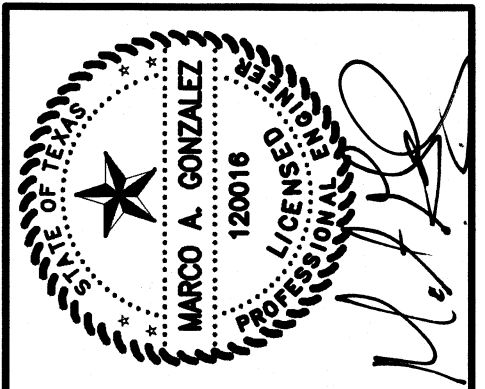
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DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
XX	XX	XX	XX
DATE REVISED	REVISED BY	CHECKED BY	APPROVED BY



JOB NO.	10-9-2025
DATE	
REVISION	
SCALE	1"=40'
DRAWN BY	JLS CZZ/ALEX G
SHEET	

**UNITED GARCO SUBDIVISION  
PRE & POST EROSION  
CONTROL & POLLUTION  
PREVENTION LAYOUT**

10-9-25

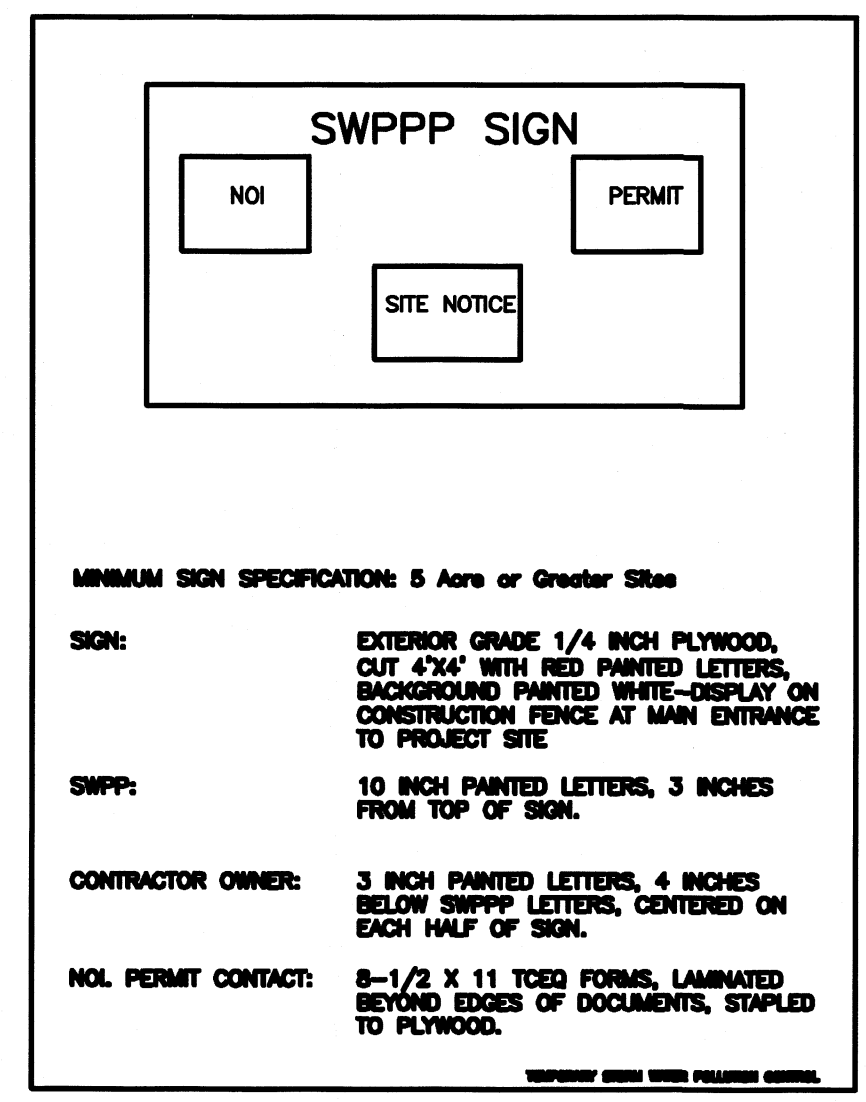


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 EDINBURG, TEXAS 78539  
 ENGINEERING REGISTRATION NUMBER F-1513  
 SURVEYING REGISTRATION NUMBER 100411-00

**LEGEND**

- ⊕ = FIRE HYDRANT
- ⋈ = GUY WIRE
- ⚡ = POWER POLE
- Ⓜ = MAILBOX
- ⊡ = WATER METER
- ⊗ = WATER VALVE
- ⊙ = SIGN
- ⚡ = SERVICE POLE
- ⊡ = TEL BOX
- = ELECT BOX
- ⊕ = GAS METER
- ⊗ = GAS MARKER
- ⊙ = GAS VALVE
- ⚡ = TRANSMISSION POLE
- ⊡ = TRAFFIC CONTROL BOX
- ⊙ = GAS SERVICE



**LEGEND**

- ⊡ INLET
- ⊡ INLET PROTECTION BARRIER
- ⊡ HYFROMULCH SEEDING
- ⊡ STABILIZED CONSTRUCTION EXIT
- X-⊡ FILTER FABRIC FENCE
- X-⊡ REINFORCED FILTER FABRIC BARRIER

**NOTES: POLLUTION PREVENTION**

- CONTRACTOR SHALL REMOVE SILT DEPOSITS FROM ROADWAY ON A DAILY BASIS OR AS DIRECTED BY PROJECT ENGINEER.
- CONTRACTOR SHALL CONTROL DUSTING BY WASTERSPRINKLING.
- CONTRACTOR SHALL HYDOMULCH SEED OR SOD AS INDICATED ON THIS SHEET AND PAVEMENT TYPICAL SECTION, ALL DISTURBED AREAS UPON ACCEPTANCE OF GRADING.
- CONTRACTOR SHALL KEEP LOG OF SITE RAINFALL & SW3P MAINTENANCE AS CALLED FOR IN THE NOTICE OF INTENT.

**NOTES: EROSION CONTROL**

- ALL NON-PAVED DISTURBED AREAS SHALL BE HYDRO-MULCH SEEDDED FOR EROSION PROTECTION IMMEDIATELY UPON COMPLETION OF FINAL GRADING; ALL AREAS DISTURBED AFTER INITIAL SEEDING BY EROSION OR CONSTRUCTION SHALL BE RESEEDDED.
- STOCKPILE TOPSOIL FROM SITE AT DESIGNATED AREA.
- CONTRACTOR SHALL COORDINATE ALL WORK THIS CONTRACT WITH ALL WORK BY OTHERS (ENTRY ROAD AND UTILITIES TO SITE) WHICH MAY OR MAY NOT OCCUR DURING THE CONSTRUCTION CONTRACT PERIOD.
- CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCES AND PROJECT SITE FIELD OFFICE AND CONSTRUCTION AREA (ALL WEATHER SURFACE, CALICHE PAVING).
- CONSTRUCT TIRE WASH AREAS AT CONSTRUCTION EXIT MINIMUM SURFACE SHALL BE TYPE (1) OR (2). TIRE WASH AREA TO DRAIN INTO EXISTING DITCH.
- CONSTRUCT TEMPORARY SEDIMENT TRAPS AND BASINS AS SHOWN ON THE PLAN.
- CONSTRUCT TEMPORARY SILT FENCES AS SHOWN ON THE PLAN
- CONSTRUCT/INSTALL PIPE CULVERTS AND STORM SYSTEMS

Z:\p010\SUBDIVISIONS\Edinburg\UNITED GARCO SUBDIVISION\EROSION			
DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
10-9-2025	JLS CZZ/ALEX G		
DATE REVISED	REVISED BY	CHECKED BY	APPROVED BY

**LEGEND**

**TOTAL DETENTION REQUIRED - 49,950.57 C.F.**  
 LOT 1 = 28,903.36 CF, LOT 2 = 4,863.25 CF, LOT 3 = 4,863.25 CF, LOT 4 = 4,863.25 CF, LOT 5 = 4,863.25 CF, LOT 6 = 4,394.21 CF,

**TOTAL DETENTION PROVIDED - 53,942.00 C.F.**  
 LOT 1 = 29,053.14 CF, LOT 2 = 5,035.88 CF, LOT 3 = 5,035.88 CF, LOT 4 = 5,035.88 CF, LOT 5 = 5,035.88 CF, LOT 6 = 4,745.35 CF,

NOTE: THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.

SANTA CRUZ GARDENS UNIT NO. 2  
 RECORDED IN VOLUME 8, PAGES 28-29,  
 MAP RECORDS, HIDALGO COUNTY, TEXAS

ALL COMMERCIAL LOTS MUST BE 2" SINGLE SERVICE CONNECTION

INSTALL 14" STEEL CASING AS PER COE STD DETAIL S-9

PROP. 12"x6" TAPPING SLEEVE  
 6" TAPPING VALVE & BOX  
 BORE & INSTALL  
 12" P.V.C. CASING 85 L.F.  
 FIRE HYDRANT

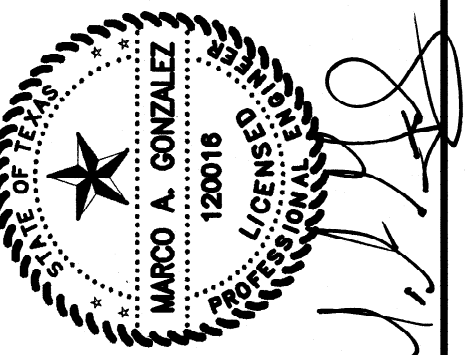
EXIST. FIRE HYDRANT

as per Utilities, they recommend to upgrade the existing 6" water line that runs north and south along frontage to a 12" water line

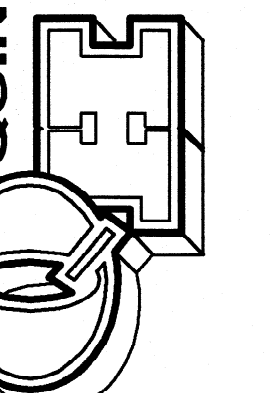
SCALE 1" = 40'

**UNITED GARCO SUBDIVISION  
 UTILITY LAYOUT**

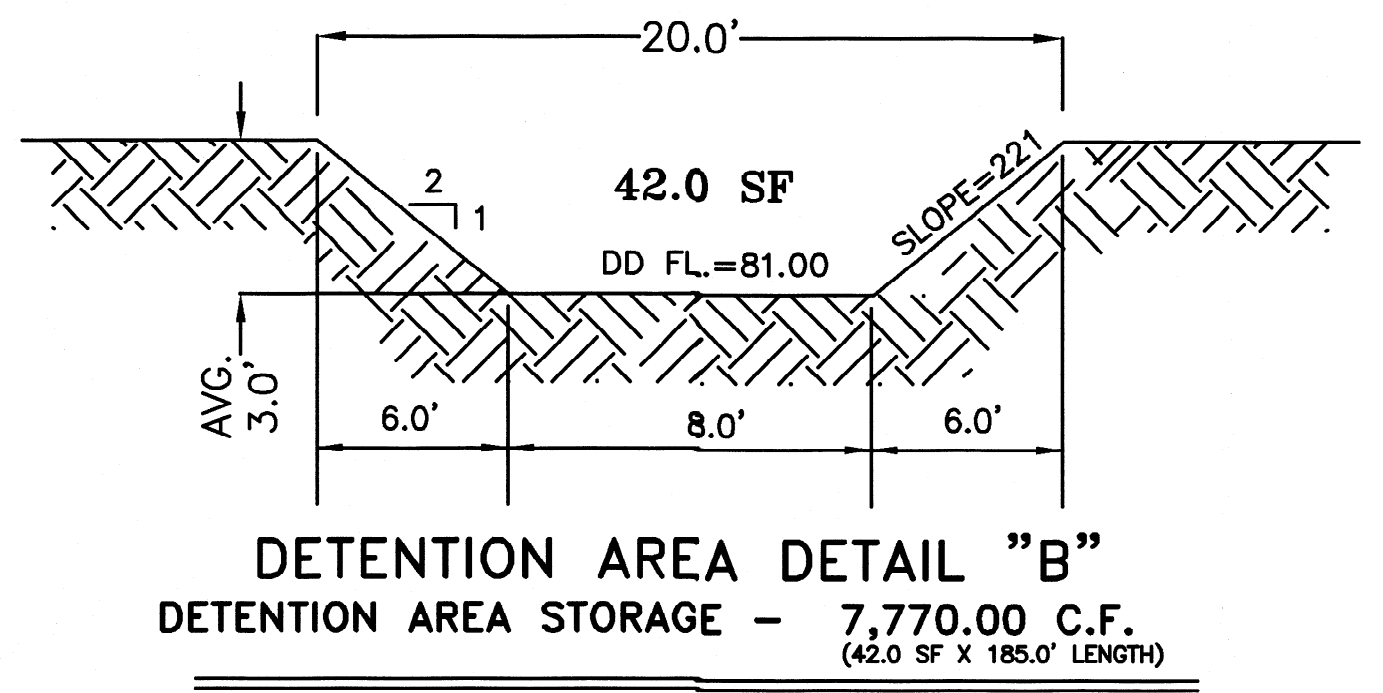
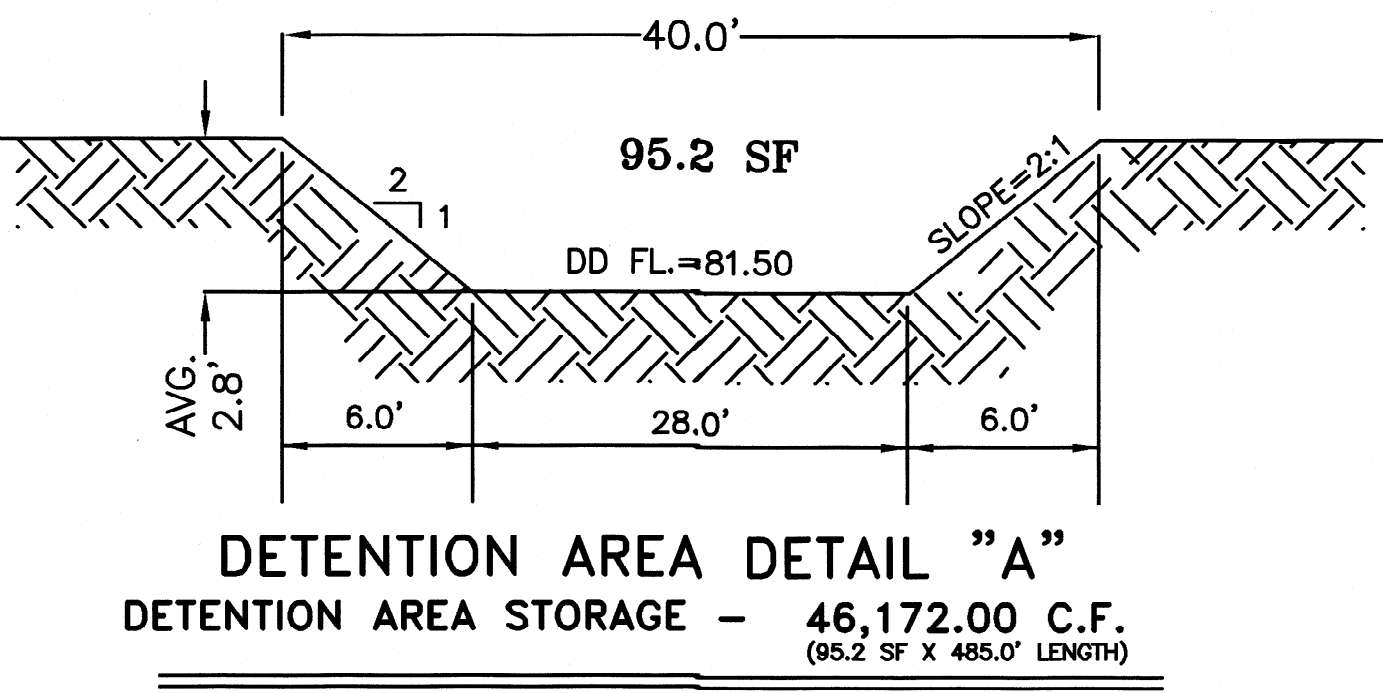
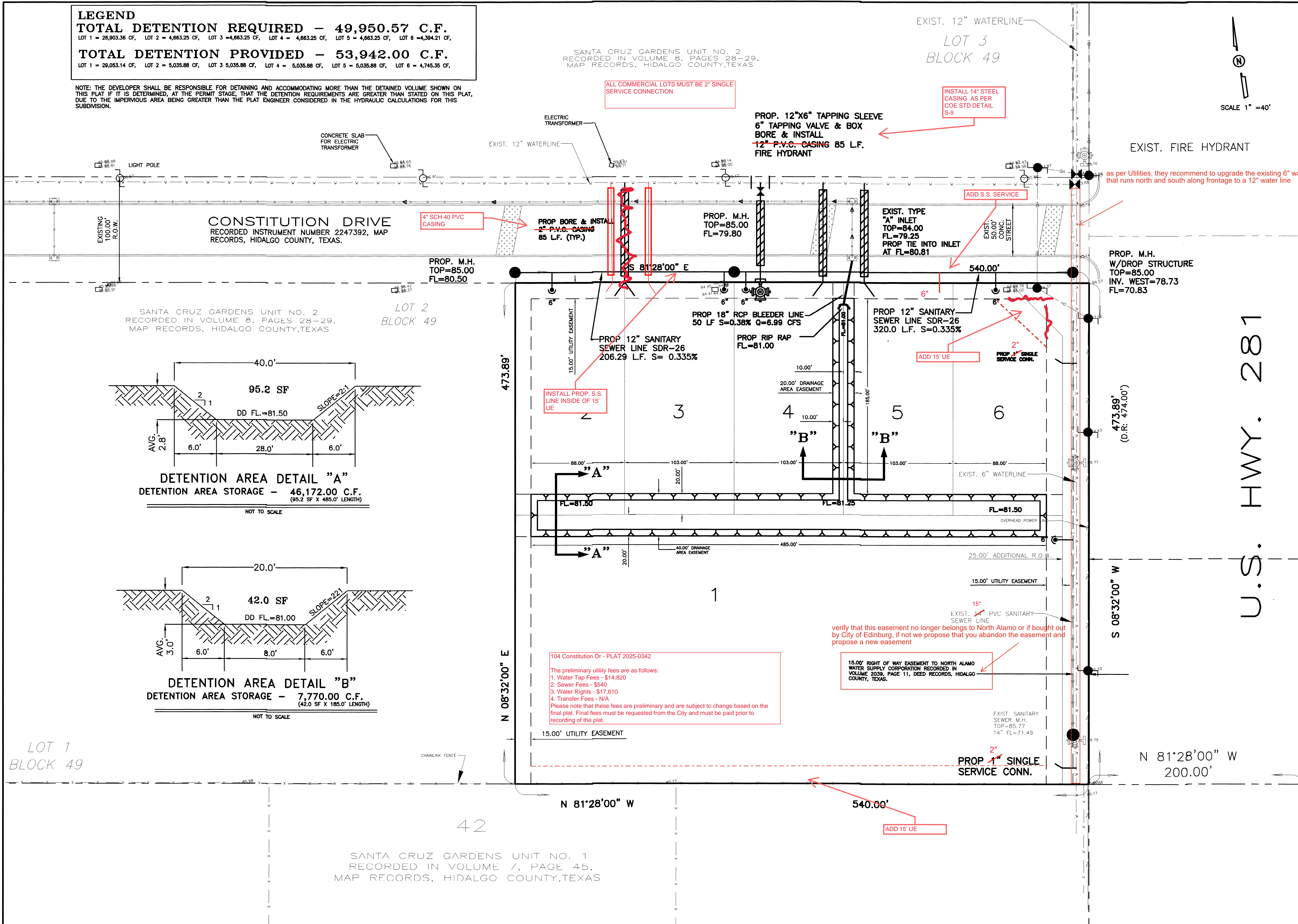
10-9-25



**QUINTANILLA, HEADLEY AND ASSOCIATES, INC.**  
 CONSULTING ENGINEERS  
 124 E. STUBBS ST.  
 EDINBURG, TEXAS 78539  
 ENGINEERING REGISTRATION NUMBER F-15113  
 SURVEYING REGISTRATION NUMBER 100411-00



DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
XX	XX	XX	XX
DATE REVISED	REVISED BY	CHECKED BY	APPROVED BY



104 Constitution Dr - PLAT 2025-0342  
 The preliminary utility fees are as follows:  
 1. Water Tap Fees - \$14,820  
 2. Sewer Fees - \$540  
 3. Water Rights - \$17,610  
 4. Transfer Fees - N/A  
 Please note that these fees are preliminary and are subject to change based on the final plat. Final fees must be requested from the City and must be paid prior to recording of the plat.

15.00' RIGHT OF WAY EASEMENT TO NORTH ALAMO WATER SUPPLY CORPORATION RECORDED IN VOLUME 2039, PAGE 11, DEED RECORDS, HIDALGO COUNTY, TEXAS.

verify that this easement no longer belongs to North Alamo or if bought out by City of Edinburg, if not we propose that you abandon the easement and propose a new easement

LOT 1  
 BLOCK 49

SANTA CRUZ GARDENS UNIT NO. 1  
 RECORDED IN VOLUME 7, PAGE 45,  
 MAP RECORDS, HIDALGO COUNTY, TEXAS

**LEGEND**

**TOTAL DETENTION REQUIRED - 49,950.57 C.F.**

LOT 1 = 26,903.36 CF, LOT 2 = 4,663.25 CF, LOT 3 = 4,663.25 CF, LOT 4 = 4,663.25 CF, LOT 5 = 4,663.25 CF, LOT 6 = 4,394.21 CF,

**TOTAL DETENTION PROVIDED - 53,942.00 C.F.**

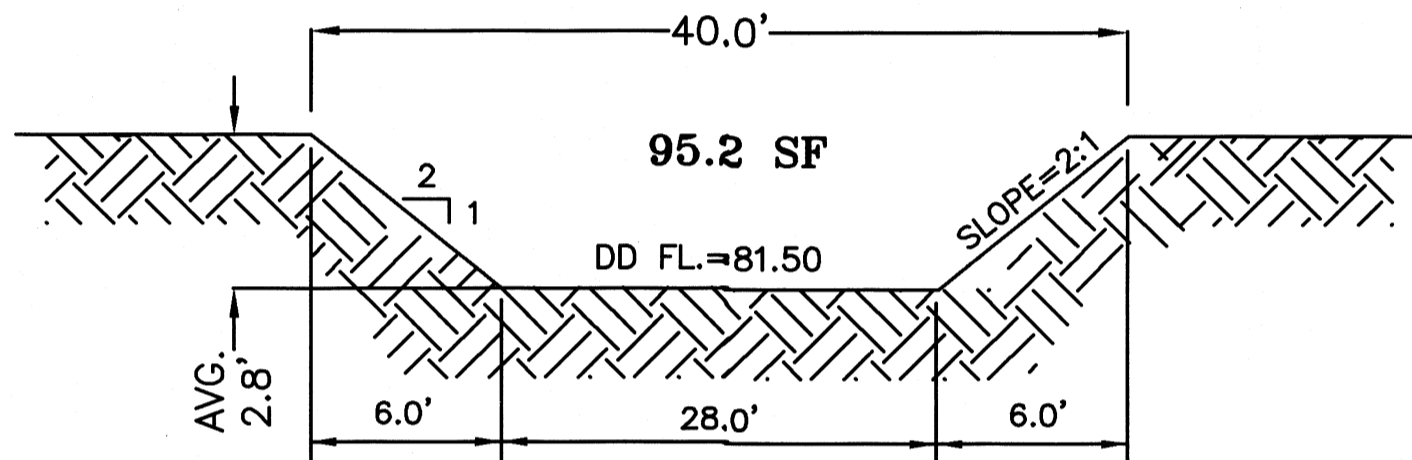
LOT 1 = 29,053.14 CF, LOT 2 = 5,035.86 CF, LOT 3 = 5,035.86 CF, LOT 4 = 5,035.86 CF, LOT 5 = 5,035.86 CF, LOT 6 = 4,745.35 CF,

NOTE: THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.

SANTA CRUZ GARDENS UNIT NO. 2  
RECORDED IN VOLUME 8, PAGES 28-29,  
MAP RECORDS, HIDALGO COUNTY, TEXAS

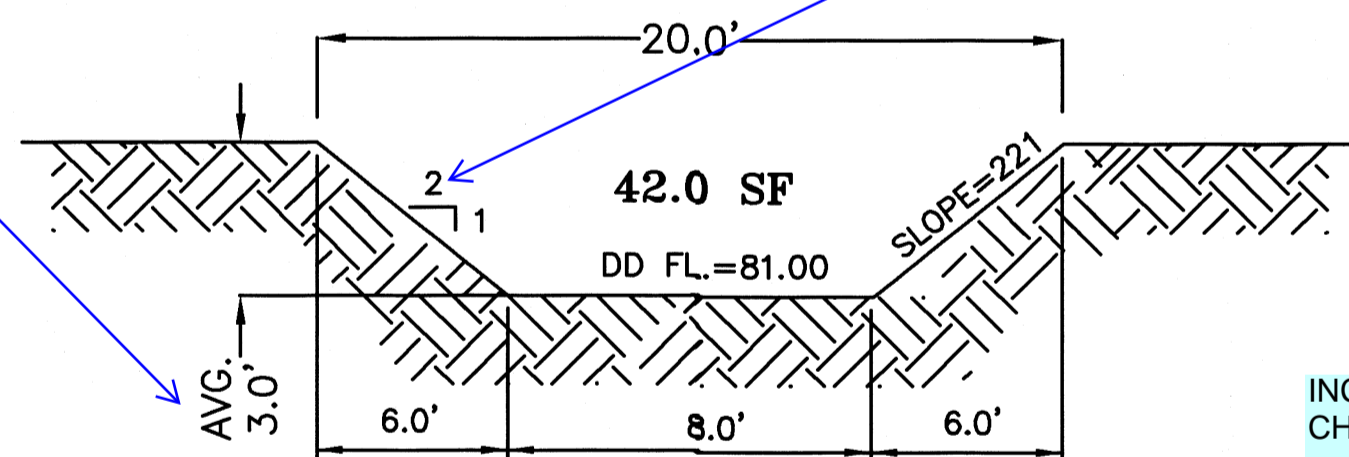
SANTA CRUZ GARDENS UNIT NO. 2  
RECORDED IN VOLUME 8, PAGES 28-29,  
MAP RECORDS, HIDALGO COUNTY, TEXAS

LOT 2  
BLOCK 49



**DETENTION AREA DETAIL "A"**  
DETENTION AREA STORAGE - 46,172.00 C.F.  
(95.2 SF X 485.0' LENGTH)  
NOT TO SCALE

NEEDS TO BE 3:1

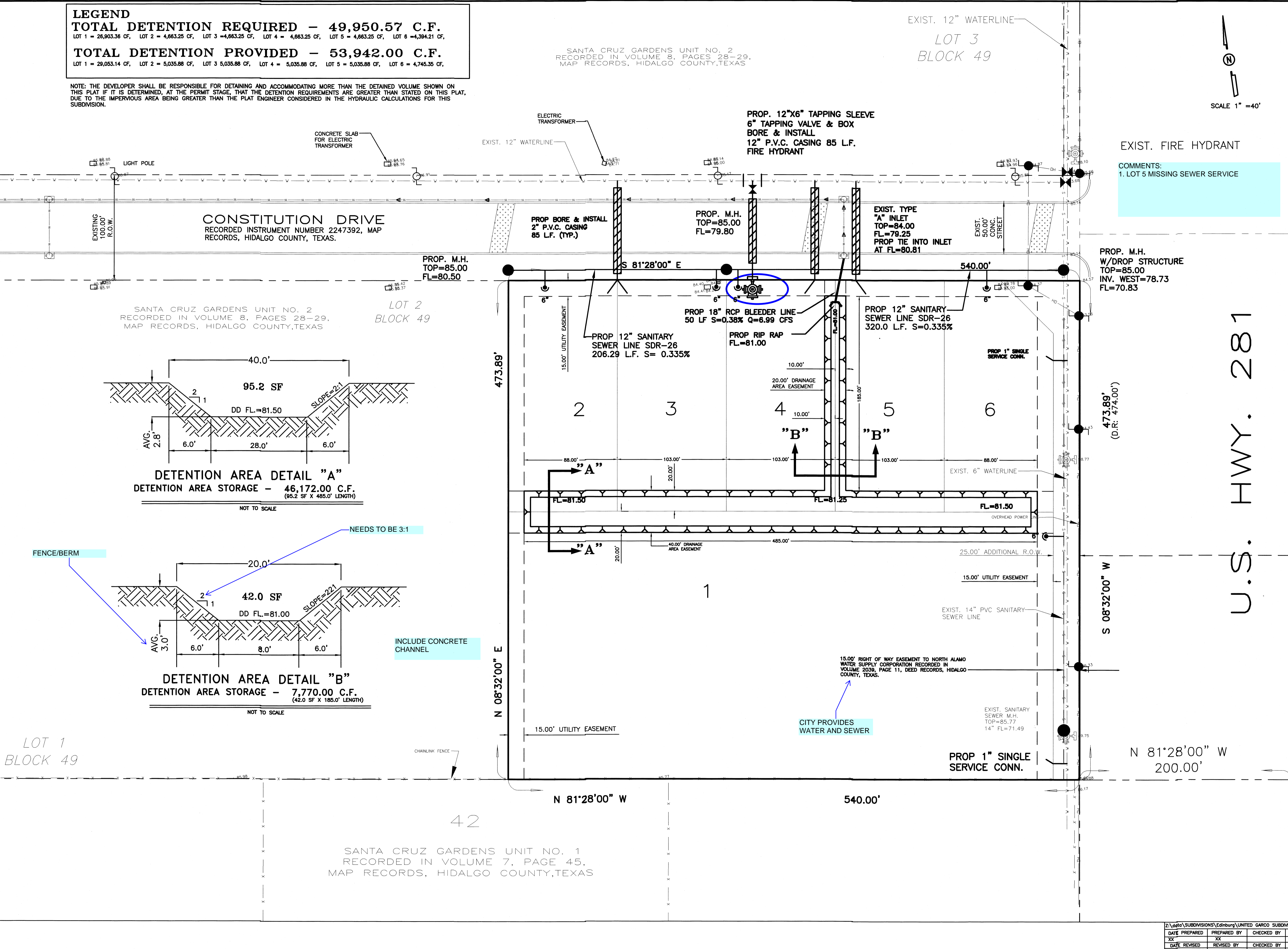


**DETENTION AREA DETAIL "B"**  
DETENTION AREA STORAGE - 7,770.00 C.F.  
(42.0 SF X 185.0' LENGTH)  
NOT TO SCALE

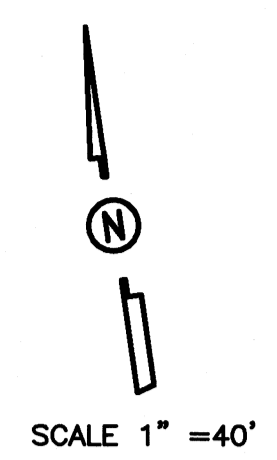
INCLUDE CONCRETE CHANNEL

LOT 1  
BLOCK 49

SANTA CRUZ GARDENS UNIT NO. 1  
RECORDED IN VOLUME 7, PAGE 45,  
MAP RECORDS, HIDALGO COUNTY, TEXAS



EXIST. 12" WATERLINE  
LOT 3  
BLOCK 49

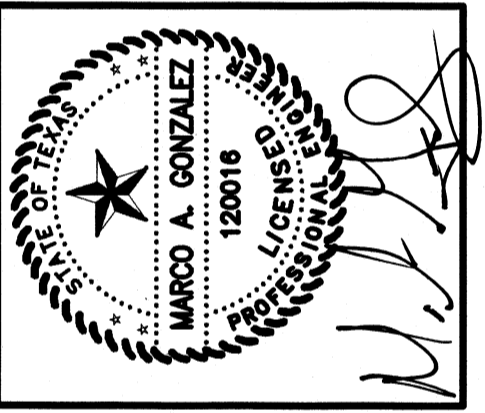


EXIST. FIRE HYDRANT

COMMENTS:  
1. LOT 5 MISSING SEWER SERVICE

JOB NO.	DATE	REVISION	SCALE	DRAWN BY	SHEET
			1"=40'	XX	

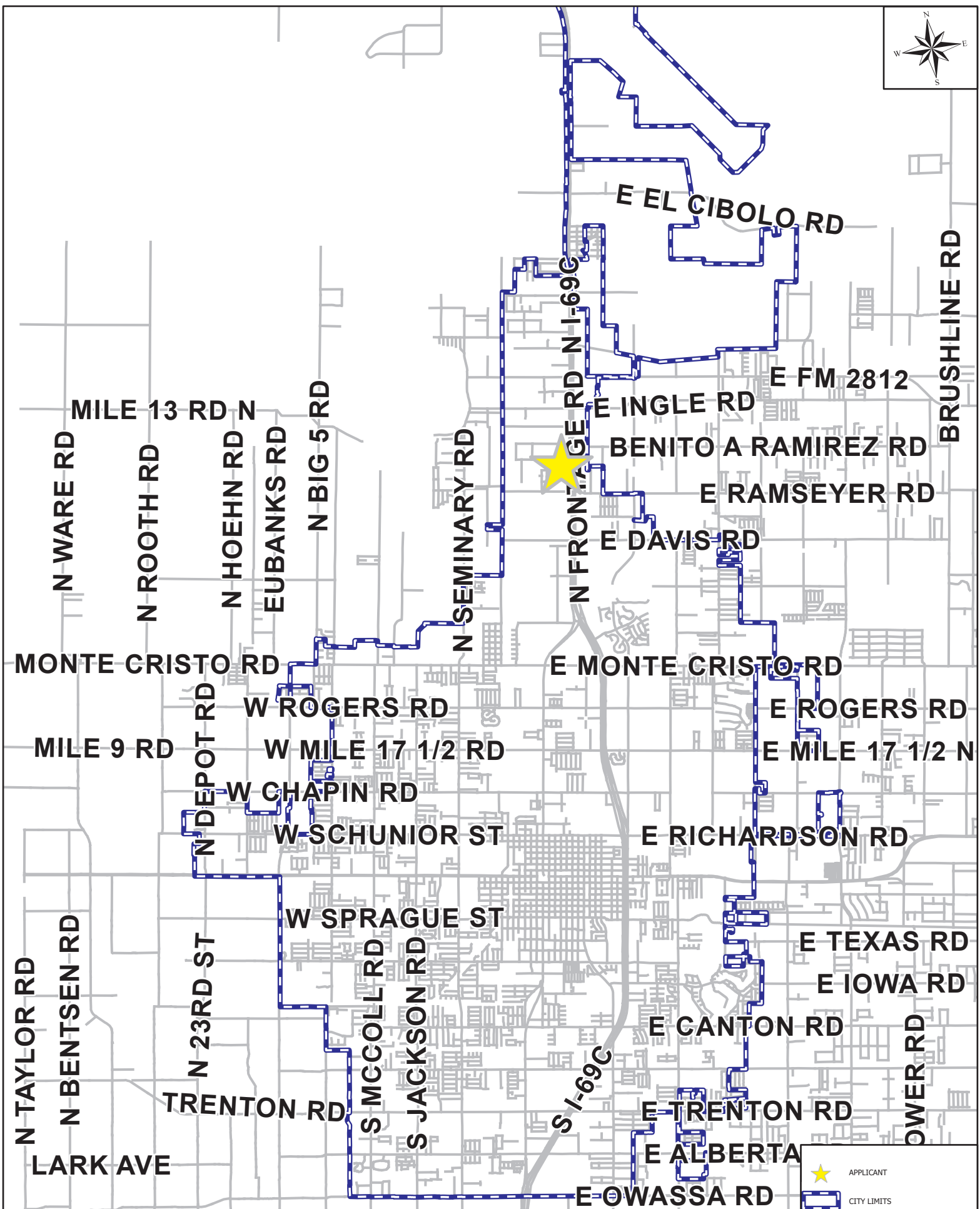
**UNITED GARCO SUBDIVISION**  
**UTILITY LAYOUT**  
 10-9-25



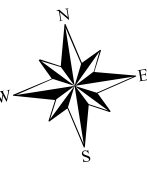
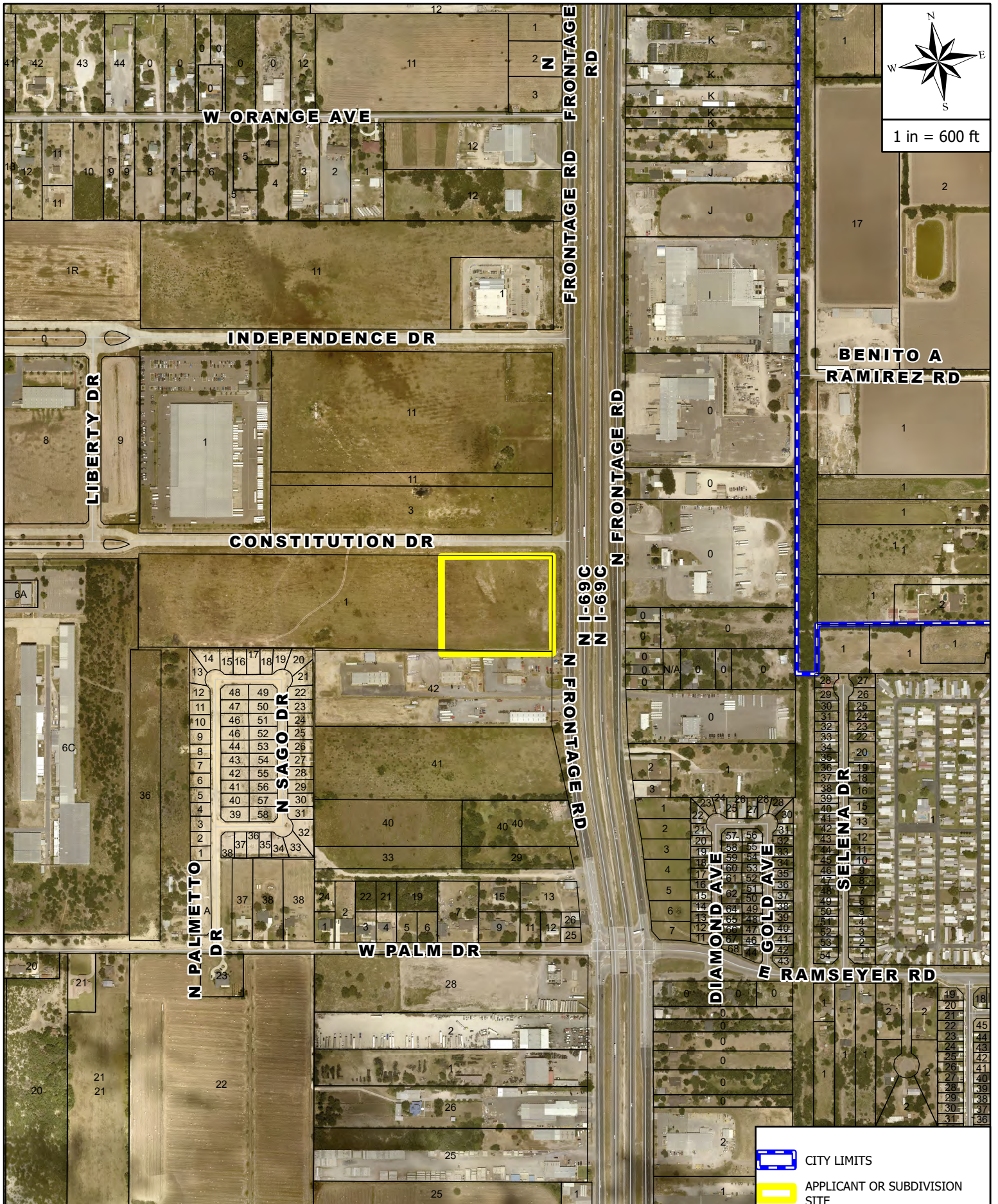
**QUINTANILLA, HEADLEY AND ASSOCIATES, INC.**  
 CONSULTING ENGINEERS  
 124 E. STUBBS ST.  
 EDINBURG, TEXAS 78539  
 ENGINEERING REGISTRATION NUMBER F-1513  
 SURVEYING REGISTRATION NUMBER 100411-00

**LAND SURVEYORS**  
 PHONE 956-361-6480  
 FAX 956-361-0527  
 ALFONSO@QCHA-ENG.COM



Z:\edha\SUBDIVISIONS\Edinburg\UNITED GARCO SUBDIVISION\UTILITY			
DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
XX			
DATE REVISED	REVISED BY	CHECKED BY	APPROVED BY



★ APPLICANT  
 [Dashed Blue Line] CITY LIMITS



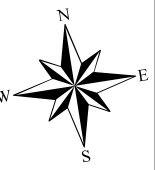
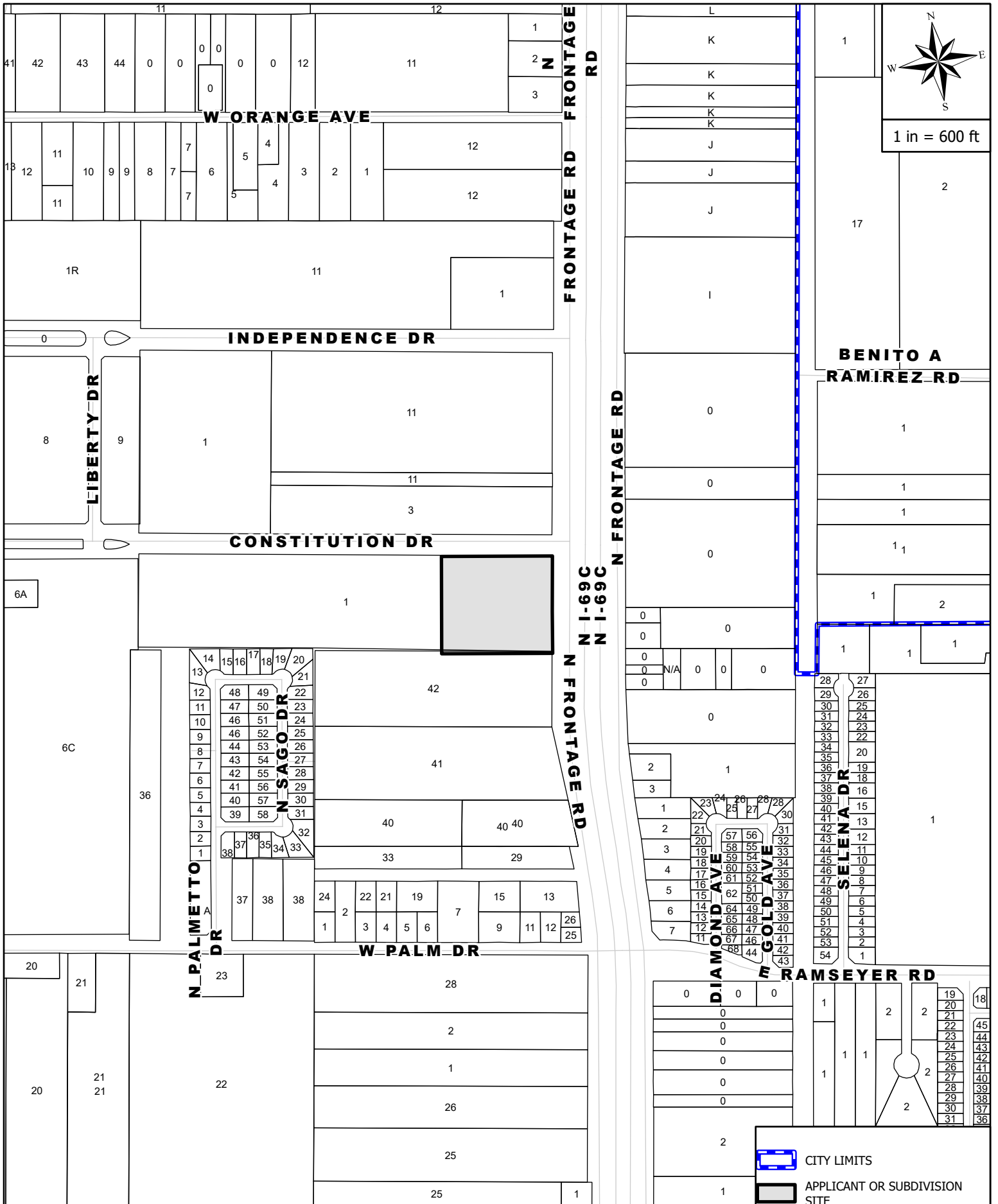
1 in = 600 ft

-  CITY LIMITS
-  APPLICANT OR SUBDIVISION SITE





**AERIAL MAP**  
**APPLICANT AND/OR SUBDIVISION:**

UNITED GARCO SUBDIVISION

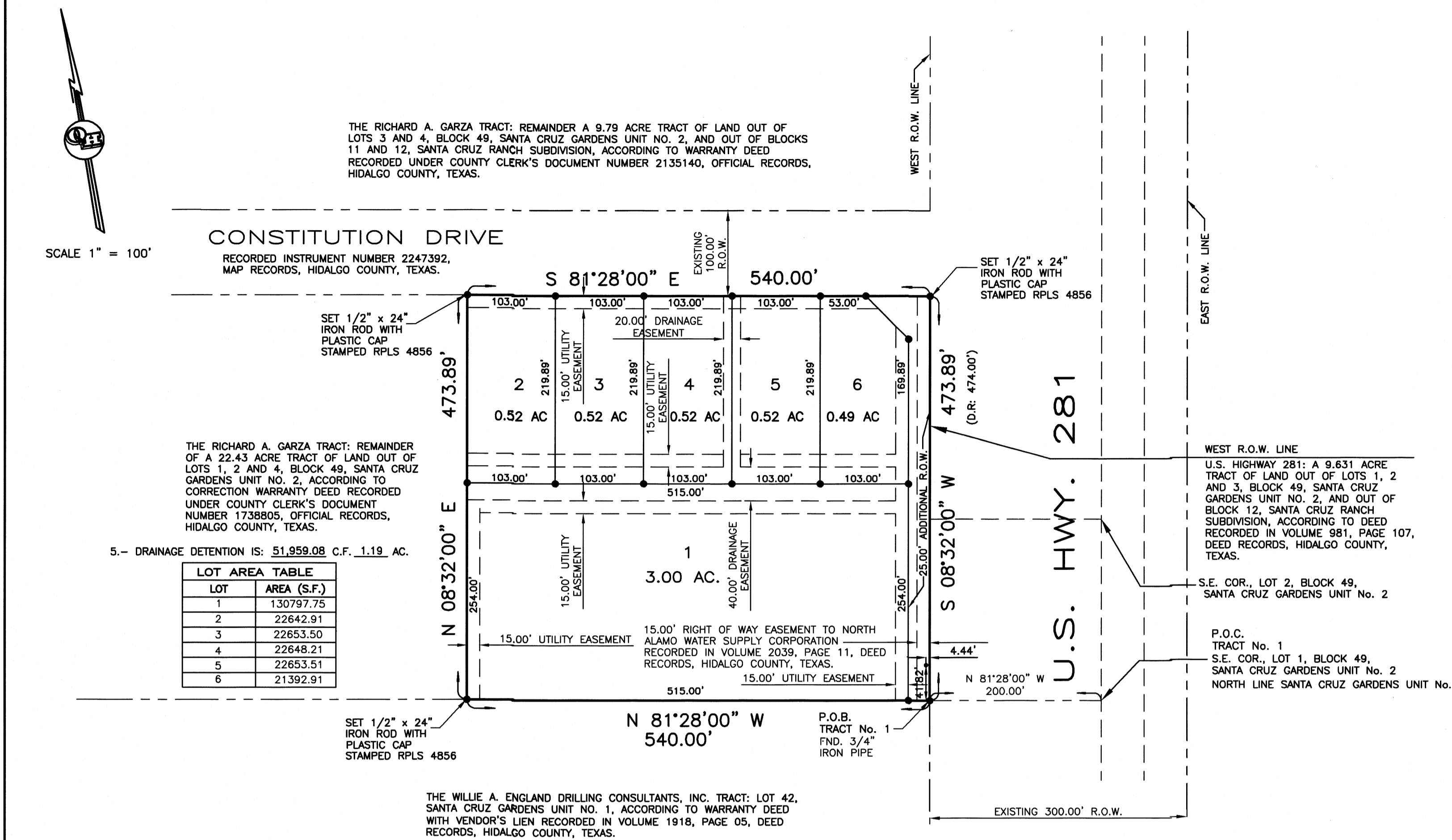


1 in = 600 ft

 CITY LIMITS  
 APPLICANT OR SUBDIVISION SITE

**MAILOUT AND SITE MAP**  
**APPLICANT AND/OR SUBDIVISION:**  
 UNITED GARCO SUBDIVISION





CONSTITUTION DRIVE  
RECORDED INSTRUMENT NUMBER 2247392,  
MAP RECORDS, HIDALGO COUNTY, TEXAS.

THE RICHARD A. GARZA TRACT, REMAINDER OF A 22.43 ACRE TRACT OF LAND OUT OF LOTS 1, 2 AND 4, BLOCK 49, SANTA CRUZ GARDENS UNIT NO. 2, AND OUT OF BLOCKS 11 AND 12, SANTA CRUZ RANCH SUBDIVISION, ACCORDING TO WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 2135140, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

5.- DRAINAGE DETENTION IS: **51.959.08 C.F., 1.19 AC.**

LOT	AREA (S.F.)
1	130797.75
2	22642.91
3	22653.50
4	22648.21
5	22653.51
6	21392.91

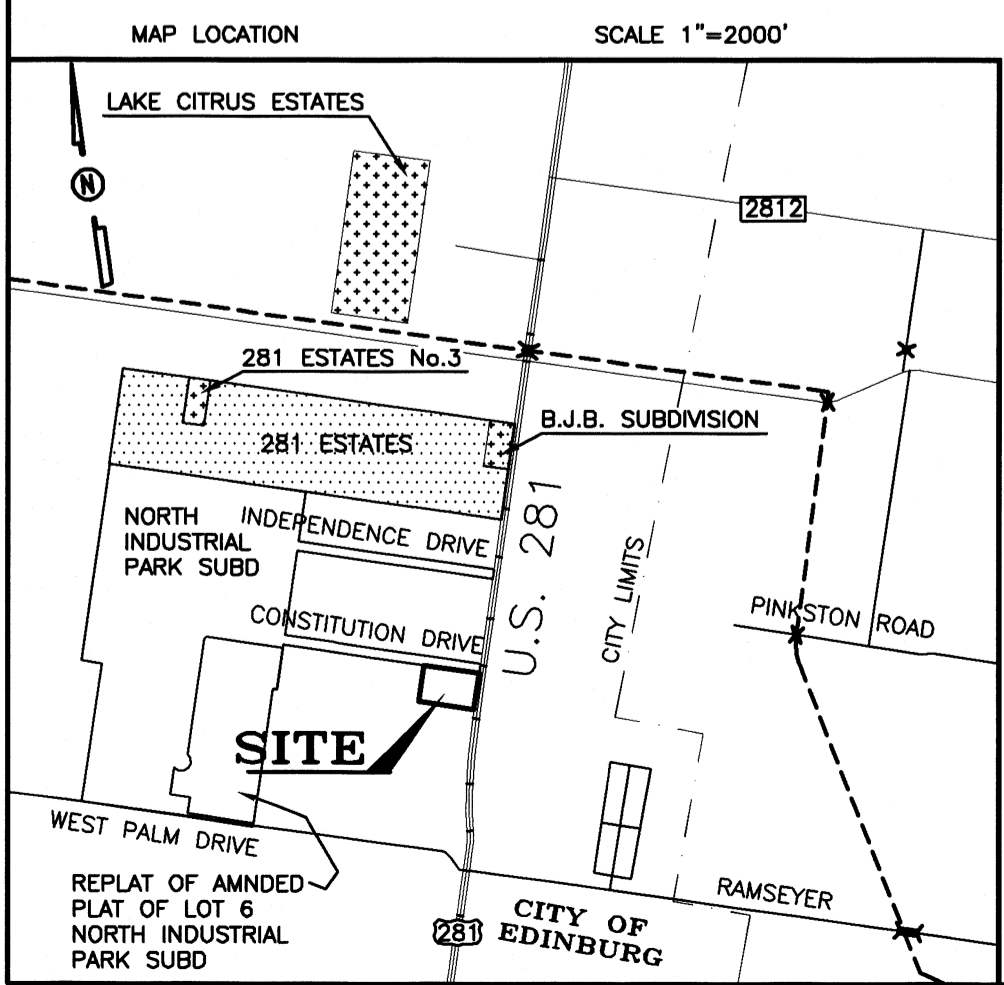
THE WILLIE A. ENGLAND DRILLING CONSULTANTS, INC. TRACT: LOT 42, SANTA CRUZ GARDENS UNIT NO. 1, ACCORDING TO WARRANTY DEED WITH VENDOR'S LIEN RECORDED IN VOLUME 1918, PAGE 05, DEED RECORDS, HIDALGO COUNTY, TEXAS.

**PLAT NOTES AND RESTRICTIONS:**

- FLOOD ZONE DESIGNATION: ZONE "X" (SHADED) AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD. COMMUNITY-PANEL NUMBER: 480338 0010 E MAP REVISED: JUNE 6, 2000 LOMR DATED MAY 14, 2001
- MINIMUM FINISH FLOOR NOTE: MINIMUM FINISH FLOOR ELEVATION 18" ABOVE TOP OF CURB OF THE STREET.
- LEGEND - DENOTES 1/2" IRON ROD SET WITH PLASTIC CAP STAMPED RPLS 4856 UNLESS OTHERWISE NOTED
- MINIMUM BUILDING SETBACK LINES:  
FRONT ..... 25.00 FEET  
REAR ..... 30.00 FEET  
SIDE ..... 15.00 FEET  
CORNER SIDE ..... 25.00 FEET  
OR TO EASEMENT LINE WHICHEVER IS GREATER IN ALL CASES.
- DRAINAGE DETENTION IS: **49950.57 C.F., 1.15 AC.**  
LOT 1 = 26,903.36 CF, LOT 2 = 4,663.25 CF, LOT 3 = 4,663.25 CF,  
LOT 4 = 4,663.25 CF, LOT 5 = 4,663.25 CF, LOT 6 = 4,394.21 CF.
- NO PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN UTILITY EASEMENTS.
- BENCH MARK NOTE: B.M. ELEV.=89.75 LOCATED 4.44' WEST AND 41.82' NORTH FROM THE NORTHEAST CORNER OF THIS SUBDIVISION N.A.V.D. 88 DATUM.  
NORTHING = 16660013.164  
EASTING = 1100311.894
- ALL WATER AND SANITARY FEES SHALL BE PAID BY DEVELOPER.
- A FIVE (5.0') FOOT SIDEWALK WITH ADA RAMP IS REQUIRED ALONG CONSTITUTION DRIVE ON SUBDIVISION PROCESS.
- ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SW3P) REQUIREMENTS. SEDIMENTATION CONTROLS CONSTRUCTED IN ACCORDANCE WITH THE STORMWATER ORDINANCE 98.30 OF THE CITY OF EDINBURG ARE REQUIRED FOR ALL CONSTRUCTION ON EACH LOT INCLUDING SINGLE FAMILY AND DUPLEX/MULTI-FAMILY AND CONSTRUCTION.
- SITE PLAN MUST BE REVIEWED AND APPROVED BY THE CITY OF EDINBURG PRIOR TO ISSUANCE OF BUILDING PERMITS.
- TxDOT PERMIT REQUIRED FOR ACCESS ALONG TxDOT RIGHT-OF-WAYS. ANY ACCESS POINTS TO STATE HIGHWAY MUST COMPLY WITH THE LATEST VERSION OF TxDOT ACCESS MANAGEMENT MANUAL AND CITY OF EDINBURG UNIFIED DEVELOPMENT CODE.
- SAID PROPERTY SHALL COMPLY WITH THE MOST CURRENT UNIFIED DEVELOPMENT CODE AND CITY OF EDINBURG REQUIREMENTS AND SPECIFICATIONS. SUCH REQUIREMENTS MAY INCLUDE, BUT ARE NOT LIMITED TO SETBACKS, BUFFER YARDS, FLOOR AREA RATIO, LANDSCAPE SURFACE RATIO, PARKING REQUIREMENTS, FIRE PROTECTION OR ANY OTHER CITY REQUIREMENTS.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF, IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
- PURSUANT TO APPLICABLE FIRE SAFETY REGULATIONS, THE INSTALLATION OF ADDITIONAL FIRE HYDRANTS, FIRE DEPARTMENT ACCESS ROAD(S), FIRE RATED CONSTRUCTION, AND OTHER FIRE PROTECTION EQUIPMENT MAY BE MANDATED DURING THE SITE PLAN OR BUILDING PERMIT PROCESS.
- ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO HIDALGO COUNTY CONSOLIDATED WATER CONTROL AND IMPROVEMENT DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.
- NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM HIDALGO COUNTY CONSOLIDATED WATER CONTROL AND IMPROVEMENT DISTRICT.
- NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY, OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY IRRIGATION DISTRICT. ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
- NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.

**ABBREVIATIONS:**

M.R. = MAP RECORD  
R.O.W. = RIGHT OF WAY  
OH = OVERHEAD POWER LINE  
D.R. = DEED RECORD  
FND. = FOUND  
M.B.S.L. = MINIMAL BUILDING SETBACK LINE  
UGL. = UNDERGROUND LINE  
R.C.P. = REINFORCED CONCRETE PIPE  
P.V.C. = POLY VINYL CHLORIDE  
N = NORTH  
S = SOUTH  
W = WEST  
E = EAST  
COR. = CORNER  
M.V.E.C. = MAGIC VALLEY ELECTRIC COOPERATIVE  
S.E.T. = SAFETY END TREATMENT  
A.E.P. = AMERICAN ELECTRIC POWER  
P.O.B. = POINT OF BEGINNING  
B.M. = BENCH MARK  
R.P.L.S. = REGISTERED PROFESSIONAL LAND SURVEYOR  
U.G.E.B. = UNDERGROUND ELECTRICAL BOX



**UNITED GARCO SUBDIVISION**

A 5.87 ACRE TRACT OF LAND OUT OF LOTS 1, 2 AND 4, BLOCK 49, SANTA CRUZ GARDENS UNIT NO. 2, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT RECORDED IN VOLUME 8, PAGES 28 & 29, MAP RECORDS, HIDALGO COUNTY, TEXAS, AND ACCORDING TO CORRECTION WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 1738805, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

**METES AND BOUNDS**

A 5.87 ACRE TRACT OF LAND OUT OF LOTS 1, 2 AND 4, BLOCK 49, SANTA CRUZ GARDENS UNIT NO. 2 SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP THEREOF RECORDED IN VOLUME 8, PAGES 28 AND 29, MAP RECORDS, AND ACCORDING TO CORRECTION WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 1738805, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS.

BEGINNING AT A 3/4" IRON PIPE FOUND ON THE SOUTH LINE OF LOT 1 AND ON THE WEST RIGHT OF WAY LINE OF U.S. HIGHWAY 281 FOR THE SOUTHEAST CORNER OF THIS TRACT, SAID PIPE BEARS N 81°28'00" W, 200.00 FEET FROM THE SOUTHWEST CORNER OF LOT 1.

THENCE: N 81°28'00" W, ALONG THE SOUTH LINE OF LOT 1, A DISTANCE OF 540.00 FEET TO A 1/2" IRON ROD WITH PLASTIC CAP STAMPED RPLS 4856 SET FOR THE SOUTHWEST CORNER OF THIS TRACT.

THENCE: N 08°32'00" E, A DISTANCE OF 473.89 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET ON THE SOUTH RIGHT OF WAY LINE OF CONSTITUTION DRIVE FOR THE NORTHWEST CORNER OF THIS TRACT.

THENCE: S 81°28'00" E, ALONG THE SOUTH RIGHT OF WAY LINE OF CONSTITUTION DRIVE, A DISTANCE OF 540.00 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET ON THE WEST RIGHT OF WAY LINE OF U.S. HIGHWAY 281 FOR THE NORTHEAST CORNER OF THIS TRACT.

THENCE: S 08°32'00" W, ALONG THE WEST RIGHT OF WAY LINE OF U.S. HIGHWAY 281, A DISTANCE OF 473.89 FEET (DEED RECORD: 474.00 FEET) TO THE POINT OF BEGINNING AND CONTAINING 5.87 ACRES OF LAND MORE OR LESS.

BEARINGS ARE IN ACCORDANCE WITH SANTA CRUZ GARDENS UNIT NO. 2 SUBDIVISION, RECORDED IN VOLUME 8, PAGES 28 AND 29, MAP RECORDS, HIDALGO COUNTY, TEXAS.

**STATE OF TEXAS  
COUNTY OF HIDALGO**

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, AND WAS MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY DONE ON THE GROUND UNDER MY SUPERVISION.



*Alfonso Quintanilla*  
ALFONSO QUINTANILLA  
R.P.L.S. No. 4856

9-15-2025  
DATE

**APPROVED BY DRAINAGE DISTRICT:**

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE 49.211(c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL SESIN, P.E., C.F.M.  
GENERAL MANAGER

DATE

**STATE OF TEXAS  
COUNTY OF HIDALGO  
OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION**

I (WE) THE UNDERSIGNED OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS UNITED GARCO SUBDIVISION ADDITION OF THE CITY OF EDINBURG, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE OF CONSIDERATION THEREIN EXPRESSED.

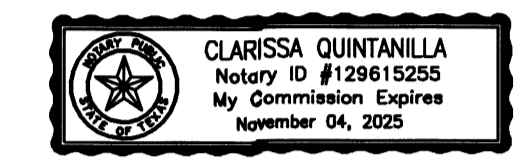
RICHARD A. GARZA  
3910 W. FREDDY GONZALEZ DRIVE  
EDINBURG TX, 78539

DATE

**STATE OF TEXAS  
COUNTY OF HIDALGO**

BEFORE ME, the undersigned authority, on this day personally appeared RICHARD A. GARZA

known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for purposes and considerations therein stated.  
Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.



CLARISSA QUINTANILLA-NOTARY PUBLIC

**PLANNING & ZONING  
COMMISSION CERTIFICATION**

I, the undersigned, Chairperson of the Planning and Zoning Commission of the City of Edinburg, hereby certify that this subdivision plat known as \_\_\_\_\_ conforms to all requirements of the Subdivision Regulations of this City wherein my approval is required and has been approved for recording on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

CHAIRPERSON-PLANNING & ZONING COMMISSION

**HIDALGO COUNTY CONSOLIDATED WATER CONTROL**

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY CONSOLIDATED WATER CONTROL AND IMPROVEMENT DISTRICT ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY CONSOLIDATED WATER CONTROL AND IMPROVEMENT DISTRICT RIGHT OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A CONVEYANCE, WAIVER OR ABANDONMENT OF ANY PROPERTY INTEREST HELD BY THE DISTRICT IN THE PROPERTY SHOWN ON THE PLAT; OR THE ACCEPTANCE OR APPROVAL OF THE ACCURACY OF ANY STATEMENT, DIMENSION OR DESCRIPTION SHOWN ON THE PLAT.

PRESIDENT \_\_\_\_\_ SECRETARY \_\_\_\_\_

**STATE OF TEXAS  
COUNTY OF HIDALGO**

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.



*Marco A. Gonzalez*  
MARCO A. GONZALEZ  
P.E. No. 120016

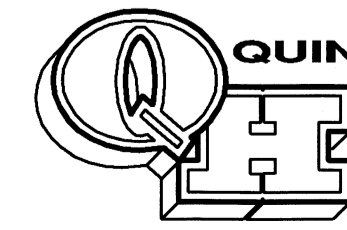
10-9-25  
DATE



FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUAJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: \_\_\_\_\_ DEPUTY



**QUINTANILLA, HEADLEY AND ASSOCIATES, INC.**  
CONSULTING ENGINEERS  
124 E. STUBBS ST.  
EDINBURG, TEXAS 78539  
REGISTRATION NUMBER F-1513  
SURVEYING REGISTRATION NUMBER 100411-00

LAND SURVEYORS  
PHONE 956-381-6480  
FAX 956-381-0527  
ALFONSO@QHA-ENG.COM

DATE OF PREPARATION: SEPTEMBER 15, 2025

FILENAME :	DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
F:\DATA\SUBDIVISION\EDINBURG\UNITED GARCO SUBDIVISION\PLAT	9-15-25	LG		
	DATE REVISED	REVISED BY	CHECKED BY	APPROVED BY



**STAFF REPORT: VAQUERO EDINBURG SUBDIVISION**

Date Prepared: October 28, 2025  
Planning and Zoning Meeting: November 20, 2025  
Preliminary Plat Approval

---

**Subject:** Consider the Preliminary Plat approval of Vaquero Edinburg Subdivision, being a 2.052 acres tract of land out of Lots 12 and 13, Block C, Amended Map of Edinburg, recorded in Volume 1, Page 23, Hidalgo County Map Records, located at 103 E. Schunior Street, as requested by Melden & Hunt, Inc.

**Location:** The property is located on the northeast corner of N. Closner Boulevard and E. Schunior Street, and within the City of Edinburg City Limits.

**Zoning:** Property zoning is currently Commercial, General (CG) District.

**Setbacks:** UDC Setbacks for Commercial, General (CG) District, Front and Exterior Side yard 25 ft., Side yard 8 ft., and Rear yard 10 ft.

**Analysis:** The Preliminary Plat development consists of 1 commercial lot approximately 89,385.12 square feet or 2.052 acres.

**Utilities:** Water Distribution System will be provided by the City of Edinburg along with City of Edinburg Sanitary Sewer Collection System requirements. All utility improvements within the proposed subdivision that are not limited to water system, sewer system, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2021 Standards Manual.

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**Recommendations:**

**City of Edinburg Planning & Zoning Department:**

Staff recommends approval of the Preliminary Plat, subject to compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.



# SUBMITTAL SUMMARY REPORT (PLAT-2025-0343) FOR THE CITY OF EDINBURG

<b>PERMIT ADDRESS:</b> 103 E SCHUNIOR ST EDINBURG, TX 78541	<b>PARCEL:</b> E3200-00-00C-0011-00
<b>APPLICATION DATE:</b> 10/10/2025	<b>SQUARE FEET:</b> 0
<b>EXPIRATION DATE:</b> 04/08/2026	<b>VALUATION:</b> \$0.00
<b>DESCRIPTION:</b> 2.052 acres o/o Lot 13, Blk. C Amended Map of Edinburg	

CONTACTS	NAME	COMPANY	ADDRESS
Applicant	Lydia Flores	Melden & Hunt Inc.	115 W. McIntyre Street Edinburg, TX 78541
	Lydia Flores	Melden & Hunt Inc.	7011 N Seminary Rd Edinburg, TX 78539
Authorized Agent	Mario Reyna	Melden & Hunt Inc	115 W McIntyre St Edinburg, TX 78541
Developer		VAQUERO VENTURES	3211 W 4TH ST Fort Worth, TX
Engineer	Mario Reyna	Melden & Hunt Inc	115 W McIntyre St Edinburg, TX 78541

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
Planning & Zoning Review (PZ, Eng, Fire, Util, SW) v.1	10/10/2025	10/22/2025		Requires Re-submit
Planning & Zoning Review (PZ, Eng, Fire, Util, SW) v.1				Not Received

## SUBMITTAL DETAILS

### Planning & Zoning Review (PZ, Eng, Fire, Util, SW) v.1

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Engineering (Engineering)	Rodolfo Cantu Regalado	10/22/2025	10/23/2025	Approved with Conditions
<i>Comments</i>	COMMENTS: 1. 15 FT EASEMENT AROUND PLAT 2. ADD 20' ROW			
Fire (Fire)	Anthony Riojas	10/22/2025	10/20/2025	Complete
<i>Comments</i>	GENERAL COMMENTS:  1. PROPERTY DIMENSIONS: Shall meet IFC 2018 and UDC 2022 (i.e. building separation, property line setbacks, lot width and length details) 2. BUILDING SEPARATION: Shall meet IFC/IBC 2018, UDC 2022, and COESM 2021 (i.e. building separation, lot standards, access roads, fire rating) 3. WATER DISTRIBUTION: Need to provide minimum 8-inch looped waterlines for distribution systems serving fire hydrants. Shall meet UDC 2022 and COESM 2021 standards. 4. FIRE PROTECTION FEATURE SITE PLAN: Shall meet IFC 2018 and UDC 2022 (i.e. FDC, hydrant, fire department access road, and dedicated fire protection water line locations/details) 5. FIRE HYDRANTS: Need to provide fire hydrant(s) at 300'/600' intervals and shall meet IFC 2018/UDC 2021/EOCSM 2021 (i.e. Minimum 1000gpm @30psi, looped 8-inch waterline, spacing at 300'/600' based on designated zoning district, 30-inch setbacks) 6. FIRE HYDRANT MARKING: Need to provide fire hydrant markings: 15ft red fire lane (white lettering "NO PARKING FIRE LANE") and blue reflective street markers (installed on roadway centerline). 7. BUILDING PERMIT PHASE: Separate permit for installation of tank 50.00 each tank. Property will be subject to additional fire code requirements at Building Permit phase and will be based on occupancy classification(s). 8. PLAT NOTE REQUIREMENT: Pursuant to applicable fire safety regulations, the installation of additional fire hydrants, fire department access road(s), fire rated construction, and other fire protection equipment may be mandated during the Site Plan or Building Permit process.			

Planning & Zoning (Planning & Zoning)	Clarence Cruz Jr.	10/22/2025	10/23/2025	Requires Re-submit
<i>Comments</i>				

# SUBMITTAL SUMMARY REPORT (PLAT-2025-0343)

Planning and Zoning comments:

plat note 10 - change to 6 ft sidewalk  
as per UDC Sec. 5.205 - submit street light layout -  
please identify on-site detention

as per Table 4.204-2 District Boundary Bufferyard Standards, proposed zoning development is Commercial, General (CG) District, and Adjoining District to the north and east is Residential, Multifamily (RM) District - a Class B fence is required.

Table 4.204-1, Bufferyard Classifications.

Class B - 6-foot high wall (masonry, brick, stone, or equivalent material) or wood fence (20 ft in width)

check spelling -Principal contact block - "Fort"  
add P.O.C. to Legend  
add "E" on Schunior Street label  
add "N" and "BLVD" to Closner Street label - remove "Street"  
add "LOT" to design

please identify utility/drainage easements along perimeter of site as per UDC Sec. 5.207, Easements

Public Works (Public Works)	David De La Fuente	10/22/2025	10/23/2025	Complete
<i>Comments</i>	Erosion Control Plan, Small Construction Site Notice.			
Solid Waste (Solid Waste)	Laura Olivarez	10/22/2025	10/14/2025	Complete
<i>Comments</i>	Plat message sent along with Site Development Guidelines,			
Utilities (Utilities)	Gerardo Carmona	10/22/2025	10/22/2025	Complete
Utilities (Utilities)	Priscilla Bernal	10/22/2025	10/15/2025	Approved
<i>Comments</i>	<p>The preliminary utility fees are as follows:</p> <ol style="list-style-type: none"> <li>1. Water Tap Fees - \$2,470</li> <li>2. Sewer Fees - \$90</li> <li>3. Water Rights - \$6,156</li> <li>4. Transfer Fees - N/A</li> </ol>			

Please note that these fees are preliminary and are subject to change based on the final plat. Final fees must be requested from the City and must be paid prior to recording of the plat.

Will submit comments to Engineering and Planning & Zoning.

# MINOR PLAT OF VAQUERO EDINBURG SUBDIVISION

BEING 2.052 ACRES OUT OF LOT 13, BLOCK C AMENDED MAP OF EDINBURG CITY OF EDINBURG, HIDALGO COUNTY, TEXAS

STATE OF TEXAS  
COUNTY OF TARRANT

I/WE THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE VAQUERO EDINBURG SUBDIVISION ADDITION TO THE CITY OF EDINBURG, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOR ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE OF CONSIDERATION THEREIN EXPRESSED.

VAQUERO EDINBURG SCHUNIOR PARTNERS, L.P.  
A TEXAS LIMITED PARTNERSHIP

BY: VAQUERO VENTURES MANAGEMENT, L.L.C.  
A TEXAS LIMITED LIABILITY COMPANY  
ITS GENERAL PARTNER

WILLIAM A. LANDRETH III, MANAGER  
2627 TILLAR STREET, SUITE 111  
FORT WORTH, TEXAS 76107

DATE: \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF TARRANT

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED WILLIAM A. LANDRETH III, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC  
TARRANT COUNTY, TEXAS

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT. ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

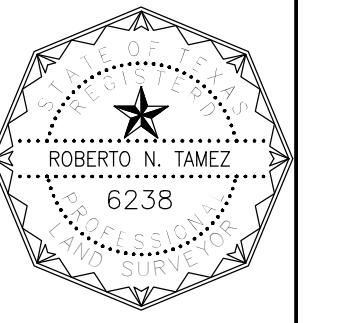
MARIO A. REYNA, P.E. # 117368  
STATE OF TEXAS  
DATE PREPARED: 08-08-2025  
DATE REVISED:  
ENGINEERING JOB NO. 25110.00



STATE OF TEXAS  
COUNTY OF HIDALGO

I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF EDINBURG, TEXAS.

DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.



ROBERTO N. TAMEZ, REGISTERED PROFESSIONAL LAND SURVEYOR No. 6238  
STATE OF TEXAS  
DATE SURVEYED: 05-23-2024  
T-1222, PG 73  
SURVEY JOB # 24073.00.08

I, \_\_\_\_\_ JAIME ACEVEDO \_\_\_\_\_, ADMINISTRATOR / DIRECTOR OF PLANNING AND ZONING DEPARTMENT OF THE CITY OF EDINBURG, TEXAS DO HEREBY CERTIFY THIS MINOR SUBDIVISION PLAT KNOWN AS VAQUERO EDINBURG SUBDIVISION - EDINBURG CONFORMS TO ALL SUBDIVISION REQUIREMENTS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED AND HAS BEEN APPROVED FOR RECORDING ON THIS

THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.  
variance requested - required block for Planning and Zoning Chairperson block

ADMINISTRATOR / PLANNING AND ZONING DEPARTMENT DIRECTOR

HIDALGO COUNTY IRRIGATION DISTRICT NO. 2  
THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.  
NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 RIGHTS OF WAY OR EASEMENTS.

PRESIDENT \_\_\_\_\_ ATTEST: \_\_\_\_\_ SECRETARY



FILED FOR RECORD IN HIDALGO COUNTY ARTURO GUAJARDO, JR. HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM

INSTRUMENT NUMBER \_\_\_\_\_ OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: \_\_\_\_\_ DEPUTY

### METES AND BOUNDS DESCRIPTION

A TRACT OF LAND CONTAINING 2.052 ACRES SITUATED IN THE CITY OF EDINBURG, HIDALGO COUNTY, TEXAS, BEING OUT OF LOT 13, BLOCK C, AMENDED MAP OF EDINBURG, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1, PAGE 3, HIDALGO COUNTY MAP RECORDS, SAID 2.052 ACRES CONSISTING OF 0.707 OF ONE ACRE CONVEYED TO PC3 PROPERTIES, LLC, A TEXAS LIMITED LIABILITY COMPANY BY VIRTUE OF A WARRANTY DEED WITH VENDOR'S LIEN RECORDED UNDER DOCUMENT NUMBER 3490854, HIDALGO COUNTY OFFICIAL RECORDS, AND 1.345 ACRE TRACT CONVEYED TO TIDE PETROLEUM PRODUCTS INC., RECORDED UNDER VOLUME 762, PAGE 193, HIDALGO COUNTY DEED RECORDS AND A PART OR PORTION CONVEYED TO TIDE PRODUCTS INC., BY VIRTUE OF A CORPORATION WARRANTY DEED RECORDED UNDER VOLUME 1486, PAGE 564, HIDALGO COUNTY DEED RECORDS, AND SAID 1.917 ACRES BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A NAIL SET AT THE SOUTHWEST CORNER OF SAID LOT 13, BLOCK C, AND WITHIN THE EXISTING RIGHT-OF-WAY OF SCHUNIOR STREET FROM WHICH A NAIL FOUND BEARS N 76° 42' 34" W A DISTANCE OF 0.76 FEET, FOR THE SOUTHWEST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT:

- THENCE, N 08° 51' 59" E ALONG THE WEST LINE OF SAID LOT 13, BLOCK C AND THE EXISTING EAST RIGHT-OF-WAY LINE OF CLOSNER STREET, AT A DISTANCE OF 20.00 FEET PASS AN "X" CUT IN CONCRETE FOUND ON THE RIGHT-OF-WAY INTERSECTION OF CLOSNER STREET AND SCHUNIOR STREET, AT A DISTANCE OF 220.00 FEET PASS AN IRON PIPE FOUND AT THE NORTHEAST CORNER OF SAID CERTAIN TRACT CONVEYED TO PC3 PROPERTIES, LLC, CONTINUING A TOTAL DISTANCE OF 303.00 FEET TO A NO. 4 REBAR SET, FOR THE NORTHWEST CORNER OF THIS TRACT;
- THENCE, S 81° 08' 01" E A DISTANCE OF 295.00 FEET TO A NO. 4 REBAR SET, FOR THE NORTHEAST CORNER OF THIS TRACT;
- THENCE, S 08° 51' 59" W AT A DISTANCE OF 283.00 FEET PASS A NO. 4 REBAR SET ON THE EXISTING NORTH RIGHT-OF-WAY LINE OF SCHUNIOR STREET, CONTINUING A TOTAL DISTANCE OF 303.00 FEET TO A NAIL SET ON THE SOUTH LINE OF SAID LOT 13, BLOCK C AND WITHIN THE EXISTING RIGHT-OF-WAY OF SCHUNIOR STREET, FOR THE SOUTHEAST CORNER OF THIS TRACT;
- THENCE, N 81° 08' 01" W ALONG THE SOUTH LINE OF SAID LOT 13, BLOCK C AND WITHIN THE EXISTING RIGHT-OF-WAY OF SCHUNIOR STREET, AT A DISTANCE OF 155.00 FEET PASS A NAIL FOUND AT THE SOUTHWEST CORNER OF SAID CERTAIN TRACT CONVEYED TO PC3 PROPERTIES, LLC, CONTINUING A TOTAL DISTANCE OF 295.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 2.052 ACRES, OF WHICH 0.135 OF ONE ACRE LIES WITHIN THE EXISTING RIGHT-OF-WAY OF SCHUNIOR STREET, LEAVING A NET OF 1.917 ACRES OF LAND, MORE OR LESS.

- #### LEGEND
- FOUND NO. 4 REBAR
  - FOUND PK NAIL
  - FOUND PIPE
  - FOUND "X" MARK ON CONCRETE
  - SET NO. 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT # SET TIME
  - B-B - BACK OF CURB TO BACK OF CURB
  - R.O.W. - RIGHT OF WAY
  - H.C.D.R. - HIDALGO COUNTY MAP RECORDS
  - H.C.D.R. - HIDALGO COUNTY DEED RECORDS
  - H.C.D.R. - HIDALGO COUNTY OFFICIAL RECORDS
  - S.W. COR. - SOUTHWEST CORNER
  - P.O.B. - POINT OF BEGINNING
  - SF - SQUARE FEET
  - AC - ACRES
  - CENTERLINE
- P.O.C. = POINT OF COMMENCEMENT

### GENERAL PLAT NOTES AND RESTRICTIONS:

- FLOOD ZONE STATEMENT:  
FLOOD ZONE DESIGNATION: ZONE "X" (UNSHADED), ZONE "X" (UNSHADED) IS "AREAS OUTSIDE OF 500-YEAR FLOODPLAIN."  
AS PER FLOOD PLAIN COMMUNITY-PANEL No. 480338 0015 E; AND COMMUNITY-PANEL No. 480338 0020 E REVISED DATE: JUNE 6, 2000.
- THIS PROPERTY IS ZONED AS COMMERCIAL GENERAL DISTRICT.
- MINIMUM SETBACKS AS SHOWN ON PLAT:  
FRONT (CLOSNER): 25.00 FEET  
FRONT: 10.00 FEET OR EASEMENT, WHICHEVER IS GREATER  
SIDE: 10.00 FEET OR EASEMENT, WHICHEVER IS GREATER  
STREET SIDE: 10.00 FEET OR EASEMENT, WHICHEVER IS GREATER
- MINIMUM FINISHED FLOOR ELEVATION TO BE 24 INCHES ABOVE TOP OF CURB.
- DRAINAGE NOTE: IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT No.1 AND HIDALGO COUNTY DRAINAGE REQUIREMENTS, THIS DEVELOPMENT IS REQUIRED TO DETAIN A TOTAL OF 9,980 C.F. 0.229 ACRES-FEET OF STORM WATER RUN OFF. DRAINAGE DETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS STATED IN THE DRAINAGE REPORT.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT OR LOT LINES. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18" MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT. PAVING, GRADING, OR PARKING WITHIN THE EASEMENTS SHOWN HEREIN ARE HEREBY PERMITTED AND SHALL NOT BE DEEMED TO BE AN INTERFERENCE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENTS SHOWN HEREIN
- THE ACCESS DRIVE SHALL ALWAYS BE OPEN TO EMERGENCY VEHICLES, PUBLIC AND PRIVATE UTILITY SERVICE PERSONNEL, THE U.S. POSTAL SERVICE AND GOVERNMENTAL EMPLOYEES IN PURSUIT OF THEIR OFFICIAL DUTIES.
- ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER PREVENTION PLAN (SW3P) REQUIREMENTS. EROSION AND SEDIMENTATION CONTROLS CONSTRUCTED IN ACCORDANCE WITH THE STORM WATER ORDINANCE 98.30 OF THE CITY OF EDINBURG ARE REQUIRED FOR ALL CONSTRUCTION ON LOT.
- SAID PROPERTY SHALL COMPLY WITH THE MOST CURRENT UNIFIED DEVELOPMENT CODE AS ADOPTED BY THE CITY OF EDINBURG AND CITY OF EDINBURG ADOPTED REQUIREMENTS AND SPECIFICATIONS. SUCH REQUIREMENTS MAY INCLUDE, BUT ARE NOT LIMITED TO, THE UNIFIED DEVELOPMENT CODE SETBACK BUFFER YARDS, FLOOR AREA RATIO, LANDSCAPING, SURFACE RATIO PARKING REQUIREMENTS FIRE PROTECTION OR ANY OTHER CITY REQUIREMENTS. ROW DESIGNATION
- A 6' FOOT SIDEWALK WITH A.D.A. COMPLIANCE RAMPS IS REQUIRED ALONG THE EAST R.O.W. OF CLOSNER STREET AND NORTH R.O.W. OF SCHUNIOR STREET DURING BUILDING PERMIT STAGE.
- ALL INTERIOR LOT CORNERS WILL HAVE A NO.4 REBAR SET WITH PLASTIC CAP STAMPED MELDEN & HUNT.
- BENCHMARK: BENCHMARK IS A FOUND PK NAIL- NORTHING:16637558.667, EASTING:1095434.278 ELEVATION: 96.80'
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
- PURSUANT TO APPLICABLE FIRE SAFETY REGULATION, THE INSTALLATION OF THE ADDITIONAL FIRE HYDRANTS, FIRE DEPARTMENT ACCESS ROAD(S), FIRE RATED CONSTRUCTION, AND OTHER FIRE PROTECTION EQUIPMENT MAY BE MANDATED DURING THE SITE PLAN OR BUILDING PERMIT PROCESS.
- ALL EASEMENTS ARE DEDICATED BY PLAT, UNLESS STATED OTHERWISE.

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT No.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

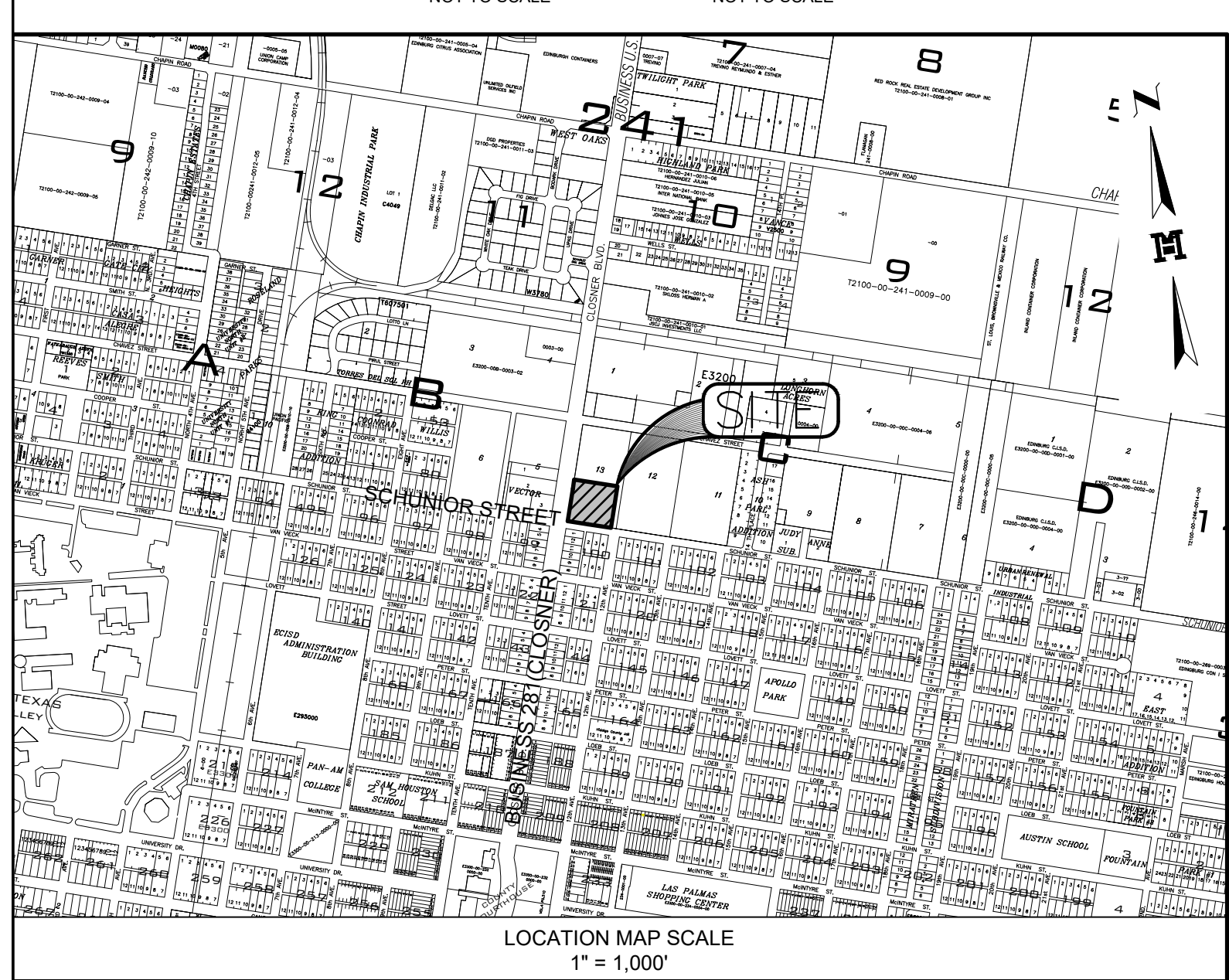
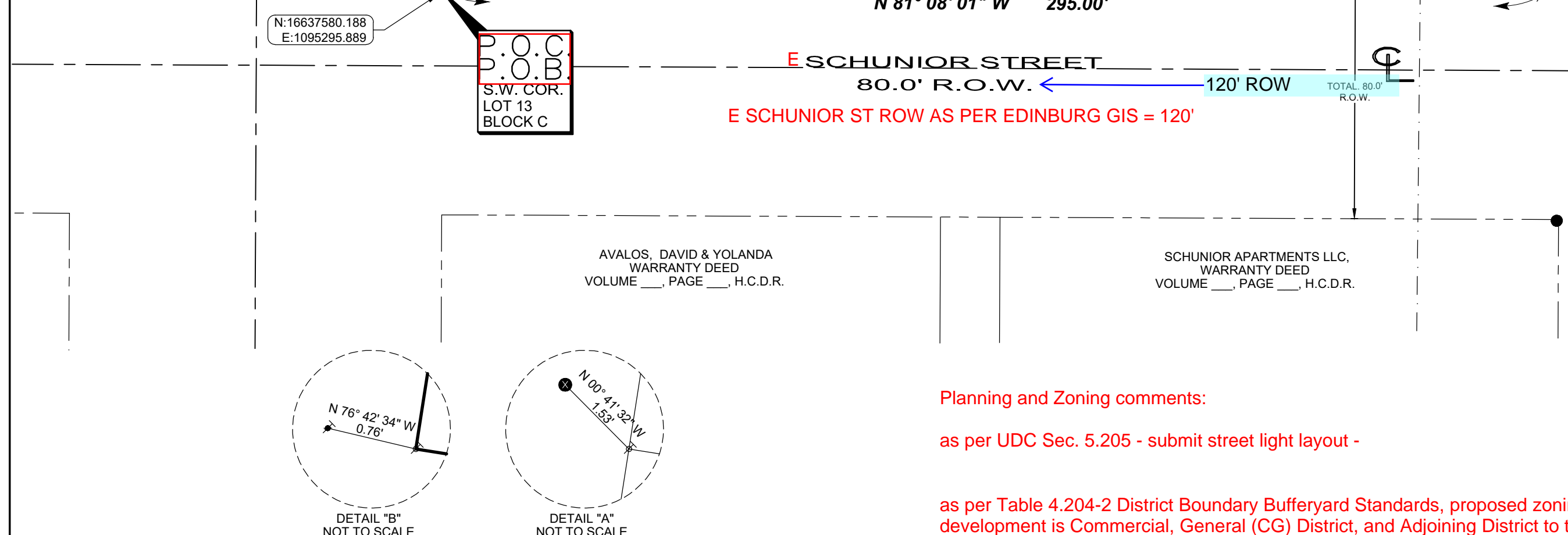
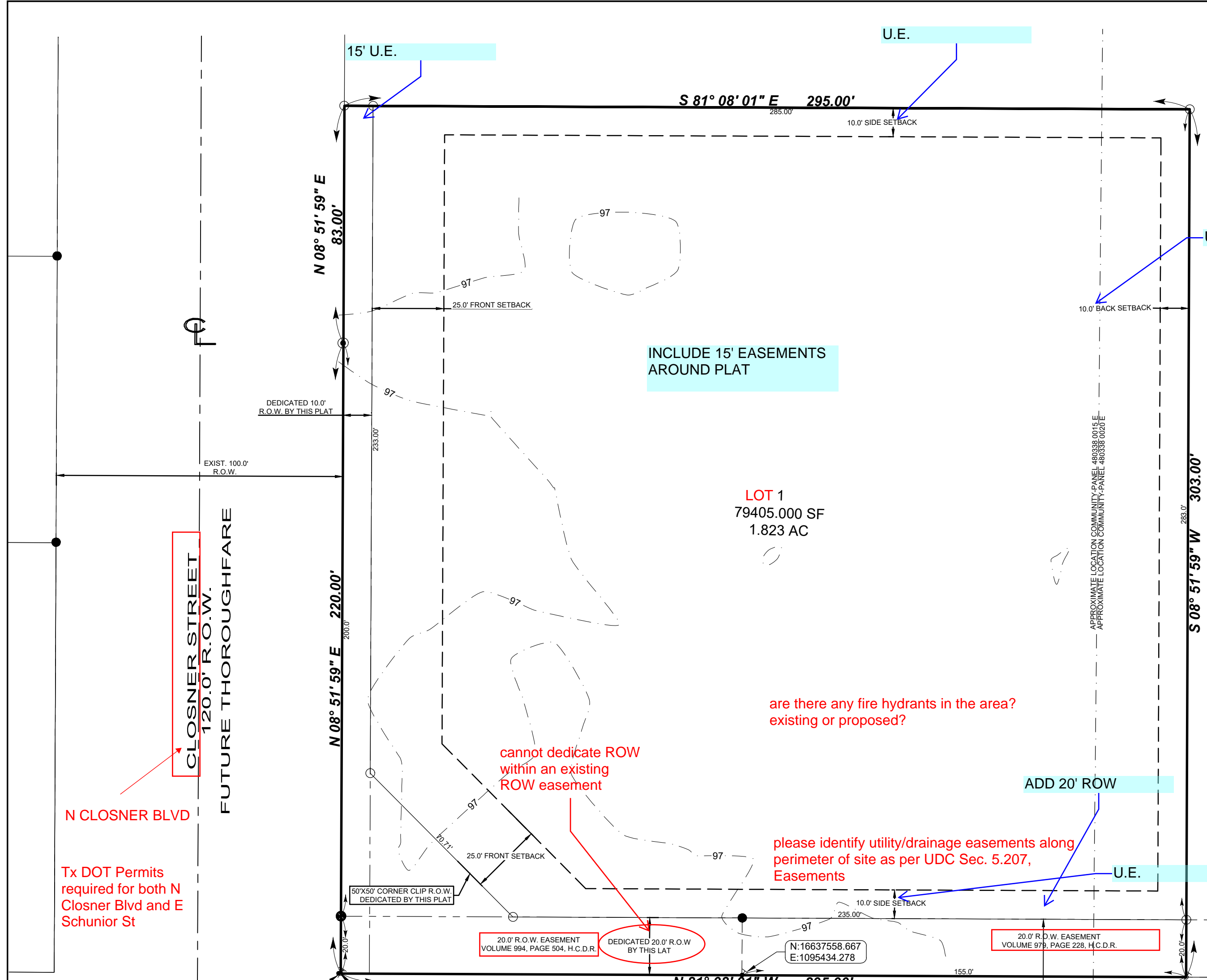
HIDALGO COUNTY DRAINAGE DISTRICT No. 1

RAUL E. SESIN, P.E., C.F.M. \_\_\_\_\_ DATE \_\_\_\_\_  
GENERAL MANAGER

check spelling - FORT

PRINCIPAL CONTACTS	NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER:	WILLIAM A. LANDRETH III	2627 TILLAR ST. STE 111	FORTH WORTH, TX 76107	CO(956) 381-0981	CO(956) 381-1839
ENGINEER:	RUBEN JAMES DE JESUS, R.P.L.S., P.E.	115 W. MCINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839
SURVEYOR:	ROBERTO N. TAMEZ, R.P.L.S.	115 W. MCINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839

DRAWN BY: _____	A.D.	DATE	08-08-2025
REVISED BY: _____	DATE		
SURVEYED, CHECKED _____	DATE		
FINAL CHECK _____	DATE		



Planning and Zoning comments:  
as per UDC Sec. 5.205 - submit street light layout -

as per Table 4.204-2 District Boundary Bufferyard Standards, proposed zoning development is Commercial, General (CG) District, and Adjoining District to the north and east is Residential, Multifamily (RM) District - a Class B fence is required.

Table 4.204-1, Bufferyard Classifications.  
Class B - 6-foot high wall (masonry, brick, stone, or equivalent material) or wood fence (20 ft in width)

Add > Planning and Zoning Commission Certification. "I, the undersigned, Chairperson of the Planning and Zoning Commission of the City of Edinburg, hereby certify that this subdivision plat known as \_\_\_\_\_ conforms to all requirements of the Subdivision Regulations of this City wherein my approval is required and has been approved for recording on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_."

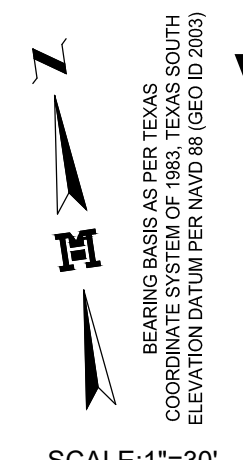
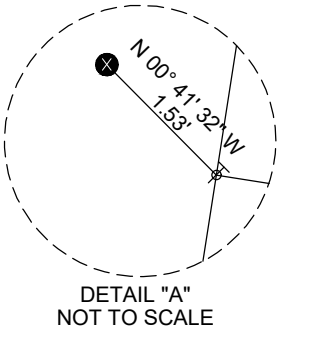
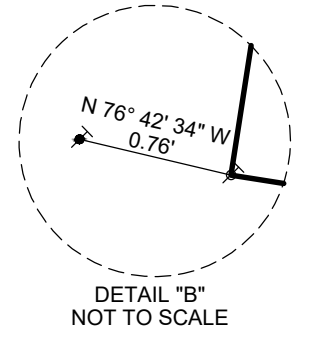
"I, the undersigned, Mayor of the City of Edinburg, hereby certify that this subdivision plat conforms to all requirements of the Subdivision Regulations of this City, excepting for those requirements for which a Waiver was approved or an Appeal was heard and decided upon, wherein my approval is required."

MAYORS BLOCK REQUIRED DUE TO VARIANCE REQUEST

MELDEN & HUNT, INC.  
CONSULTANTS • ENGINEERS • SURVEYORS  
115 W. MCINTYRE - EDINBURG, TX 78541  
PH: (956) 381-0981 - FAX: (956) 381-1839  
ESTABLISHED 1947 - www.meldenandhunt.com

TX DOT Permits required for both N Closner Blvd and E Schunior St

N CLOSNER BLVD  
FUTURE THOROUGHFARE



- #### LEGEND
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  - FOUND PK NAIL
  - FOUND PIPE
  - FOUND "X" MARK ON CONCRETE
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### GENERAL PLAT NOTES AND RESTRICTIONS:

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FLOOD ZONE DESIGNATION: ZONE "X" (UNSHADED), ZONE "X" (UNSHADED) IS "AREAS OUTSIDE OF 500-YEAR FLOODPLAIN."  
AS PER FLOOD PLAIN COMMUNITY-PANEL No. 480338 0015 E; AND COMMUNITY-PANEL No. 480338 0020 E REVISED DATE: JUNE 6, 2000.
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FRONT (CLOSNER): 25.00 FEET  
FRONT: 10.00 FEET OR EASEMENT, WHICHEVER IS GREATER  
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- ALL EASEMENTS ARE DEDICATED BY PLAT, UNLESS STATED OTHERWISE.

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT No.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

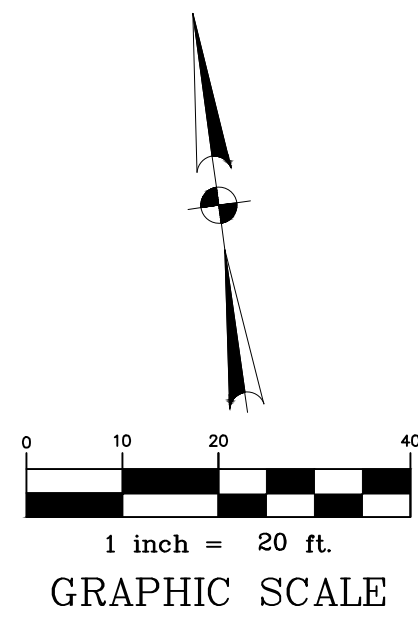
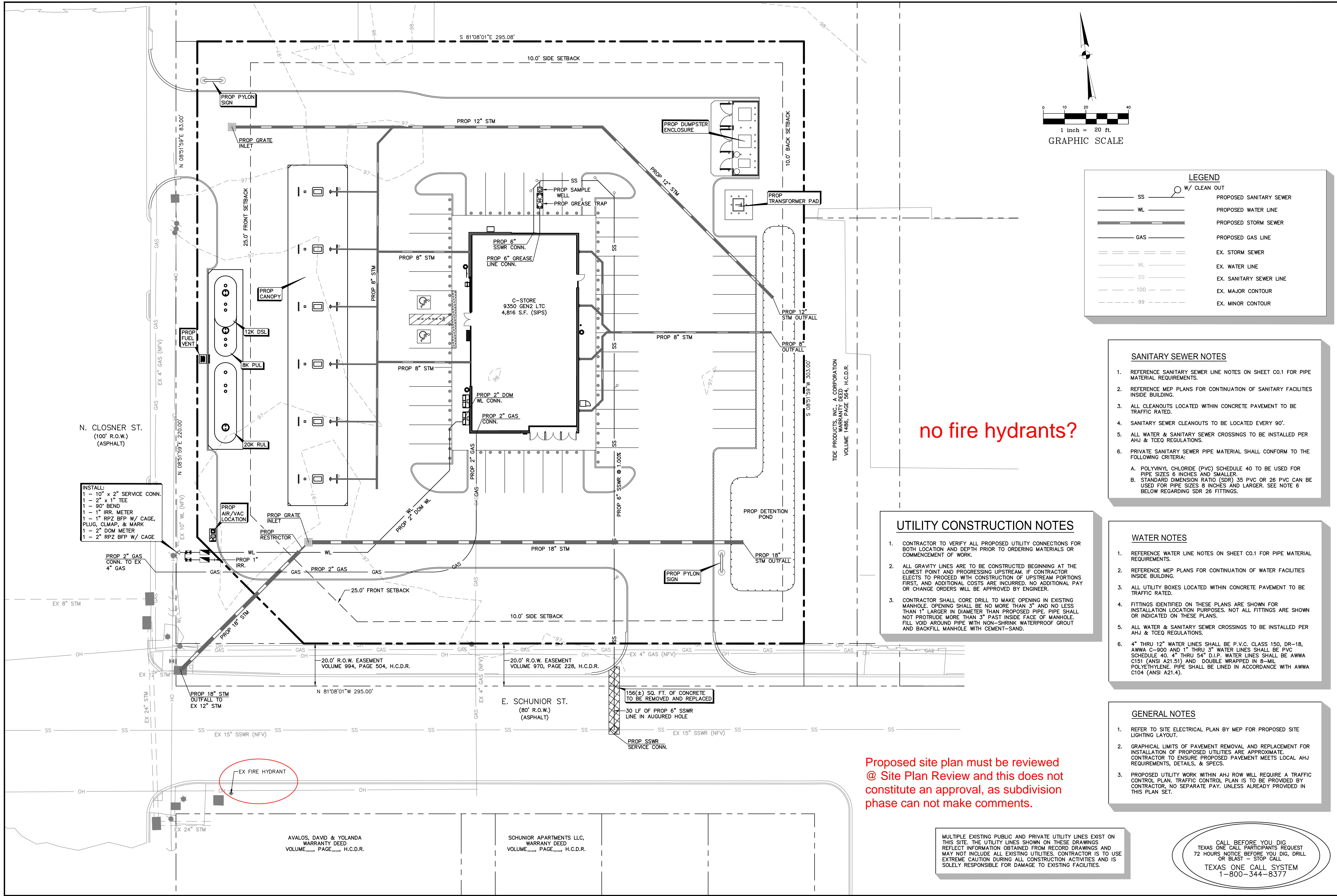
HIDALGO COUNTY DRAINAGE DISTRICT No. 1

RAUL E. SESIN, P.E., C.F.M. \_\_\_\_\_ DATE \_\_\_\_\_  
GENERAL MANAGER

check spelling - FORT

PRINCIPAL CONTACTS	NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER:	WILLIAM A. LANDRETH III	2627 TILLAR ST. STE 111	FORTH WORTH, TX 76107	CO(956) 381-0981	CO(956) 381-1839
ENGINEER:	RUBEN JAMES DE JESUS, R.P.L.S., P.E.	115 W. MCINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839
SURVEYOR:	ROBERTO N. TAMEZ, R.P.L.S.	115 W. MCINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839

DRAWN BY: _____	A.D.	DATE	08-08-2025
REVISED BY: _____	DATE		
SURVEYED, CHECKED _____	DATE		
FINAL CHECK _____	DATE		



**LEGEND**

SS	PROPOSED SANITARY SEWER
WL	PROPOSED WATER LINE
---	PROPOSED STORM SEWER
---	PROPOSED GAS LINE
---	EX. STORM SEWER
---	EX. WATER LINE
---	EX. SANITARY SEWER LINE
---	EX. MAJOR CONTOUR
---	EX. MINOR CONTOUR

- SANITARY SEWER NOTES**
- REFERENCE SANITARY SEWER LINE NOTES ON SHEET CO.1 FOR PIPE MATERIAL REQUIREMENTS.
  - REFERENCE MEP PLANS FOR CONTINUATION OF SANITARY FACILITIES INSIDE BUILDING.
  - ALL CLEANOUTS LOCATED WITHIN CONCRETE PAVEMENT TO BE TRAFFIC RATED.
  - SANITARY SEWER CLEANOUTS TO BE LOCATED EVERY 90'.
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  - PRIVATE SANITARY SEWER PIPE MATERIAL SHALL CONFORM TO THE FOLLOWING CRITERIA:
    - POLYVINYL CHLORIDE (PVC) SCHEDULE 40 TO BE USED FOR PIPE SIZES 6 INCHES AND SMALLER.
    - STANDARD DIMENSION RATIO (SDR) 35 PVC OR 26 PVC CAN BE USED FOR PIPE SIZES 8 INCHES AND LARGER. SEE NOTE 6 BELOW REGARDING SDR 26 FITTINGS.

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- CONTRACTOR TO VERIFY ALL PROPOSED UTILITY CONNECTIONS FOR BOTH LOCATION AND DEPTH PRIOR TO ORDERING MATERIALS OR COMMENCEMENT OF WORK.
  - ALL GRAVITY LINES ARE TO BE CONSTRUCTED BEGINNING AT THE LOWEST POINT AND PROGRESSING UPSTREAM. IF CONTRACTOR ELECTS TO PROCEED WITH CONSTRUCTION OF UPSTREAM PORTIONS FIRST, AND ADDITIONAL COSTS ARE INCURRED, NO ADDITIONAL PAY OR CHANGE ORDERS WILL BE APPROVED BY ENGINEER.
  - CONTRACTOR SHALL CORE DRILL TO MAKE OPENING IN EXISTING MANHOLE. OPENING SHALL BE NO MORE THAN 3" AND NO LESS THAN 1" LARGER IN DIAMETER THAN PROPOSED PIPE. PIPE SHALL NOT PROTRUDE MORE THAN 3" PAST INSIDE FACE OF MANHOLE. FILL VOID AROUND PIPE WITH NON-SHRINK WATERPROOF GROUT AND BACKFILL MANHOLE WITH CEMENT-SAND.

- WATER NOTES**
- REFERENCE WATER LINE NOTES ON SHEET CO.1 FOR PIPE MATERIAL REQUIREMENTS.
  - REFERENCE MEP PLANS FOR CONTINUATION OF WATER FACILITIES INSIDE BUILDING.
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  - 4" THRU 12" WATER LINES SHALL BE P.V.C. CLASS 150, DR-18, AWWA C-900 AND 1" THRU 3" WATER LINES SHALL BE PVC SCHEDULE 40. 4" THRU 54" D.I.P. WATER LINES SHALL BE AWWA C151 (ANSI A21.51) AND DOUBLE WRAPPED IN 8-MIL POLYETHYLENE. PIPE SHALL BE LINED IN ACCORDANCE WITH AWWA C104 (ANSI A21.4).

- GENERAL NOTES**
- REFER TO SITE ELECTRICAL PLAN BY MEP FOR PROPOSED SITE LIGHTING LAYOUT.
  - GRAPHICAL LIMITS OF PAVEMENT REMOVAL AND REPLACEMENT FOR INSTALLATION OF PROPOSED UTILITIES ARE APPROXIMATE. CONTRACTOR TO ENSURE PROPOSED PAVEMENT MEETS LOCAL AHJ REQUIREMENTS, DETAILS, & SPECS.
  - PROPOSED UTILITY WORK WITHIN AHJ ROW WILL REQUIRE A TRAFFIC CONTROL PLAN. TRAFFIC CONTROL PLAN IS TO BE PROVIDED BY CONTRACTOR, NO SEPARATE PAY, UNLESS ALREADY PROVIDED IN THIS PLAN SET.

MULTIPLE EXISTING PUBLIC AND PRIVATE UTILITY LINES EXIST ON THIS SITE. THE UTILITY LINES SHOWN ON THESE DRAWINGS REFLECT INFORMATION OBTAINED FROM RECORD DRAWINGS AND MAY NOT INCLUDE ALL EXISTING UTILITIES. CONTRACTOR IS TO USE EXTREME CAUTION DURING ALL CONSTRUCTION ACTIVITIES AND IS SOLELY RESPONSIBLE FOR DAMAGE TO EXISTING FACILITIES.

CALL BEFORE YOU DIG  
 TEXAS ONE CALL PARTICIPANTS REQUEST  
 72 HOURS NOTICE BEFORE YOU DIG, DRILL  
 OR BLAST - STOP CALL  
 TEXAS ONE CALL SYSTEM  
 1-800-344-8377

NO. \_\_\_\_\_ DATE \_\_\_\_\_

REVISIONS \_\_\_\_\_

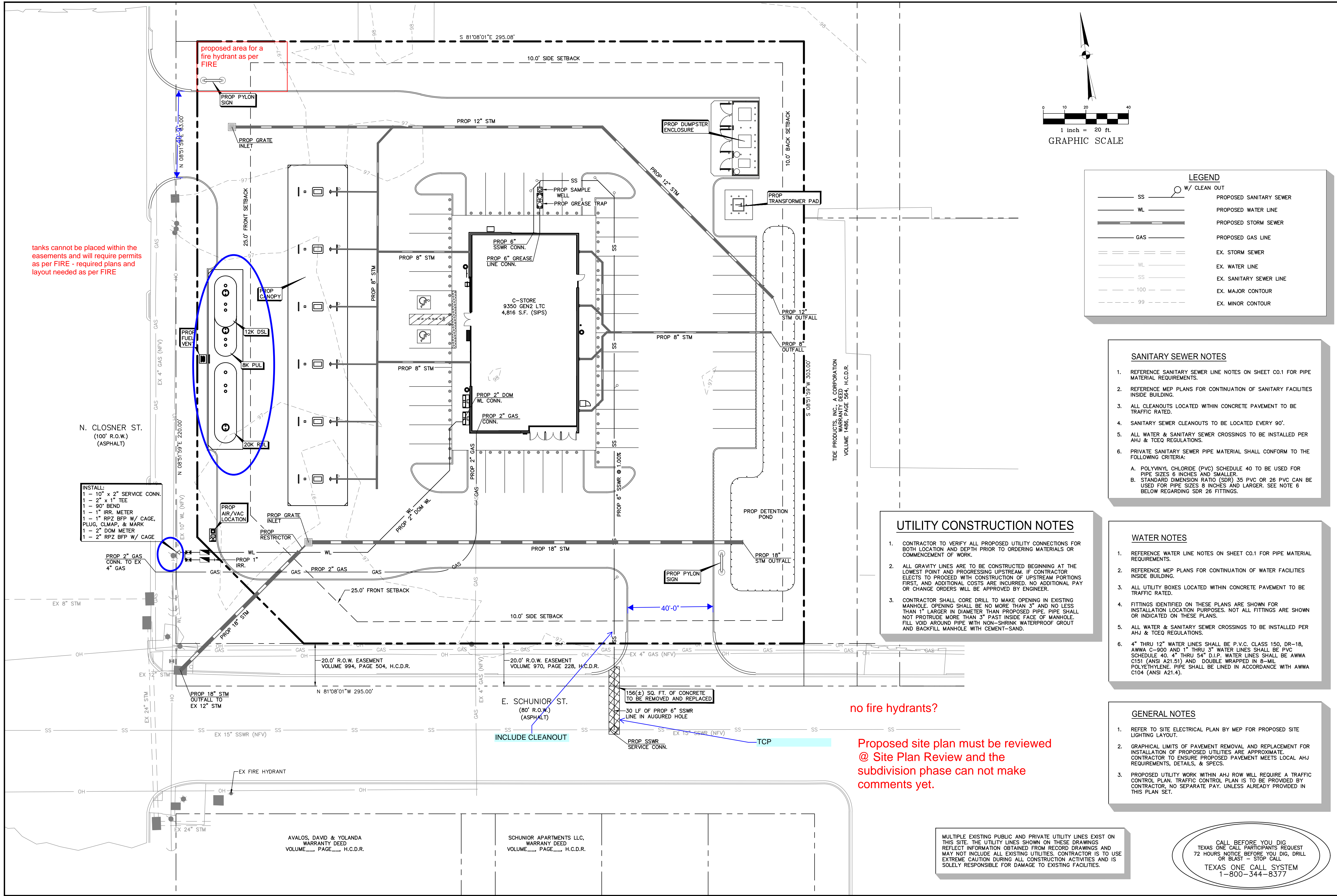
**ALJLindsey**  
 Civil Engineers  
 1885 N. Loop West, Suite 210  
 Houston, TX 77057  
 281.301.9555  
 FRN F-11508

ALL PROJECT NO. 23525CV132  
 DATE: SEPT 2025  
 SCALE: 1:20  
 DRAWN BY: SRC  
 CHECKED BY: DAD

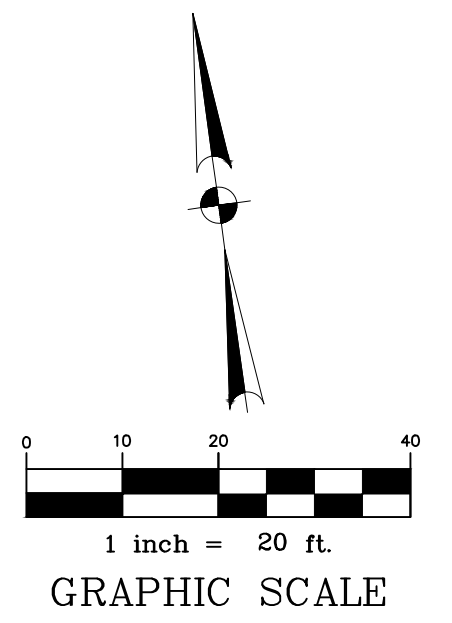
**CONCEPTUAL  
 UTILITY & DRAINAGE  
 PLAN**

**7-ELEVEN  
 EDINBURG, TX**

SHEET  
**EX**



tanks cannot be placed within the easements and will require permits as per FIRE - required plans and layout needed as per FIRE



LEGEND	
SS	PROPOSED SANITARY SEWER
WL	PROPOSED WATER LINE
S	PROPOSED STORM SEWER
GAS	PROPOSED GAS LINE
---	EX. STORM SEWER
---	EX. WATER LINE
---	EX. SANITARY SEWER LINE
---	EX. MAJOR CONTOUR
---	EX. MINOR CONTOUR
W/ CLEAN OUT	

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no fire hydrants?  
Proposed site plan must be reviewed @ Site Plan Review and the subdivision phase can not make comments yet.

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TEXAS ONE CALL PARTICIPANTS REQUEST 72 HOURS NOTICE BEFORE YOU DIG, DRILL OR BLAST - STOP CALL  
TEXAS ONE CALL SYSTEM  
1-800-344-8377

- INSTALL:
- 1 - 10" x 2" SERVICE CONN.
  - 1 - 2" x 1" TEE
  - 1 - 90° BEND
  - 1 - 1" IRR. METER
  - 1 - 1" RPZ BFP W/ CAGE, PLUG, CLMAP, & MARK
  - 1 - 2" DOM METER
  - 1 - 2" RPZ BFP W/ CAGE

ALJLindsey Civil Engineers 1885 N. Loop West, Suite 210 Edinburg, TX 78541 281.301.9555 FRN F-11506	NO. _____ REVISIONS _____ DATE _____
ALL PROJECT NO. 23525CV132 DATE: SEPT 2025 SCALE: 1:20 DRAWN BY: SRC CHECKED BY: DAO	CONCEPTUAL UTILITY & DRAINAGE PLAN
7-ELEVEN EDINBURG, TX	SHEET EX

# MINOR PLAT OF VAQUERO EDINBURG SUBDIVISION

BEING 2.052 ACRES OUT OF LOT 13, BLOCK C AMENDED MAP OF EDINBURG CITY OF EDINBURG, HIDALGO COUNTY, TEXAS

STATE OF TEXAS  
COUNTY OF TARRANT

I/WE THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE VAQUERO EDINBURG SUBDIVISION ADDITION TO THE CITY OF EDINBURG, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER, ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE OF CONSIDERATION THEREIN EXPRESSED.

VAQUERO EDINBURG SCHUNIOR PARTNERS, L.P.  
A TEXAS LIMITED PARTNERSHIP

BY: VAQUERO VENTURES MANAGEMENT, L.L.C.  
A TEXAS LIMITED LIABILITY COMPANY  
ITS GENERAL PARTNER

WILLIAM A. LANDRETH III, MANAGER  
2627 TILLAR STREET, SUITE 111  
FORT WORTH, TEXAS 76107

DATE: \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF TARRANT

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED WILLIAM A. LANDRETH III, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC  
TARRANT COUNTY, TEXAS

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT. ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

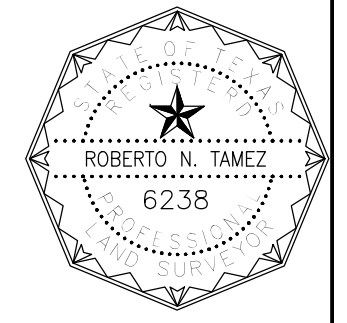
MARIO A. REYNA, P.E. # 117368  
STATE OF TEXAS  
DATE PREPARED: 08-08-2025  
DATE REVISED: \_\_\_\_\_  
ENGINEERING JOB NO. 25110.00



STATE OF TEXAS  
COUNTY OF HIDALGO

I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF EDINBURG, TEXAS.

DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.



ROBERTO N. TAMEZ, REGISTERED PROFESSIONAL LAND SURVEYOR No. 6238  
STATE OF TEXAS  
DATE SURVEYED: 05-23-2024  
T-1222, PG 73  
SURVEY JOB # 24073.00.08

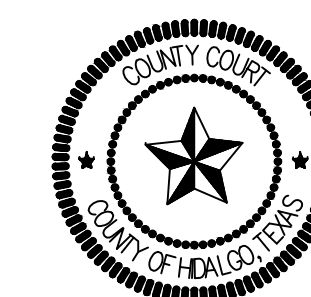
I, \_\_\_\_\_ JAIME ACEVEDO \_\_\_\_\_, ADMINISTRATOR / DIRECTOR OF PLANNING AND ZONING DEPARTMENT OF THE CITY OF EDINBURG, TEXAS DO HEREBY CERTIFY THIS MINOR SUBDIVISION PLAT KNOWN AS VAQUERO EDINBURG SUBDIVISION - EDINBURG CONFORMS TO ALL SUBDIVISION REQUIREMENTS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED AND HAS BEEN APPROVED FOR RECORDING ON THIS

THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

ADMINISTRATOR / PLANNING AND ZONING DEPARTMENT DIRECTOR

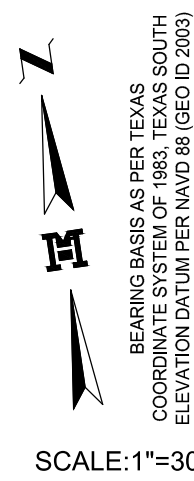
HIDALGO COUNTY IRRIGATION DISTRICT NO. 2  
THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.  
NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 RIGHTS OF WAY OR EASEMENTS.

PRESIDENT \_\_\_\_\_ ATTEST: \_\_\_\_\_ SECRETARY \_\_\_\_\_



FILED FOR RECORD IN HIDALGO COUNTY ARTURO GUAJARDO, JR. HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS  
BY: \_\_\_\_\_ DEPUTY



SCALE: 1"=30'

- LEGEND**
- FOUND NO. 4 REBAR
  - FOUND PK NAIL
  - FOUND PIPE
  - FOUND "X" MARK ON CONCRETE
  - SET NO. 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT # SET TIME
  - B-B - BACK OF CURB TO BACK OF CURB
  - R.O.W. - RIGHT OF WAY
  - H.C.D.R. - HIDALGO COUNTY MAP RECORDS
  - H.C.D.R. - HIDALGO COUNTY DEED RECORDS
  - H.C.D.R. - HIDALGO COUNTY OFFICIAL RECORDS
  - S.W. COR. - SOUTHWEST CORNER
  - P.O.B. - POINT OF BEGINNING
  - SF - SQUARE FEET
  - AC - ACRES
  - CENTERLINE

**GENERAL PLAT NOTES AND RESTRICTIONS:**

- FLOOD ZONE STATEMENT:  
FLOOD ZONE DESIGNATION: ZONE "X" (UNSHADED), ZONE "X" (UNSHADED) IS "AREAS OUTSIDE OF 500-YEAR FLOODPLAIN."  
AS PER FLOOD PLAIN COMMUNITY-PANEL No. 480338 0015 E; AND COMMUNITY-PANEL No. 480338 0020 E REVISED DATE: JUNE 6, 2000.
- THIS PROPERTY IS ZONED AS COMMERCIAL GENERAL DISTRICT.
- MINIMUM SETBACKS AS SHOWN ON PLAT:  
FRONT (CLOSNER): 25.00 FEET  
FRONT: 10.00 FEET OR EASEMENT, WHICHEVER IS GREATER  
SIDE: 10.00 FEET OR EASEMENT, WHICHEVER IS GREATER  
STREET SIDE: 10.00 FEET OR EASEMENT, WHICHEVER IS GREATER
- MINIMUM FINISHED FLOOR ELEVATION TO BE 24 INCHES ABOVE TOP OF CURB.
- DRAINAGE NOTE: IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT No.1 AND HIDALGO COUNTY DRAINAGE REQUIREMENTS, THIS DEVELOPMENT IS REQUIRED TO DETAIN A TOTAL OF 9,980 C.F. 0.229 ACRES-FEET OF STORM WATER RUN OFF. DRAINAGE DETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS STATED IN THE DRAINAGE REPORT.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT OR LOT LINES. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18" MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT. PAVING, GRADING, OR PARKING WITHIN THE EASEMENTS SHOWN HEREIN ARE HEREBY PERMITTED AND SHALL NOT BE DEEMED TO BE AN INTERFERENCE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENTS SHOWN HEREIN
- THE ACCESS DRIVE SHALL ALWAYS BE OPEN TO EMERGENCY VEHICLES, PUBLIC AND PRIVATE UTILITY SERVICE PERSONNEL, THE U.S. POSTAL SERVICE AND GOVERNMENTAL EMPLOYEES IN PURSUIT OF THEIR OFFICIAL DUTIES.
- ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER PREVENTION PLAN (SW3P) REQUIREMENTS. EROSION AND SEDIMENTATION CONTROLS CONSTRUCTED IN ACCORDANCE WITH THE STORM WATER ORDINANCE 98.30 OF THE CITY OF EDINBURG ARE REQUIRED FOR ALL CONSTRUCTION ON LOT.
- SAID PROPERTY SHALL COMPLY WITH THE MOST CURRENT UNIFIED DEVELOPMENT CODE AS ADOPTED BY THE CITY OF EDINBURG AND CITY OF EDINBURG ADOPTED REQUIREMENTS AND SPECIFICATIONS. SUCH REQUIREMENTS MAY INCLUDE, BUT ARE NOT LIMITED TO, THE UNIFIED DEVELOPMENT CODE SETBACK BUFFER YARDS, FLOOR AREA RATIO, LANDSCAPING, SURFACE RATIO PARKING REQUIREMENTS FIRE PROTECTION OR ANY OTHER CITY REQUIREMENTS.
- A 5-FOOT SIDEWALK WITH A.D.A. COMPLIANCE RAMPS IS REQUIRED ALONG THE EAST R.O.W. OF CLOSNER STREET AND NORTH R.O.W. OF SCHUNIOR STREET DURING BUILDING PERMIT STAGE.
- ALL INTERIOR LOT CORNERS WILL HAVE A NO.4 REBAR SET WITH PLASTIC CAP STAMPED MELDEN & HUNT.
- BENCHMARK: BENCHMARK IS A FOUND PK NAIL- NORTHING:16637558.667, EASTING:1095434.278 ELEVATION: 96.80'
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
- PURSUANT TO APPLICABLE FIRE SAFETY REGULATION, THE INSTALLATION OF THE ADDITIONAL FIRE HYDRANTS, FIRE DEPARTMENT ACCESS ROAD(S), FIRE RATED CONSTRUCTION, AND OTHER FIRE PROTECTION EQUIPMENT MAY BE MANDATED DURING THE SITE PLAN OR BUILDING PERMIT PROCESS.
- ALL EASEMENTS ARE DEDICATED BY PLAT, UNLESS STATED OTHERWISE.

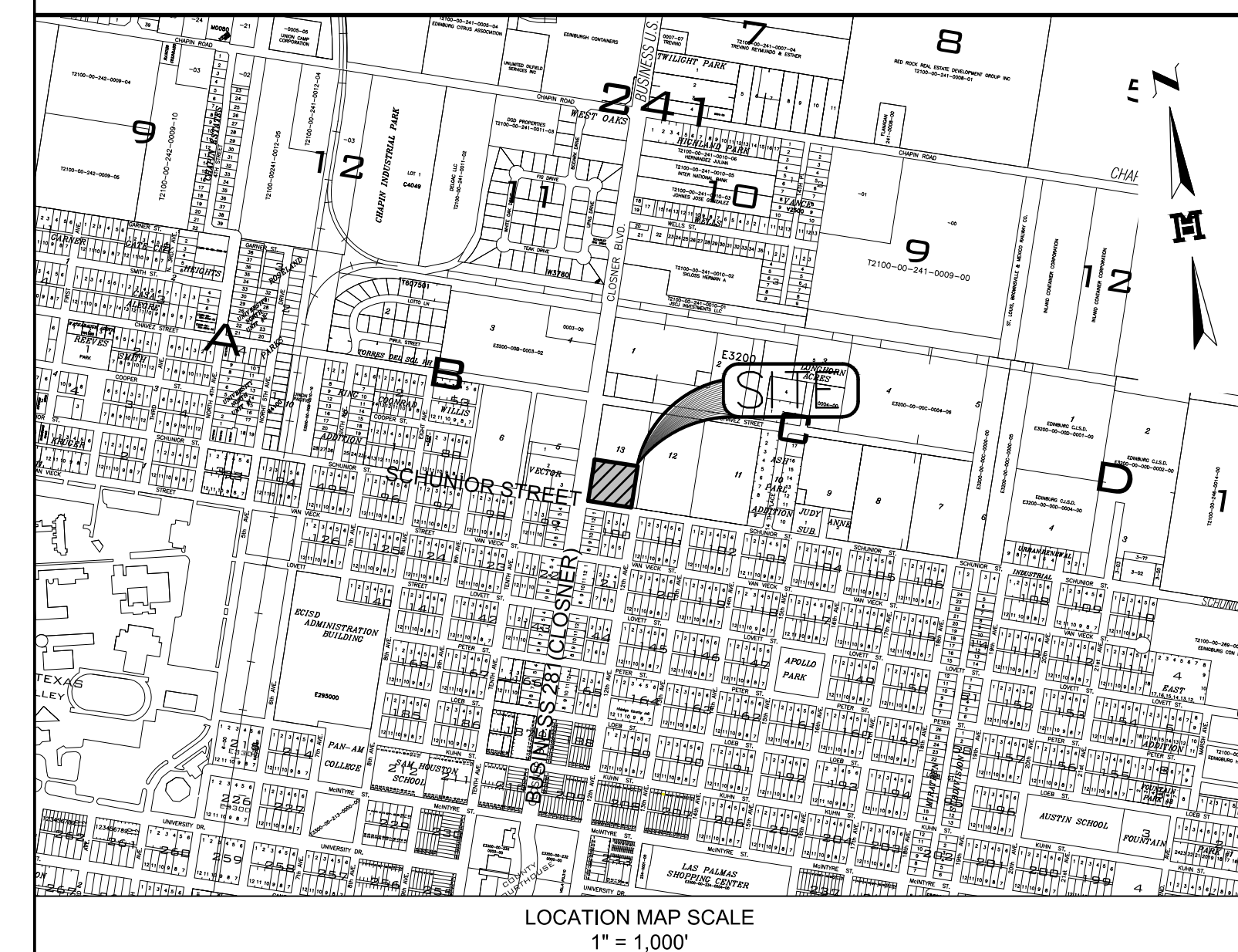
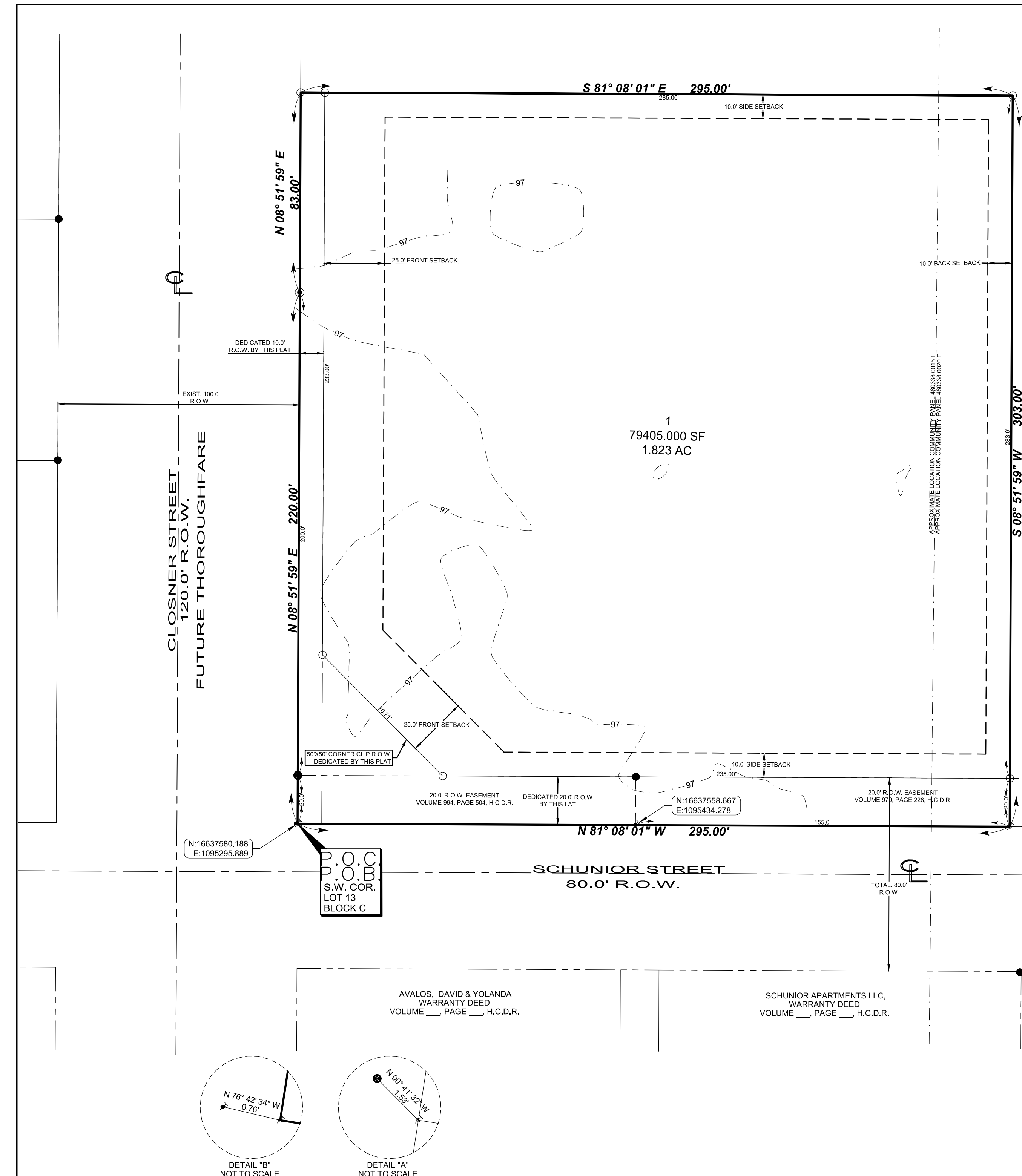
APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT No.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT No. 1

RAUL E. SESIN, P.E., C.F.M. \_\_\_\_\_ DATE \_\_\_\_\_  
GENERAL MANAGER

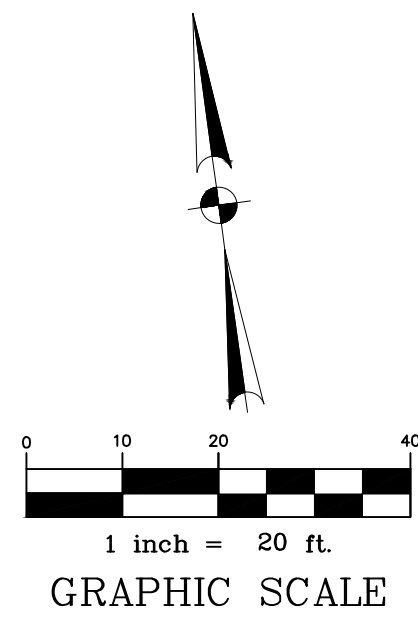
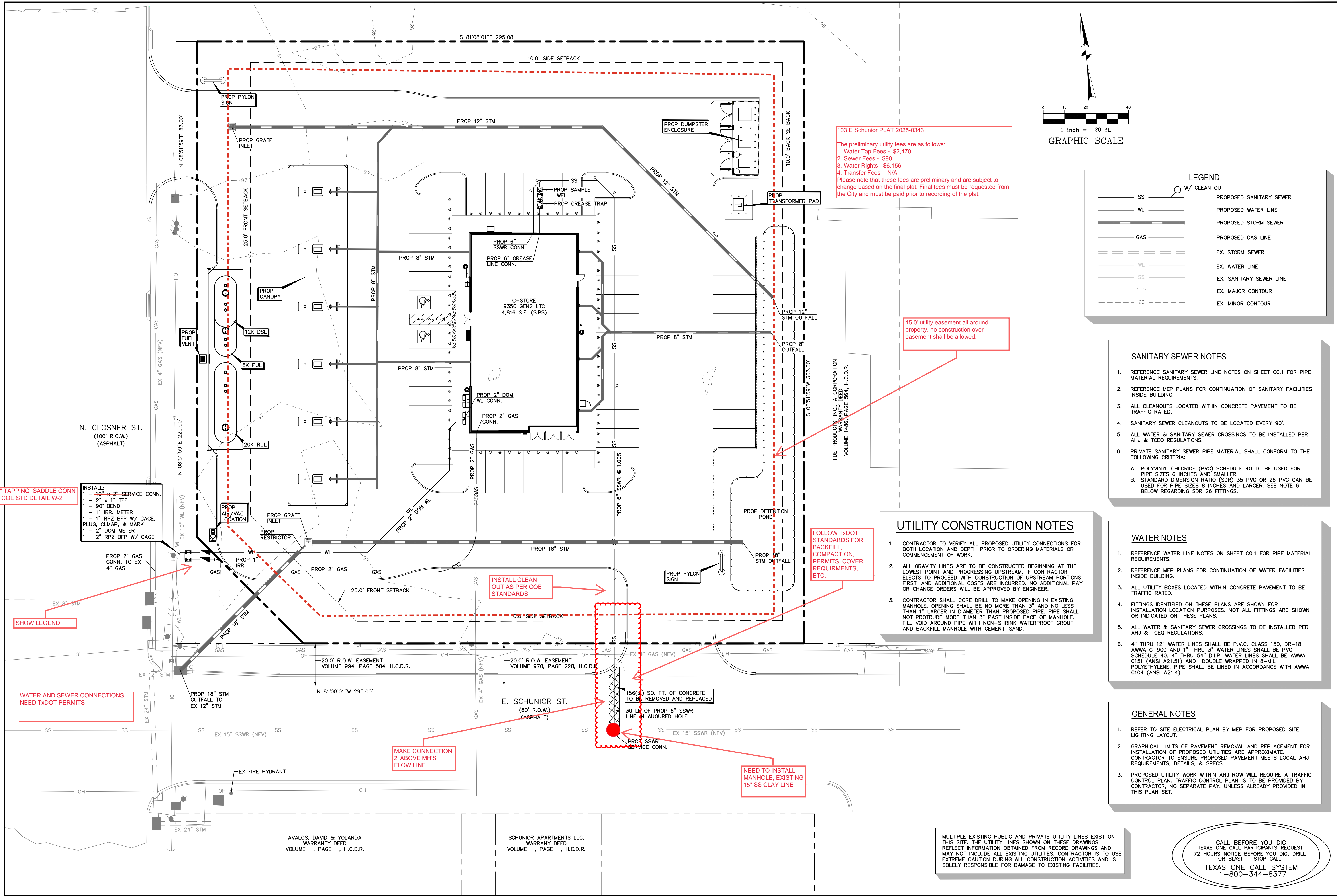
TIDE PRODUCTS, INC., A CORPORATION  
VOLUME 1486 PAGE 554, H.C.D.R.



**M** MELDEN & HUNT, INC.  
CONSULTANTS • ENGINEERS • SURVEYORS  
115 W. MCINTYRE - EDINBURG, TX 78541  
PH: (956) 381-0981 - FAX: (956) 381-1839  
ESTABLISHED 1947 - www.meldenandhunt.com

PRINCIPAL CONTACTS	NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER:	WILLIAM A. LANDRETH III	2627 TILLAR ST, STE 111	FORTH WORTH, TX 76107	CO(956) 381-0981	CO(956) 381-1839
ENGINEER:	RUBEN JAMES DE JESUS, R.P.L.S., P.E.	115 W. MCINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839
SURVEYOR:	ROBERTO N. TAMEZ, R.P.L.S.	115 W. MCINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839

DRAWN BY: _____	A.D.	DATE 08-08-2025
REVISED BY: _____	DATE	
SURVEYED, CHECKED _____	DATE	
FINAL CHECK _____	DATE	



103 E Schunior PLAT 2025-0343  
 The preliminary utility fees are as follows:  
 1. Water Tap Fees - \$2,470  
 2. Sewer Fees - \$90  
 3. Water Rights - \$6,156  
 4. Transfer Fees - N/A  
 Please note that these fees are preliminary and are subject to change based on the final plat. Final fees must be requested from the City and must be paid prior to recording of the plat.

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WL	PROPOSED WATER LINE
SS	PROPOSED STORM SEWER
GAS	PROPOSED GAS LINE
SS	EX. STORM SEWER
WL	EX. WATER LINE
SS	EX. SANITARY SEWER LINE
-100-	EX. MAJOR CONTOUR
-99-	EX. MINOR CONTOUR

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  - FITTINGS IDENTIFIED ON THESE PLANS ARE SHOWN FOR INSTALLATION LOCATION PURPOSES. NOT ALL FITTINGS ARE SHOWN OR INDICATED ON THESE PLANS.
  - ALL WATER & SANITARY SEWER CROSSINGS TO BE INSTALLED PER AHJ & TCEQ REGULATIONS.
  - 4" THRU 12" WATER LINES SHALL BE P.V.C. CLASS 150, DR-18, AWWA C-900 AND 1" THRU 3" WATER LINES SHALL BE PVC SCHEDULE 40. 4" THRU 54" D.I.P. WATER LINES SHALL BE AWWA C151 (ANSI A21.51) AND DOUBLE WRAPPED IN 8-MIL POLYETHYLENE. PIPE SHALL BE LINED IN ACCORDANCE WITH AWWA C104 (ANSI A21.4).

- ### GENERAL NOTES
- REFER TO SITE ELECTRICAL PLAN BY MEP FOR PROPOSED SITE LIGHTING LAYOUT.
  - GRAPHICAL LIMITS OF PAVEMENT REMOVAL AND REPLACEMENT FOR INSTALLATION OF PROPOSED UTILITIES ARE APPROXIMATE. CONTRACTOR TO ENSURE PROPOSED PAVEMENT MEETS LOCAL AHJ REQUIREMENTS, DETAILS, & SPECS.
  - PROPOSED UTILITY WORK WITHIN AHJ ROW WILL REQUIRE A TRAFFIC CONTROL PLAN. TRAFFIC CONTROL PLAN IS TO BE PROVIDED BY CONTRACTOR, NO SEPARATE PAY, UNLESS ALREADY PROVIDED IN THIS PLAN SET.

MULTIPLE EXISTING PUBLIC AND PRIVATE UTILITY LINES EXIST ON THIS SITE. THE UTILITY LINES SHOWN ON THESE DRAWINGS REFLECT INFORMATION OBTAINED FROM RECORD DRAWINGS AND MAY NOT INCLUDE ALL EXISTING UTILITIES. CONTRACTOR IS TO USE EXTREME CAUTION DURING ALL CONSTRUCTION ACTIVITIES AND IS SOLELY RESPONSIBLE FOR DAMAGE TO EXISTING FACILITIES.

CALL BEFORE YOU DIG  
 TEXAS ONE CALL PARTICIPANTS REQUEST  
 72 HOURS NOTICE BEFORE YOU DIG, DRILL  
 OR BLAST - STOP CALL  
 TEXAS ONE CALL SYSTEM  
 1-800-344-8377

1-10"x2" TAPPING SADDLE CONN AS PER COE STD DETAIL W-2

- INSTALL:
- 1 - 10" x 2" SERVICE CONN.
  - 1 - 2" x 1" TEE
  - 1 - 90° BEND
  - 1 - 1" RRR METER
  - 1 - 1" RPZ BFP W/ CAGE, PLUG, CLMAP, & MARK
  - 1 - 2" DOM METER
  - 1 - 2" RPZ BFP W/ CAGE

SHOW LEGEND

WATER AND SEWER CONNECTIONS NEED TXDOT PERMITS

INSTALL CLEAN OUT AS PER COE STANDARDS

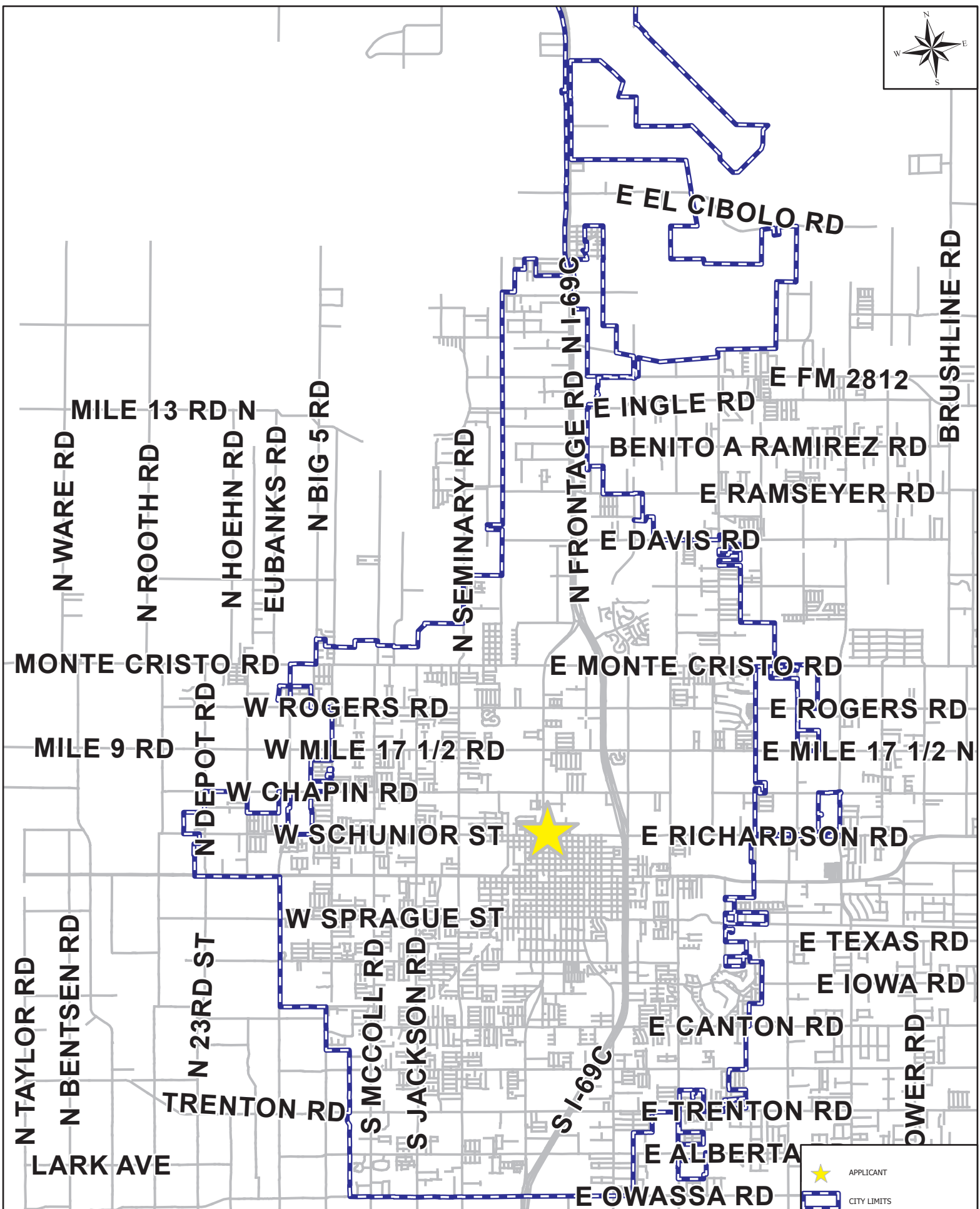
MAKE CONNECTION 2' ABOVE MH'S FLOW LINE

NEED TO INSTALL MANHOLE, EXISTING 15" SS CLAY LINE

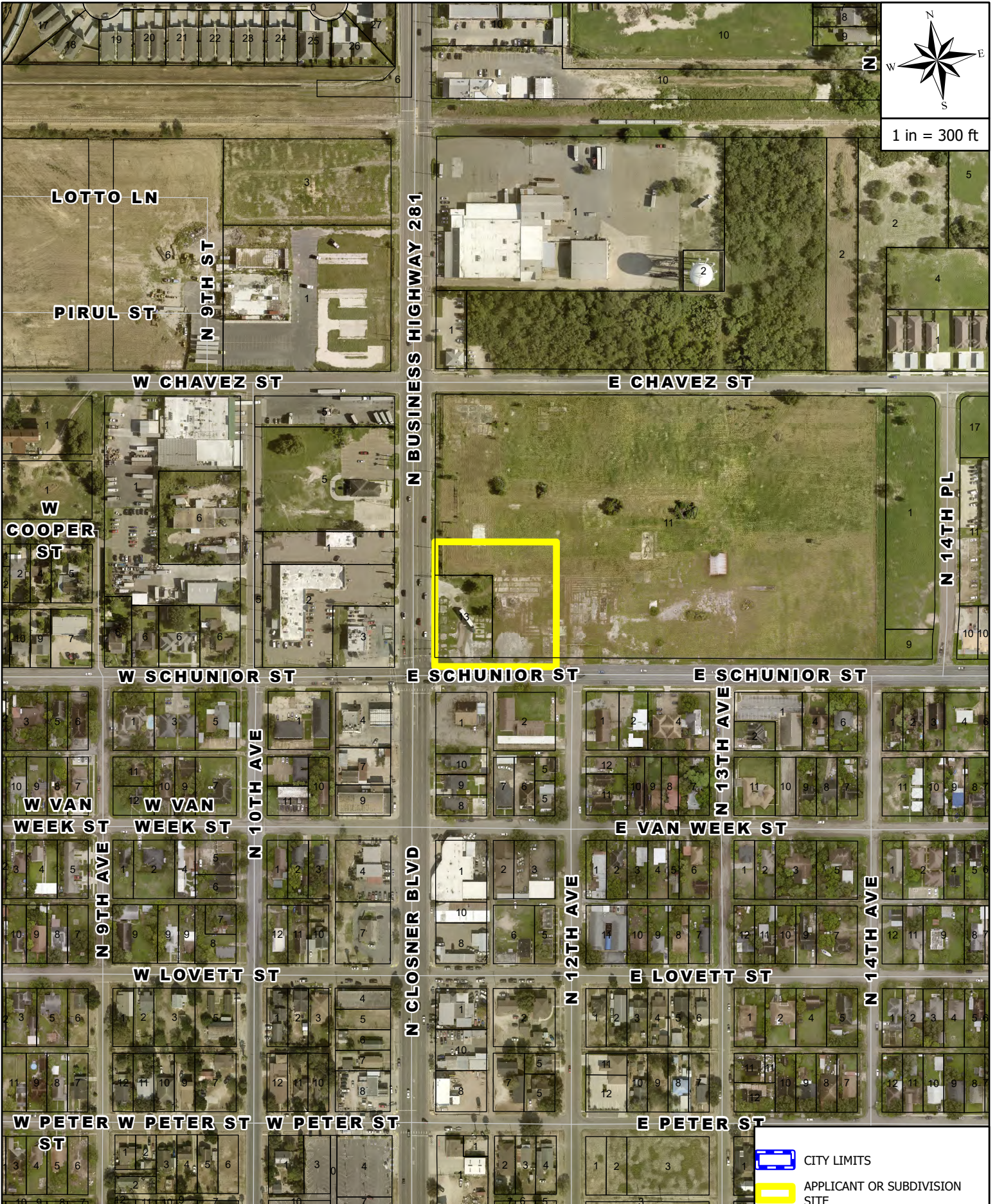
FOLLOW TXDOT STANDARDS FOR BACKFILL, COMPACTION, PERMITS, COVER REQUIREMENTS, ETC.

15.0' utility easement all around property, no construction over easement shall be allowed.



<p>Civil Engineers        1885 N. Loop West, Suite 210        Edinburg, TX 78541        281.301.5656        FRN F-11526</p>	PROJECT NO. 23525CV132	DATE: SEPT 2025	SCALE: 1:20	DRAWN BY: SRC	CHECKED BY: DAD
	<b>CONCEPTUAL UTILITY &amp; DRAINAGE PLAN</b>				
<b>7-ELEVEN EDINBURG, TX</b>					
SHEET EX					



★ APPLICANT  
▭ CITY LIMITS

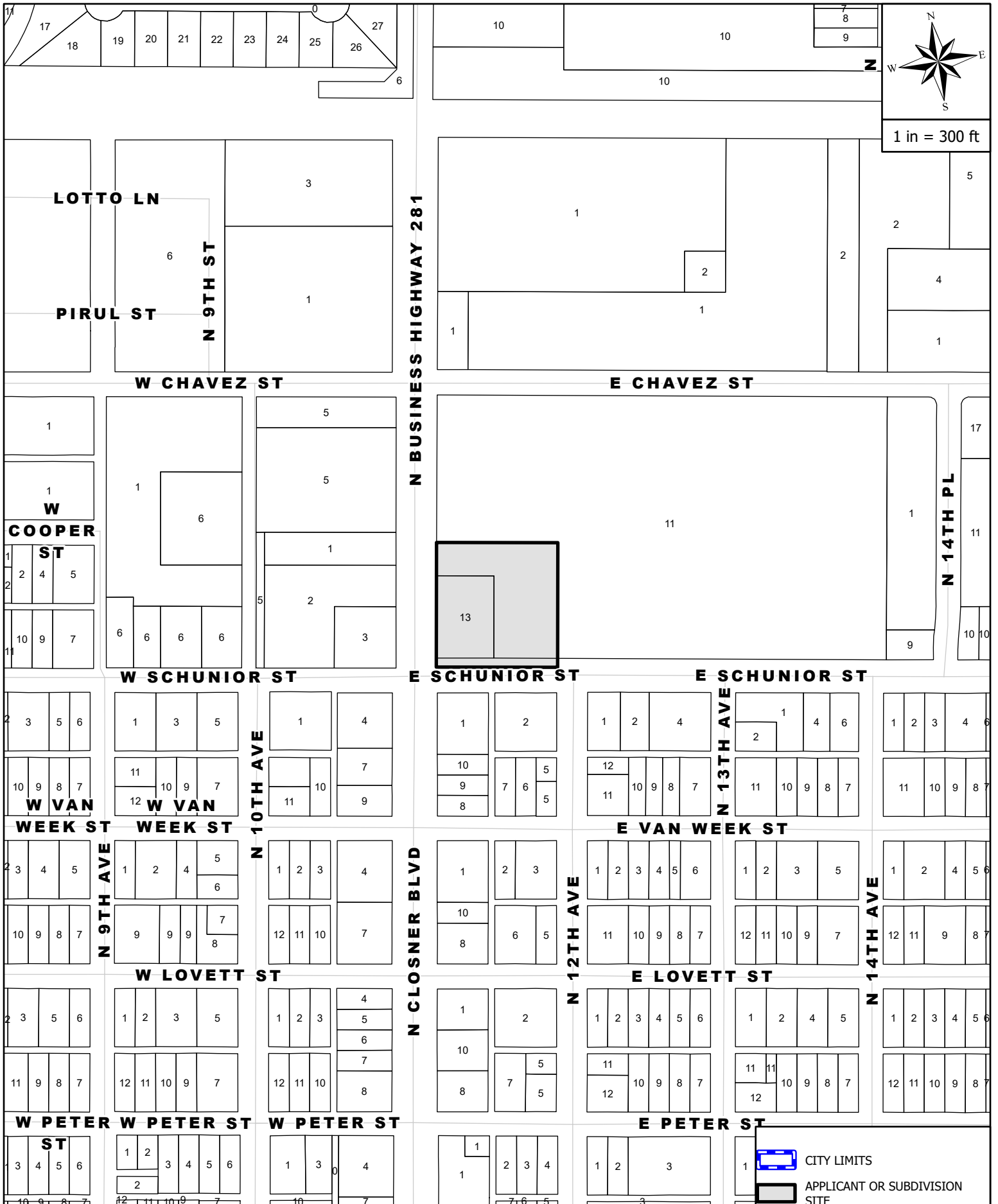


1 in = 300 ft



-  CITY LIMITS
-  APPLICANT OR SUBDIVISION SITE



**AERIAL MAP**  
**APPLICANT AND/OR SUBDIVISION:**  
 VAQUERO EDINBURG SUBDIVISION



**MAILOUT AND SITE MAP**  
**APPLICANT AND/OR SUBDIVISION:**  
 VAQUERO EDINBURG SUBDIVISION

 CITY LIMITS  
 APPLICANT OR SUBDIVISION SITE



# MINOR PLAT OF VAQUERO EDINBURG SUBDIVISION

BEING 2.052 ACRES OUT OF  
LOT 13, BLOCK C  
AMENDED MAP OF EDINBURG  
CITY OF EDINBURG, HIDALGO COUNTY, TEXAS

STATE OF TEXAS  
COUNTY OF TARRANT

I/WE THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE VAQUERO EDINBURG SUBDIVISION ADDITION TO THE CITY OF EDINBURG, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER, ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE OF CONSIDERATION THEREIN EXPRESSED.

VAQUERO EDINBURG SCHUNIOR PARTNERS, L.P.  
A TEXAS LIMITED PARTNERSHIP

BY: VAQUERO VENTURES MANAGEMENT, L.L.C.  
A TEXAS LIMITED LIABILITY COMPANY  
ITS GENERAL PARTNER

WILLIAM A. LANDRETH III, MANAGER  
2627 TILLAR STREET, SUITE 111  
FORT WORTH, TEXAS 76107

DATE: \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF TARRANT

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED WILLIAM A. LANDRETH III, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC  
TARRANT COUNTY, TEXAS

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT. ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

MARIO A. REYNA, P.E. # 117368  
STATE OF TEXAS  
DATE PREPARED: 08-08-2025  
DATE REVISED:  
ENGINEERING JOB NO. 25110.00

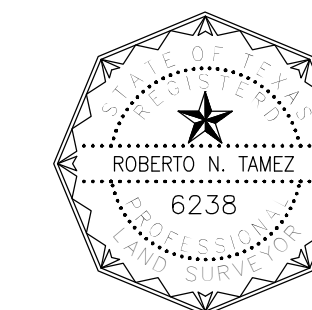


STATE OF TEXAS  
COUNTY OF HIDALGO

I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF EDINBURG, TEXAS.

DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

ROBERTO N. TAMEZ, REGISTERED PROFESSIONAL LAND SURVEYOR No. 6238  
STATE OF TEXAS  
DATE SURVEYED: 05-23-2024  
T-1222, PG 73  
SURVEY JOB # 24073.00.08



I, \_\_\_\_\_ JAIME ACEVEDO \_\_\_\_\_, ADMINISTRATOR / DIRECTOR OF PLANNING AND ZONING DEPARTMENT OF THE CITY OF EDINBURG, TEXAS DO HEREBY CERTIFY THIS MINOR SUBDIVISION PLAT KNOWN AS VAQUERO EDINBURG SUBDIVISION - EDINBURG CONFORMS TO ALL SUBDIVISION REQUIREMENTS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED AND HAS BEEN APPROVED FOR RECORDING ON THIS

THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

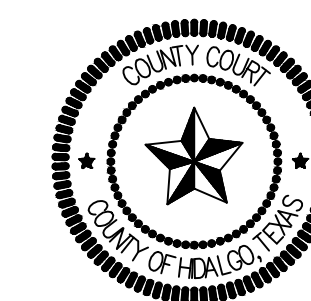
ADMINISTRATOR / PLANNING AND ZONING DEPARTMENT DIRECTOR

HIDALGO COUNTY IRRIGATION DISTRICT NO. 2

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 RIGHTS OF WAY OR EASEMENTS.

PRESIDENT \_\_\_\_\_ ATTEST: \_\_\_\_\_ SECRETARY

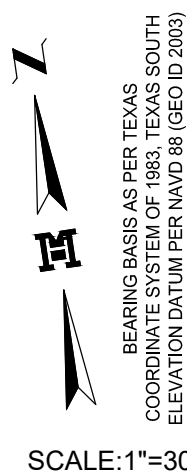


FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUAJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM

INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: \_\_\_\_\_ DEPUTY



### METES AND BOUNDS DESCRIPTION

A TRACT OF LAND CONTAINING 2.052 ACRES SITUATED IN THE CITY OF EDINBURG, HIDALGO COUNTY, TEXAS, BEING OUT OF LOT 13, BLOCK C, AMENDED MAP OF EDINBURG, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1, PAGE 3, HIDALGO COUNTY MAP RECORDS, SAID 2.052 ACRES CONSISTING OF 0.707 OF ONE ACRE CONVEYED TO PC3 PROPERTIES, LLC, A TEXAS LIMITED LIABILITY COMPANY BY VIRTUE OF A WARRANTY DEED WITH VENDOR'S LIEN RECORDED UNDER DOCUMENT NUMBER 3490854, HIDALGO COUNTY OFFICIAL RECORDS, AND 1.345 ACRE TRACT CONVEYED TO TIDE PETROLEUM PRODUCTS INC., RECORDED UNDER VOLUME 762, PAGE 193, HIDALGO COUNTY DEED RECORDS AND A PART OR PORTION CONVEYED TO TIDE PRODUCTS INC., BY VIRTUE OF A CORPORATION WARRANTY DEED RECORDED UNDER VOLUME 1486, PAGE 564, HIDALGO COUNTY DEED RECORDS, AND SAID 1.917 ACRES BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A NAIL SET AT THE SOUTHWEST CORNER OF SAID LOT 13, BLOCK C, AND WITHIN THE EXISTING RIGHT-OF-WAY OF SCHUNIOR STREET FROM WHICH A NAIL FOUND BEARS N 76° 42' 34" W A DISTANCE OF 0.76 FEET, FOR THE SOUTHWEST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT:

1. THENCE, N 08° 51' 59" E ALONG THE WEST LINE OF SAID LOT 13, BLOCK C AND THE EXISTING EAST RIGHT-OF-WAY LINE OF CLOSNER STREET, AT A DISTANCE OF 20.00 FEET PASS AN "X" CUT IN CONCRETE FOUND ON THE RIGHT-OF-WAY INTERSECTION OF CLOSNER STREET AND SCHUNIOR STREET, AT A DISTANCE OF 220.00 FEET PASS AN IRON PIPE FOUND AT THE NORTHEAST CORNER OF SAID CERTAIN TRACT CONVEYED TO PC3 PROPERTIES, LLC, CONTINUING A TOTAL DISTANCE OF 303.00 FEET TO A NO. 4 REBAR SET, FOR THE NORTHWEST CORNER OF THIS TRACT;
2. THENCE, S 81° 08' 01" E A DISTANCE OF 295.00 FEET TO A NO. 4 REBAR SET, FOR THE NORTHEAST CORNER OF THIS TRACT;
3. THENCE, S 08° 51' 59" W AT A DISTANCE OF 283.00 FEET PASS A NO. 4 REBAR SET ON THE EXISTING NORTH RIGHT-OF-WAY LINE OF SCHUNIOR STREET, CONTINUING A TOTAL DISTANCE OF 303.00 FEET TO A NAIL SET ON THE SOUTH LINE OF SAID LOT 13, BLOCK C AND WITHIN THE EXISTING RIGHT-OF-WAY OF SCHUNIOR STREET, FOR THE SOUTHEAST CORNER OF THIS TRACT;
4. THENCE, N 81° 08' 01" W ALONG THE SOUTH LINE OF SAID LOT 13, BLOCK C AND WITHIN THE EXISTING RIGHT-OF-WAY OF SCHUNIOR STREET, AT A DISTANCE OF 155.00 FEET PASS A NAIL FOUND AT THE SOUTHEAST CORNER OF SAID CERTAIN TRACT CONVEYED TO PC3 PROPERTIES, LLC, CONTINUING A TOTAL DISTANCE OF 295.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 2.052 ACRES, OF WHICH 0.135 OF ONE ACRE LIES WITHIN THE EXISTING RIGHT-OF-WAY OF SCHUNIOR STREET, LEAVING A NET OF 1.917 ACRES OF LAND, MORE OR LESS.

### GENERAL PLAT NOTES AND RESTRICTIONS:

1. FLOOD ZONE STATEMENT:  
FLOOD ZONE DESIGNATION: ZONE "X" (UNSHADED), ZONE "X" (UNSHADED) IS "AREAS OUTSIDE OF 500-YEAR FLOODPLAIN."  
AS PER FLOOD PLAIN COMMUNITY-PANEL No. 480338 0015 E; AND COMMUNITY-PANEL No. 480338 0020 E REVISED DATE: JUNE 6, 2000.
2. THIS PROPERTY IS ZONED AS COMMERCIAL GENERAL DISTRICT.
3. MINIMUM SETBACKS AS SHOWN ON PLAT:  
FRONT (CLOSNER): 25.00 FEET  
REAR: 10.00 FEET OR EASEMENT, WHICHEVER IS GREATER  
SIDE: 10.00 FEET OR EASEMENT, WHICHEVER IS GREATER  
STREET SIDE: 10.00 FEET OR EASEMENT, WHICHEVER IS GREATER
4. MINIMUM FINISHED FLOOR ELEVATION TO BE 24 INCHES ABOVE TOP OF CURB.
5. DRAINAGE NOTE: IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT No.1 AND HIDALGO COUNTY DRAINAGE REQUIREMENTS, THIS DEVELOPMENT IS REQUIRED TO DETAIN A TOTAL OF 9,980 C.F. 0.229 ACRES-FEET OF STORM WATER RUN OFF. DRAINAGE DETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS STATED IN THE DRAINAGE REPORT.
6. NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT OR LOT LINES. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18" MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT. PAVING, GRADING, OR PARKING WITHIN THE EASEMENTS SHOWN HEREIN ARE HEREBY PERMITTED AND SHALL NOT BE DEEMED TO BE AN INTERFERENCE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENTS SHOWN HEREIN.
7. THE ACCESS DRIVE SHALL ALWAYS BE OPEN TO EMERGENCY VEHICLES, PUBLIC AND PRIVATE UTILITY SERVICE PERSONNEL, THE U.S. POSTAL SERVICE AND GOVERNMENTAL EMPLOYEES IN PURSUIT OF THEIR OFFICIAL DUTIES.
8. ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER PREVENTION PLAN (SW3P) REQUIREMENTS. EROSION AND SEDIMENTATION CONTROLS CONSTRUCTED IN ACCORDANCE WITH THE STORM WATER ORDINANCE 98.30 OF THE CITY OF EDINBURG ARE REQUIRED FOR ALL CONSTRUCTION ON LOT.
9. SAID PROPERTY SHALL COMPLY WITH THE MOST CURRENT UNIFIED DEVELOPMENT CODE AS ADOPTED BY THE CITY OF EDINBURG AND CITY OF EDINBURG ADOPTED REQUIREMENTS AND SPECIFICATIONS. SUCH REQUIREMENTS MAY INCLUDE, BUT ARE NOT LIMITED TO, THE UNIFIED DEVELOPMENT CODE SETBACK BUFFER YARDS, FLOOR AREA RATIO, LANDSCAPING, SURFACE RATIO PARKING REQUIREMENTS FIRE PROTECTION OR ANY OTHER CITY REQUIREMENTS.
10. A 5-FOOT SIDEWALK WITH A.D.A. COMPLIANCE RAMPS IS REQUIRED ALONG THE EAST R.O.W. OF CLOSNER STREET AND NORTH R.O.W. OF SCHUNIOR STREET DURING BUILDING PERMIT STAGE.
11. ALL INTERIOR LOT CORNERS WILL HAVE A NO.4 REBAR SET WITH PLASTIC CAP STAMPED MELDEN & HUNT.
12. BENCHMARK: BENCHMARK IS A FOUND PK NAIL- NORTHING:16637558.667, EASTING:1095434.278 ELEVATION: 96.80'
13. THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
14. PURSUANT TO APPLICABLE FIRE SAFETY REGULATION, THE INSTALLATION OF THE ADDITIONAL FIRE HYDRANTS, FIRE DEPARTMENT ACCESS ROAD(S), FIRE RATED CONSTRUCTION, AND OTHER FIRE PROTECTION EQUIPMENT MAY BE MANDATED DURING THE SITE PLAN OR BUILDING PERMIT PROCESS.
15. ALL EASEMENTS ARE DEDICATED BY PLAT, UNLESS STATED OTHERWISE.

APPROVED BY DRAINAGE DISTRICT:

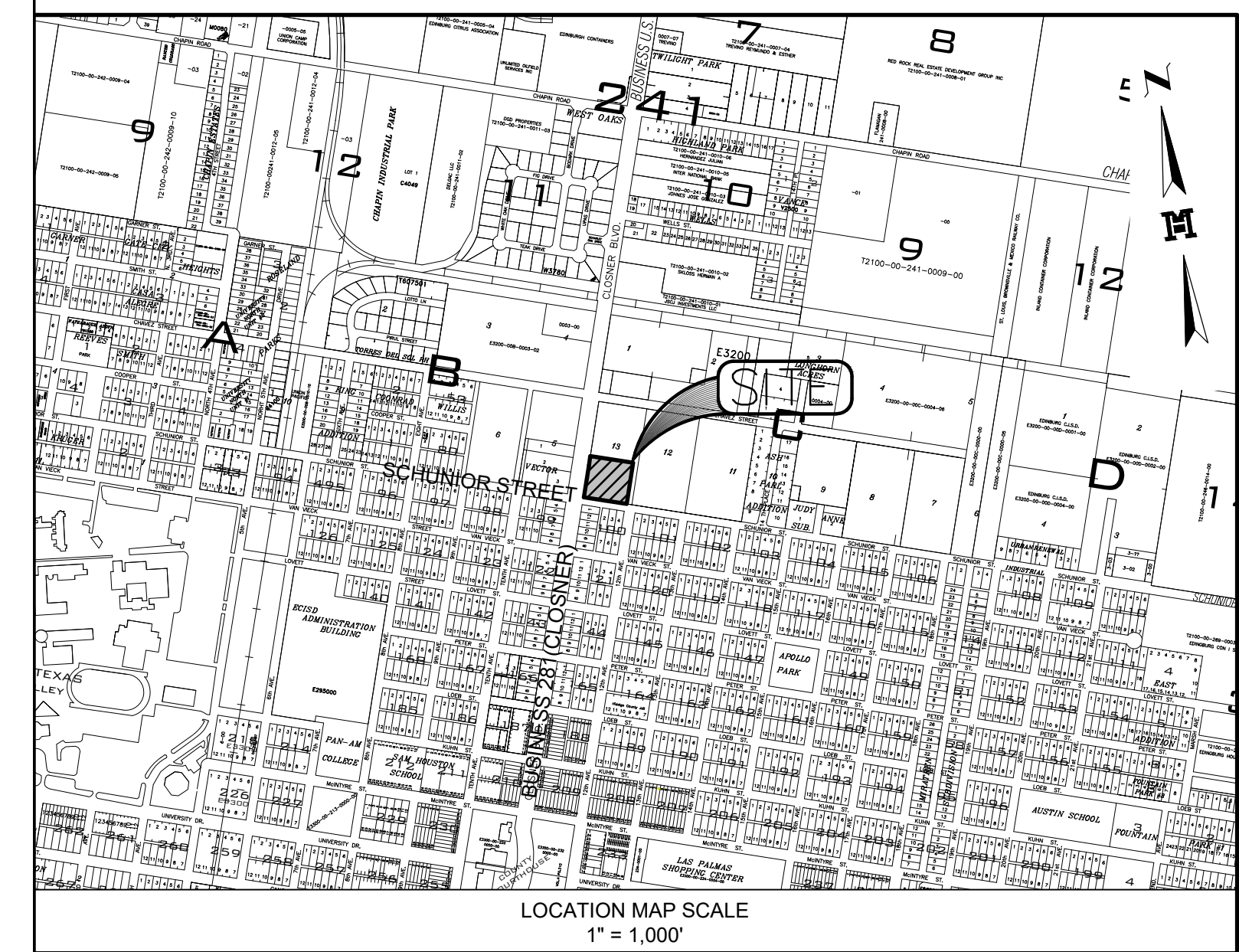
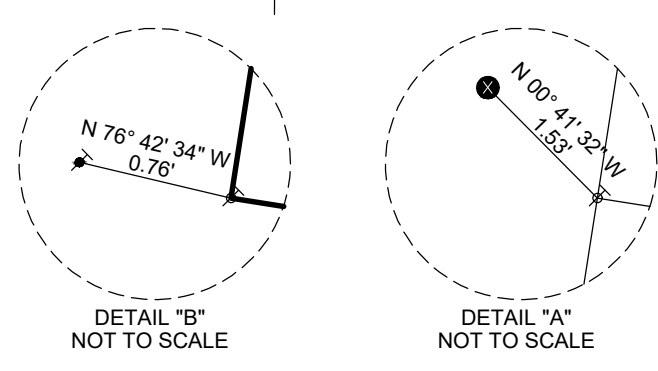
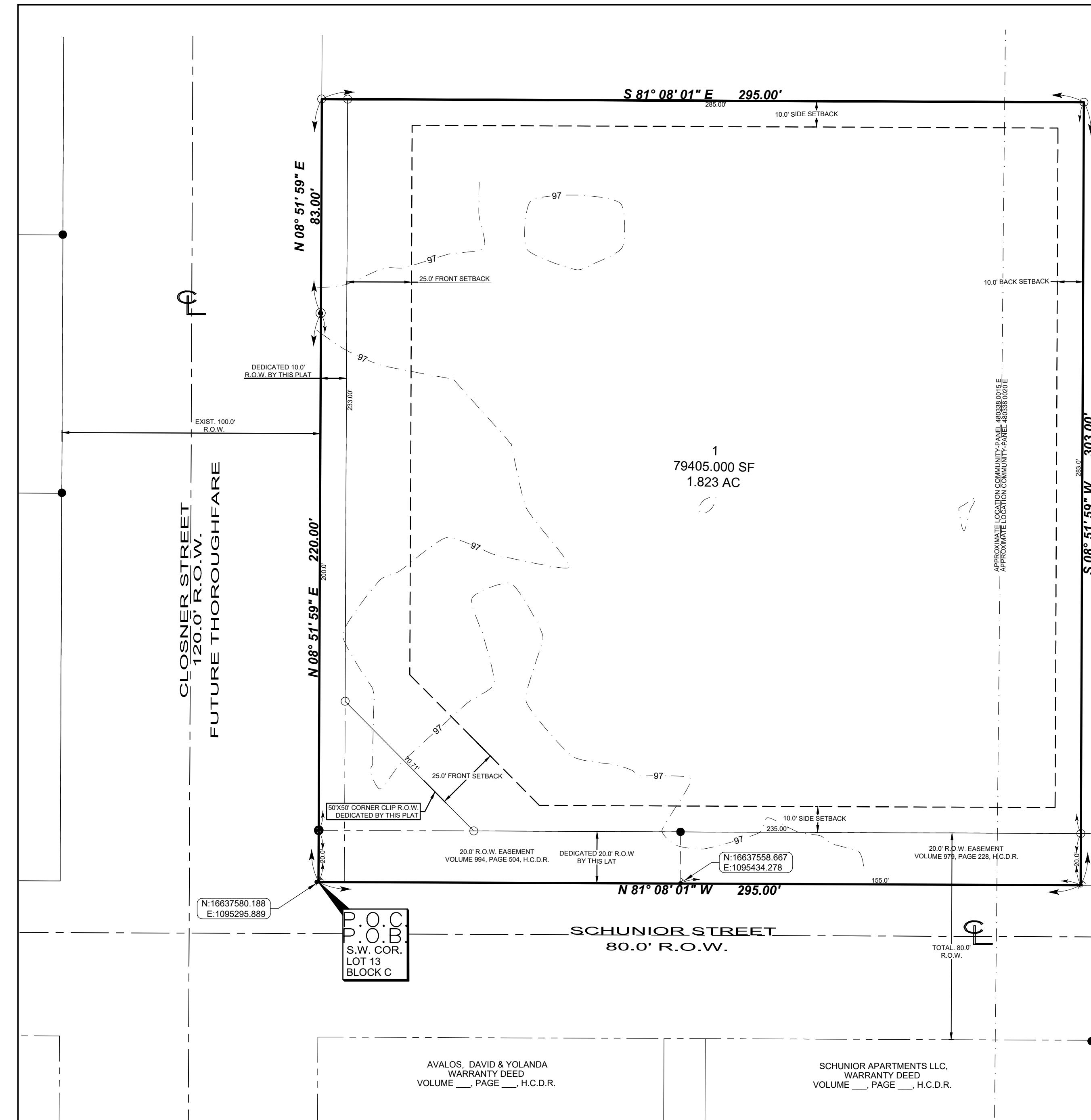
HIDALGO COUNTY DRAINAGE DISTRICT No.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT No. 1

RAUL E. SESIN, P.E., C.F.M. \_\_\_\_\_ DATE \_\_\_\_\_  
GENERAL MANAGER

PRINCIPAL CONTACTS	NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER:	WILLIAM A. LANDRETH III	2627 TILLAR ST, STE 111	FORTH WORTH, TX 76107	CO(956) 381-0981	CO(956) 381-1839
ENGINEER:	RUBEN JAMES DE JESUS, R.P.L.S., P.E.	115 W. MCINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839
SURVEYOR:	ROBERTO N. TAMEZ, R.P.L.S.	115 W. MCINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839

DRAWN BY: \_\_\_\_\_ A.D. \_\_\_\_\_ DATE 08-08-2025  
REVISED BY: \_\_\_\_\_ DATE \_\_\_\_\_  
SURVEYED, CHECKED \_\_\_\_\_ DATE \_\_\_\_\_  
FINAL CHECK \_\_\_\_\_ DATE \_\_\_\_\_



**M** MELDEN & HUNT, INC.  
CONSULTANTS • ENGINEERS • SURVEYORS  
115 W. MCINTYRE - EDINBURG, TX 78541  
PH: (956) 381-0981 - FAX: (956) 381-1839  
ESTABLISHED 1947 - www.meldenandhunt.com

PRINCIPAL CONTACTS NAME ADDRESS CITY & ZIP PHONE FAX  
OWNER: WILLIAM A. LANDRETH III 2627 TILLAR ST, STE 111 FORTH WORTH, TX 76107 CO(956) 381-0981 CO(956) 381-1839  
ENGINEER: RUBEN JAMES DE JESUS, R.P.L.S., P.E. 115 W. MCINTYRE EDINBURG, TX 78541 (956) 381-0981 (956) 381-1839  
SURVEYOR: ROBERTO N. TAMEZ, R.P.L.S. 115 W. MCINTYRE EDINBURG, TX 78541 (956) 381-0981 (956) 381-1839

**STAFF REPORT: SUNRISE TRAILS PHASE I SUBDIVISION**

Date Prepared: October 28, 2025  
Planning and Zoning Meeting: November 20, 2025  
Preliminary Plat Approval

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**Subject:** Consider the Preliminary Plat approval of Sunrise Trails Phase I Subdivision, being a 10.882 acres tract of land out of Lots 9 and 10, Block 36 Amended Map of Santa Cruz Gardens Unit No. 2, recorded in Volume 8, Page 28-29, Hidalgo County Map Records, located at 1403 E. Ramseyer Road, as requested by Melden & Hunt, Inc.

**Location:** The property is located on the north side of E. Ramseyer Road and approximately 394 feet west of Jasman Road, and within the City of Edinburg's Extra-Territorial Jurisdiction.

**Zoning:** The property is within the City of Edinburg's Extra-Territorial Jurisdiction (ETJ).

**Setbacks:** To be determined by Hidalgo County Planning

**Analysis:** The Preliminary Plat development consists of 50 Single Family Residential lots averaging approximately 6,184 square feet and 1 existing single family residential lot that is 30,050 square feet.

**Utilities:** Water Distribution System will be provided by the City of Edinburg along with City of Edinburg Sanitary Sewer Collection System requirements. All utility improvements within the proposed subdivision that are not limited to water system, sewer system, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2021 Standards Manual.

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Recommendations:

**City of Edinburg Planning & Zoning Department:**

Staff recommends approval of the Preliminary Plat, subject to compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.



# SUBMITTAL SUMMARY REPORT (PLAT-2025-0344) FOR THE CITY OF EDINBURG

<b>PERMIT ADDRESS:</b> 1403 E RAMSEYER RD EDINBURG, TX 78542	<b>PARCEL:</b> S1700-02-036-0009-00	
<b>APPLICATION DATE:</b> 10/13/2025	<b>SQUARE FEET:</b> 0	<b>DESCRIPTION:</b> 10. 882 Acres o/o Lots 9 & 10, Blk 36, Amended Map of Santa Cruz Gardens Unit No. 2
<b>EXPIRATION DATE:</b> 04/11/2026	<b>VALUATION:</b> \$0.00	

CONTACTS	NAME	COMPANY	ADDRESS
Applicant	Wendy Rodriguez	Melden & Hunt, Inc.	115 W McIntyre Edinburg, TX 78541

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
Planning & Zoning Review (PZ, Eng, Fire, Util, SW) v.1	10/15/2025	10/22/2025		Requires Re-submit
Planning & Zoning Review (PZ, Eng, Fire, Util, SW) v.1				Not Received

## SUBMITTAL DETAILS

### Planning & Zoning Review (PZ, Eng, Fire, Util, SW) v.1

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Engineering (Engineering)	Rodolfo Cantu Regalado	10/22/2025	10/24/2025	Complete
<i>Comments</i>				
1.PUNCH OUT E&W2 2.1. PROVIDE MASTER PLAN 3. PROVIDE TRIP GEN ACCORDINGLY 4.SHOW POC 5.MISSING SERVICES 6.PROVIDE STREET ROW 7. MUST PROVIDE GRADING PLAN AND DRAINAGE PLAN 8. MUST PROVIDE DRAINAGE AREA MAP 9. VERIFY WATER VALVE SPACING IS IN COMPLIANCE WITH CITY MANUAL 10. VERIFY FIRE HYDRANT SPACING IS IN COMPLIANCE WITH CITY MANUAL 11.VERIFY SS LINE SLOPE IS IN COMPLIANCE WITH TCEQ STANDARDS.				
SEE PLAT				

Fire (Fire)	Anthony Riojas	10/22/2025	10/20/2025	Complete
<i>Comments</i>				
PENDING INFFORMATION: 1. SITE PLAN: Need to provide a property site plan for intended property use; current plan submittals do not have adequate details for review.				
GENERAL COMMENTS:  2. STREET DETAILS: Shall meet IFC 2018, UDC 2022, and COESM 2021 (i.e. street name, width, block length, cul-de-sac r=96ft minimum) 3. PROPERTY DIMENSIONS: Shall meet IFC 2018 and UDC 2022 (i.e. building separation, property line setbacks, lot width and length details) 4. BUILDING SEPARATION: Shall meet IFC/IBC 2018, UDC 2022, and COESM 2021 (i.e. building separation, lot standards, access roads, fire rating) 5. WATER DISTRIBUTION: Need to provide minimum 8-inch looped waterlines for distribution systems serving fire hydrants. Shall meet UDC 2022 and COESM 2021 standards. 6. FIRE PROTECTION FEATURE SITE PLAN: Shall meet IFC 2018 and UDC 2022 (i.e. FDC, hydrant, fire department access road, and dedicated fire protection water line locations/details) 7. FIRE DEPARTMENT ACCESS ROADS: Need to provide fire department access road(s); shall be established and installed prior to building construction stage. Shall meet IFC 2018, UDC 2022, and COESM 2021 (i.e. approved surface materials, dimensions, construction, location, accessibility, and quantity requirements) 8. FIRE HYDRANTS: Need to provide fire hydrant(s) at 300'/600' intervals and shall meet IFC 2018/UDC 2021/EOCSM 2021 (i.e. Minimum 1000gpm @30psi, looped 8-inch waterline, spacing at 300'/600' based on designated zoning district, 30-inch setbacks) 9. FIRE HYDRANT MARKING: Need to provide fire hydrant markings: 15ft red fire lane (white lettering "NO PARKING FIRE LANE") and blue reflective street markers (installed on roadway centerline). 10. BUILDING PERMIT PHASE: Property will be subject to additional fire code requirements at Building Permit phase and will be based on occupancy classification(s). 11. PLAT NOTE REQUIREMENT: Pursuant to applicable fire safety regulations, the installation of additional fire hydrants, fire department access road(s), fire rated construction, and other fire protection equipment may be mandated during the Site Plan or Building Permit process.				

# SUBMITTAL SUMMARY REPORT (PLAT-2025-0344)

Planning & Zoning (Planning & Zoning) <i>Comments</i>	Clarence Cruz Jr. Planning and Zoning comments:	10/22/2025	10/23/2025	Requires Re-submit
	<p>1. will owners be seeking annexing into the City of Edinburg, city limits?</p> <p>2. Plat note for Parkland Dedication: as per UDC Sec. 5.212, Open Space and Park Dedication, Table 5.212-1, Fee-In-Lieu - within ETJ, Residential, \$300 per dwelling unit. 51 x 300 = \$15,300, must be paid in full.</p> <p>3. as per UDC Figure 5.301-1 Form of Owner's Acknowledgment</p> <p>State of Texas County of Hidalgo</p> <p>I (we) the undersigned, owner(s) of the land shown on this plat, and designated herein as the _____ Addition of the City of Edinburg, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose of consideration therein expressed.</p> <p>_____ Owner</p> <p>4. verify and identify easement boundaries - How will this effect lots 1 and 24?</p> <p>5. Identify? utility easement, drainage easement?</p> <p>6. *Article 4 - Development Standards Division 4.200, Landscaping and Buffering Sec. 4.206, Maintenance</p> <p>5. Right-of-way Maintenance - It is the duty of the adjacent landowner to keep streets and alleys, whether private or public free of debris, weeds higher than 24 inches, filth, carrion and impure or unwholesome matter.</p> <p>7. as per UDC Sec. 5.205, submit street light layout</p> <p>8. on-site detention, or surface drainage configurations?</p> <p>9. add plat note that lots 24, 25, 38 are not allowed access to/from E Ramseyer Rd</p> <p>10. Lot 1 - if existing building will be staying, ensure they meet current UDC setbacks *will entrance to lot change to N Mercedes Ave?* - as per HCAD has different owner</p> <p>11. location block minor punctuation/spelling fix</p> <p>12. add "Phase I" to subdivision title</p> <p>13. there is a County Road 3040 on the east side of the property running north and south, please confirm with county what that is?</p>			
Public Works (Public Works) <i>Comments</i>	David De La Fuente SW3P, NOI, Large Construction Site Notice, Erosion Control Plan, Plat Note	10/22/2025	10/23/2025	Complete
Solid Waste (Solid Waste) <i>Comments</i>	Laura Olivarez Plat message and guidelines sent	10/22/2025	10/15/2025	Complete
Utilities (Utilities) <i>Comments</i>	Priscilla Bernal	10/22/2025	10/15/2025	Approved

# SUBMITTAL SUMMARY REPORT (PLAT-2025-0344)

The preliminary utility fees are as follows:

1. Water Tap Fees - \$30,875.00
2. Sewer Fees - \$3,087.50
3. Water Rights - \$32,646.00
4. Transfer Fees - N/A

Please note that these fees are preliminary and are subject to change based on the final plat. Final fees must be requested from the City and must be paid prior to recording of the plat.

Will submit comments to Engineering and Planning & Zoning.

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Utilities (Utilities)	Gerardo Carmona	10/22/2025	10/22/2025	Requires Re-submit
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# SUBDIVISION MAP OF SUNRISE TRAILS PH. I SUBDIVISION

PLAT SHOWING 10.882 ACRES BEING PART OR A PORTION OF LOTS 9 AND 10, BLOCK 36, AMENDED MAP OF SANTA CRUZ GARDENS UNIT NO. 2 VOLUME 8, PAGES 28-29 HIDALGO COUNTY MAP RECORDS. HIDALGO COUNTY, TEXAS

will owners be seeking annexing into the City of Edinburg, city limits?

### METES AND BOUNDS DESCRIPTION:

A tract of land containing 10.882 acres situated in the County of Hidalgo, Texas, being part or a portion of Lots 9 and 10, Block 36, Amended Map of Santa Cruz Gardens Unit No. 2, according to the plat thereof recorded in Volume 8, Pages 28-29, Hidalgo County Map Records, said 10.882 acres are out of a certain tract conveyed to J & D Produce, Inc., by virtue of a Warranty Deed recorded under Document Number 1515908, Hidalgo County Official Records, said 10.882 acres also being more particularly described as follows:

- THENCE, N 08° 39' 06" E along the West line of said Lot 10, Block 36, at a distance of 300.00 feet, pass a No. 4 rebar found at the existing North right-of-way line of Ramseyer Road, continuing a total distance of 790.00 feet, for the Northwest corner of this tract;
- THENCE, S 81° 20' 54" E a distance of 300.00 feet pass the East line of said Lot 10 and the West line of said Lot 9, Block 36, continuing a total distance of 600.00 feet to a No. 4 rebar set at the Northeast corner of this tract;
- THENCE, S 08° 39' 06" W at a distance of 780.00 feet pass a No. 4 rebar found at the existing North right-of-way line of Ramseyer Road, continuing a total distance of 790.00 feet to a Nail set at the Southeast corner of said Lot 9, Block 36, for the Southeast corner of this tract;
- THENCE, N 81° 20' 54" W along the South line of said Lot 9, Block 36 and within the existing right-of-way of Ramseyer Road, a distance of 300.00 feet pass the West line of said Lot 9, Block 36 and the East line of said Lot 10, Block 36, continuing on the South line of said Lot 10 a total distance of 600.00 feet to the POINT OF BEGINNING and containing 10.882 acres gross, of which 0.412 of one acre lies within the existing right-of-way of Ramseyer Road, leaving an existing net of 10.470 acres of land, more or less.

### GENERAL PLAT NOTES & RESTRICTIONS

- BUILDING SETBACKS:
  - FRONT YARD SETBACK LINE SHALL BE TEN (20) FEET OR EASEMENT WHICHEVER IS GREATER.
  - REAR YARD SETBACK LINE SHALL BE FIFTEEN (10) FEET OR EASEMENT WHICHEVER IS GREATER.
  - SIDE YARD SETBACK LINE SHALL BE FIVE (5) FEET OR EASEMENT WHICHEVER IS GREATER.
  - SIDE STREET YARD SETBACK LINE SHALL BE TEN (10) FEET OR EASEMENT WHICHEVER IS GREATER.
- FLOOD ZONE STATEMENT: FLOOD ZONE DESIGNATION: ZONE "X" (SHADED), ZONE "X" (SHADED) IS "AREAS OF 500-YEAR FLOOD, AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD". AS PER FLOOD COMMUNITY: PANEL NO. 4803380020 E, REVISED DATE: JUNE 6, 2000 REVISED TO REFLECT LOMR: MAY 14, 2001
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18 INCHES ABOVE THE TOP OF CURB OR BASE FLOOD ELEVATION WHICH EVER IS GREATER.
- A 6" FOOT SIDEWALK WITH ADA RAMPS IS REQUIRED ALONG THE NORTH SIDE OF E. RAMSEYER RD. BY DEVELOPER DURING SUBDIVISION CONSTRUCTION. LOT OWNER WILL BE RESPONSIBLE FOR 5 FOOT SIDEWALK AND ADA RAMPS AS PER 619-CF-EDINBURG STANDARDS AT BUILDING PERMIT STAGE. **not as per city**
- A SEPARATE PERMIT IS REQUIRED FOR SIDEWALKS DURING BUILDING PERMIT STAGE FOR RESIDENTIAL AREAS.
- NO PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN UTILITY EASEMENTS, GAS EASEMENTS, IRRIGATION EASEMENTS OR LOT LINES.
- ALL INTERIOR LOT CORNERS WILL HAVE A NO.4 REBAR SET WITH PLASTIC CAP STAMPED MELDEN & HUNT, INC.
- BENCHMARK NOTES: BENCH MARK #1: MHI MONUMENT SET IN CONCRETE AT THE SOUTHWEST CORNER OF LOT 1, NAVD 88 (GEOID 2012B) ELEV. 84.60. N: 16658003.318, E: 1103069.852 BENCH MARK #2: MHI MONUMENT SET IN CONCRETE AT THE NORTHWEST CORNER OF LOT 25, NAVD 88 (GEOID 2012B) ELEV. 84.80. N: 16659553.154, E: 1103452.256
- NO MORE THAN ONE SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED PER LOT.
- ALL CONSTRUCTION SHALL COMPLY WITH STORMWATER POLLUTION PREVENTION PLAN (SWPP) REQUIREMENTS. EROSION AND SEDIMENTATION CONTROLS CONSTRUCTED IN ACCORDANCE WITH THE STORMWATER ORDINANCE 98.30 OF THE CITY OF EDINBURG ARE REQUIRED FOR ALL CONSTRUCTION ON EACH LOT INCLUDING SINGLE FAMILY AND DUPLEX/MULTI-FAMILY CONSTRUCTION.
- ALL LOTS SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE TO FRONT OF THE LOT AT MIN. SLOPE OF 1%
- PURSUANT TO APPLICABLE FIRE SAFETY REGULATIONS, THE INSTALLATION OF ADDITIONAL FIRE HYDRANTS, FIRE DEPARTMENT ACCESS ROADS(S), FIRE RATED CONSTRUCTION, AND OTHER FIRE PROTECTION EQUIPMENT MAY BE MANDATED DURING THE SITE PLAN OR BUILDING PERMIT PROCESS.

Parkland fees must be paid in full 51 x 300 = \$15,300

add plat note that lots 24, 25, 38 are not allowed access to/from E Ramseyer Rd

Lot #	SQ. FT.	Acres	Lot #	SQ. FT.	Acres	Lot #	SQ. FT.	Acres
1	34,050.00	0.782	21	5,437.51	0.125	41	6,125.00	0.141
2	7,444.07	0.171	22	5,437.51	0.125	42	6,125.00	0.141
3	7,107.20	0.163	23	5,437.50	0.125	43	6,125.00	0.141
4	6,546.70	0.150	24	7,162.50	0.164	44	6,125.00	0.141
5	6,198.95	0.142	25	7,162.50	0.164	45	6,247.50	0.143
6	6,125.00	0.141	26	5,437.50	0.125	46	6,247.50	0.143
7	6,125.00	0.141	27	5,437.50	0.125	47	6,247.50	0.143
8	6,125.00	0.141	28	5,437.50	0.125	48	6,247.50	0.143
9	6,125.00	0.141	29	5,575.00	0.128	49	6,247.50	0.143
10	6,125.00	0.141	30	6,125.00	0.141	50	6,737.50	0.155
11	6,125.00	0.141	31	6,125.00	0.141	51	6,125.00	0.141
12	6,610.00	0.152	32	6,247.50	0.143			
13	6,247.50	0.143	33	6,247.50	0.143			
14	6,247.50	0.143	34	6,247.50	0.143			
15	6,247.50	0.143	35	6,247.50	0.143			
16	6,246.26	0.143	36	6,247.50	0.143			
17	6,106.98	0.140	37	6,610.00	0.152			
18	5,518.38	0.127	38	8,125.00	0.187			
19	5,006.67	0.115	39	6,125.00	0.141			
20	5,524.91	0.122	40	6,125.00	0.141			

Lot 1 - if existing building will be staying, they must meet current UDC setbacks

"will entrance to lot change to N Mercedes Ave?" -

as per HCAD has different owner

Lot average 2 - 51 = 6,184.00 ft

STATE OF TEXAS  
COUNTY OF HIDALGO

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (G). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS/HER ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M. DATE  
GENERAL MANAGER

I, THE UNDERSIGNED, CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, TEXAS DO HEREBY CERTIFY THIS SUBDIVISION PLAT KNOWN AS SUNRISE TRAILS PH. I SUBDIVISION CONFORMS TO ALL SUBDIVISION REQUIREMENTS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED AND HAS BEEN

APPROVED FOR RECORDING ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

CHAIRPERSON PLANNING AND ZONING COMMISSION

I, THE UNDERSIGNED, MAYOR OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF EDINBURG DATE

CITY SECRETARY DATE

APPROVED BY IRRIGATION DISTRICT

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY CONSOLIDATED WATER CONTROL DISTRICT ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY CONSOLIDATED WATER CONTROL AND IMPROVEMENTS DISTRICT RIGHT OF WAYS OR EASEMENT. APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A CONVEYANCE, WAIVER OR ABANDONMENT OF ANY PROPERTY INTEREST HELD BY THE DISTRICT IN THE PROPERTY SHOWN ON THE PLAT, OR THE ACCEPTANCE OR APPROVAL OF THE ACCURACY OF ANY STATEMENT, DIMENSION OR DESCRIPTION SHOWN ON THE PLAT.

PRESIDENT ATTEST: SECRETARY

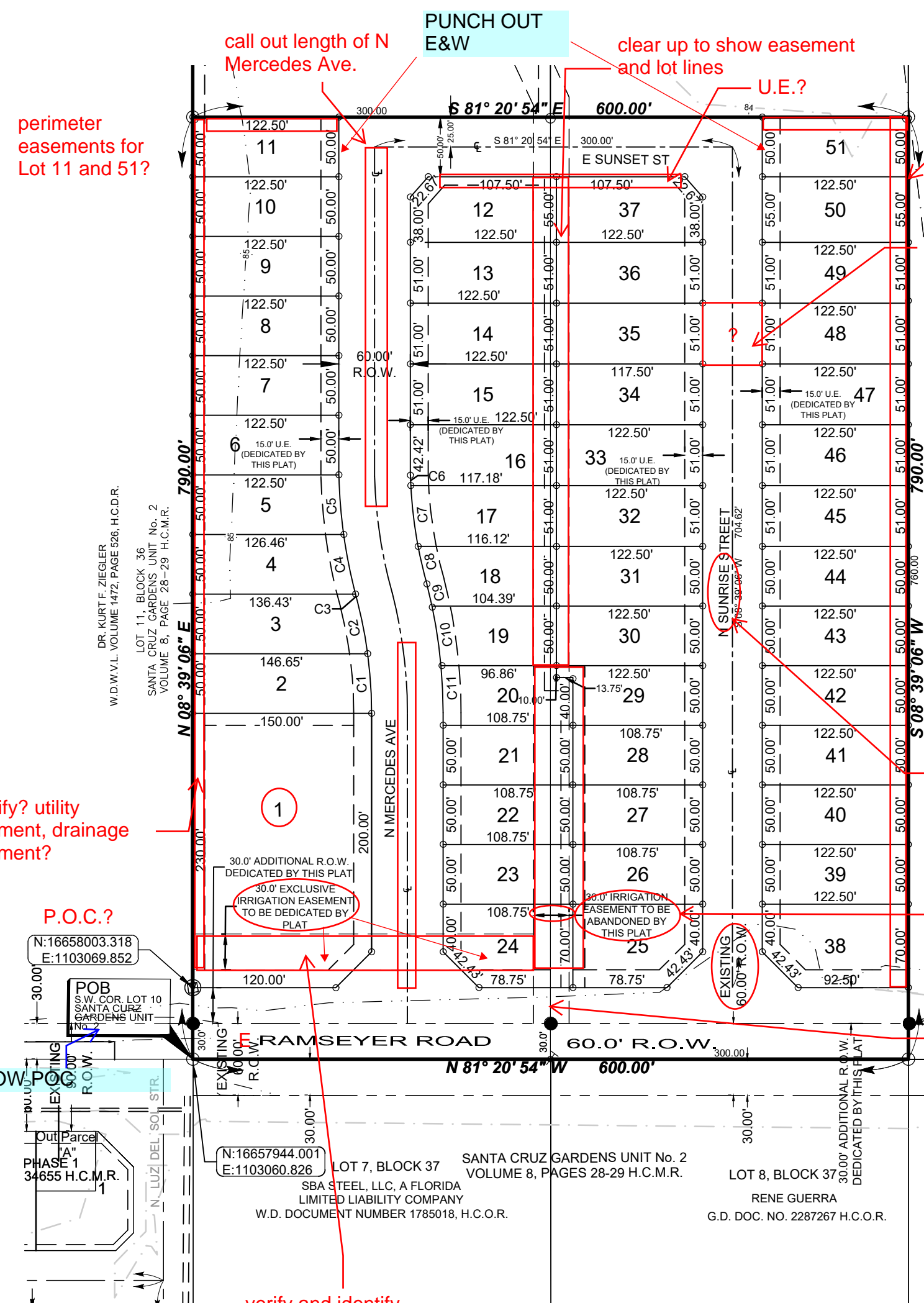
as per UDC Figure 5.301-1  
Form of Owner's Acknowledgment

State of Texas  
County of Hidalgo  
use this verbose for owners dedication block

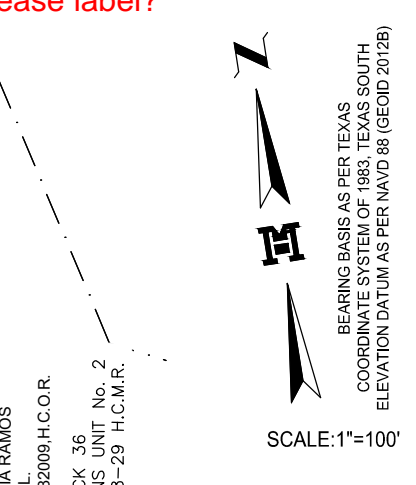
I (we) the undersigned, owner(s) of the land shown on this plat, and designated herein as the \_\_\_\_\_ Addition of the City of Edinburg, and whose name is subscribed hereon, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose of consideration therein expressed.

Owner

Curve #	Length	Radius	Delta	Chord Direction	Chord Length	Tangent
C1	50.15'	377.92'	007° 36' 11"	N4° 49' 13"E	50.11'	25.11
C2	43.84'	377.92'	006° 38' 49"	N2° 18' 17"W	43.82'	21.95
C3	7.23'	431.30'	000° 57' 38"	S6° 29' 52"E	7.23'	3.62
C4	51.01'	431.30'	006° 46' 37"	S2° 37' 44"E	50.98'	25.54
C5	49.02'	431.30'	006° 30' 44"	S4° 00' 57"W	49.00'	24.54
C6	8.59'	371.16'	001° 19' 34"	S6° 30' 15"W	8.59'	4.30
C7	51.40'	371.16'	007° 56' 04"	S1° 52' 26"W	51.36'	25.74
C8	32.32'	371.16'	004° 59' 22"	S4° 35' 17"E	32.31'	16.17
C9	19.05'	438.91'	002° 29' 11"	N4° 28' 02"W	19.04'	9.52
C10	50.59'	438.91'	006° 36' 16"	N0° 04' 42"E	50.57'	25.32
C11	39.52'	438.91'	005° 09' 33"	N5° 57' 36"E	39.51'	19.77



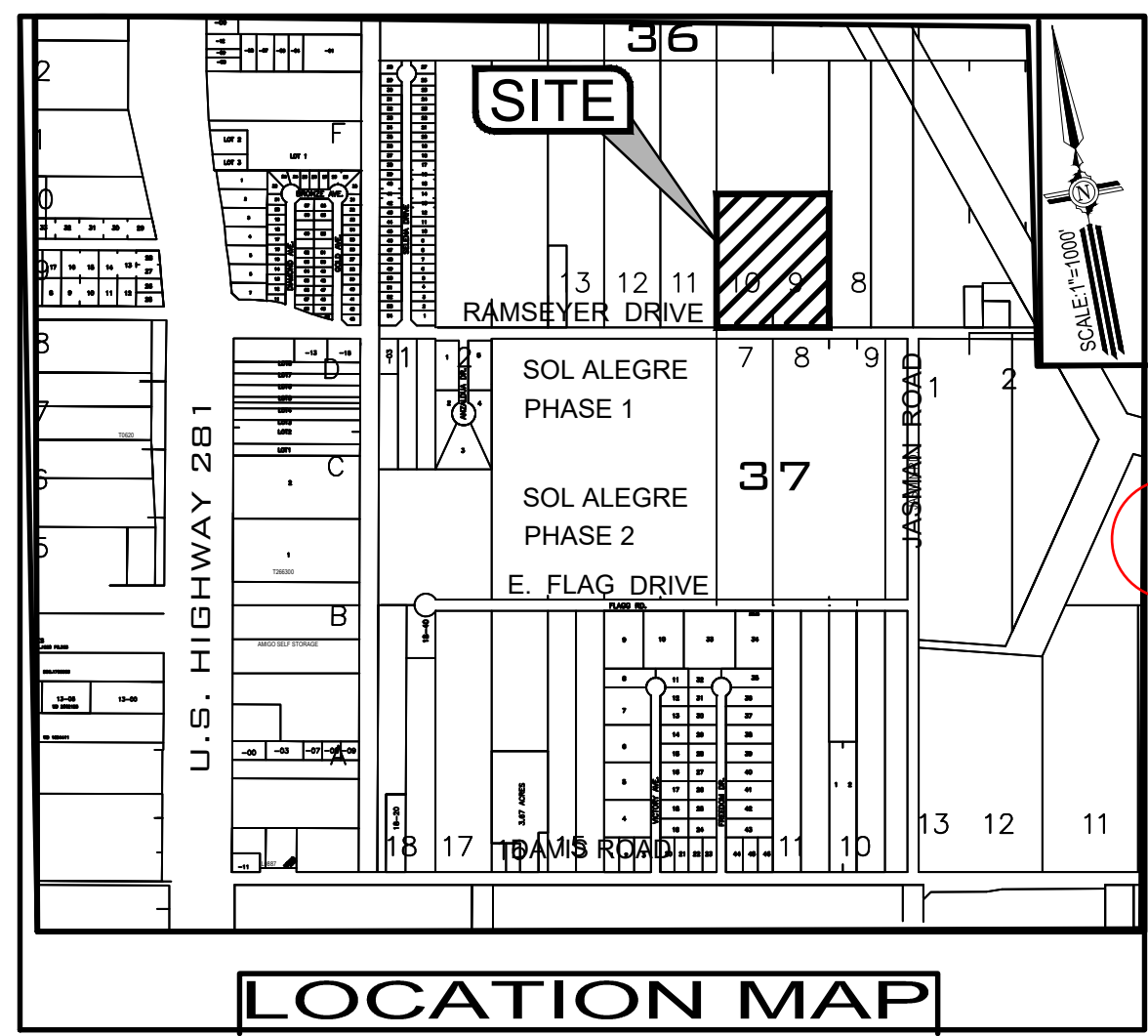
COMMENTS:  
1. PROVIDE MASTER PLAN  
2. PROVIDE TRIP GEN ACCORDINGLY



- ### LEGEND
- FOUND NO. 4 REBAR
  - SET NO. 1/2 IRON RODS WITH PLASTIC CAP STAMPED MELDEN & HUNT
  - AC - OF ONE ACRE
  - D.E.C.R. - DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS
  - DOC. - DOCUMENT
  - E.A.R.O.W. - EASEMENT AND RIGHT-OF-WAY
  - ESMT. - EASEMENT
  - H.C.D.R. - HIDALGO COUNTY DEED RECORDS
  - H.C.M.R. - HIDALGO COUNTY MAP RECORDS
  - H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
  - No. - NUMBER
  - N.W. COR. - NORTHWEST CORNER
  - PG. - PAGE
  - P.O.B. - POINT OF BEGINNING
  - P.O.C. - POINT OF COMMENCING
  - R.O.W. - RIGHT-OF-WAY
  - R.O.W.D. - RIGHT-OF-WAY DEED
  - SQ. FT. - SQUARE FEET
  - U.E. - UTILITY EASEMENT
  - VOL. - VOLUME
  - W.D. - WARRANTY DEED

\*Article 4 - Sec. 4.206, Maintenance  
5. Right-of-way Maintenance - It is the duty of the adjacent landowner to keep streets and alleys, whether private or public free of debris  
-as per UDC Sec. 5.205, submit street light layout and sidewalk layout  
on-site detention, or surface drainage configurations?  
E Ramseyer is considered a county road, has this been reviewed by county for any additional ROW?  
check if reimbursement are needed and agreement in place for Sol Alegre Ph I subdivision on south side of Ramseyer Rd -

DRAWN BY: LH DATE: 10/13/25  
SURVEYED, CHECKED DATE:  
FINAL CHECK DATE:



INDEX TO SHEET OF SUNRISE TRAILS PHASE 1 SUBDIVISION  
SHEET 1: HEADING, INDEX, LOCATION MAP AND ETJ; PRINCIPAL CONTACTS; MAP; LOT, STREETS, AND EASEMENT LAYOUT; DESCRIPTION (METES AND BOUNDS); ENGINEERING CERTIFICATION; SURVEYORS' CERTIFICATION; PLAT NOTES AND RESTRICTIONS; OWNERS' DEDICATION, CERTIFICATION, ATTESTATION; CITY; APPROVAL CERTIFICATE; MAYOR CERTIFICATION; PLANNING & ZONING CERTIFICATION; COUNTY JUDGE CERTIFICATION; COUNTY CLERK'S RECORDING CERTIFICATE; REVISION NOTES, IRRIGATION DISTRICT, H.C.D.D. No. 1.  
SHEET 3: ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER ENGINEERS CERTIFICATION (ENGLISH AND SPANISH VERSION); CONSTRUCTION DETAILS.  
SHEET 4: ENGINEERING REPORT, INCLUDING DESCRIPTION OF SANITARY SEWER AND ENGINEERS CERTIFICATION (ENGLISH AND SPANISH VERSION); CONSTRUCTION DETAILS.  
SHEET 5: MAP OF TOPOGRAPHY AND DRAINAGE; DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE AND DRAINAGE DITCH, ENGINEERING CERTIFICATION; CONSTRUCTION DETAILS.  
SHEET 6: MAP OF LOT GRADING AND STREETS; CONSTRUCTION DETAILS.  
LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY:  
SUNRISE TRAILS PHASE 1 SUBDIVISION IS LOCATED IN THE CENTRAL PART OF HIDALGO COUNTY ON THE NORTH SIDE OF RAMSEYER ROAD, APPROXIMATELY 0.50 MILES WEST OF ITS INTERSECTION WITH RAMSEYER ROAD AND N. INTERSTATE HIGHWAY 69C THE ONLY NEARBY MUNICIPALITY IS THE CITY OF EDINBURG. ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF EDINBURG (POPULATION 101,170) SUNRISE TRAILS PHASE 1 SUBDIVISION LIES ADJACENT TO THE CITY LIMITS (AND IS WITHIN THE 2 MILE EXTRATERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE 42.021. THIS SUBDIVISION FALLS WITHIN PRECINCT 4.

MELDEN & HUNT, INC.  
CONSULTANTS • ENGINEERS • SURVEYORS  
115 W. McINTYRE - EDINBURG, TX 78541  
PH: (956) 381-0981 - FAX: (956) 381-1839  
ESTABLISHED 1947 - www.meldenandhunt.com

PRINCIPAL CONTACTS NAME ADDRESS CITY & ZIP PHONE FAX  
OWNER: JAMES V. BASSETTI PO BOX 1548 EDINBURG, TX 78540 (956) 380-6353 (-)-(-)  
ENGINEER: MARIO A. REYNA, P.E. 115 W. McINTYRE EDINBURG, TX 78541 (956) 381-0981 (956) 381-1839  
SURVEYOR: ROBERTO N. TAMEZ, R.P.L.S. 115 W. McINTYRE EDINBURG, TX 78541 (956) 381-0981 (956) 381-1839

STATE OF TEXAS  
COUNTY OF HIDALGO  
OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION  
WE, J & D PRODUCE, INC. AS OWNER OF THE 10.000 ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED SUNRISE TRAILS PHASE 1 SUBDIVISION, HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE THE STREET(S), PARK, AND EASEMENTS SHOWN HEREIN.  
I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE § 232.032 AND THAT  
(A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS;  
(B) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, OR WILL MEET THE MINIMUM REQUIREMENTS OF STATE STANDARDS;  
(C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS; AND  
(D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS.  
I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

JAMES V. BASSETTI JR. PRESIDENT. DATE: DIANE L. BASSETTI, SECRETARY DATE:  
J & D PRODUCE, INC. J&D PRODUCE, INC.  
P.O. BOX 1548 P.O. BOX 1548  
EDINBURG, TX 78539 EDINBURG, TX 78540

STATE OF TEXAS  
COUNTY OF HIDALGO:  
BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED JAMES V. BASSETTI JR. AND KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO BEING BY ME FIRST DULY SWORN AND DECLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREBY EXPRESSED.  
GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC IN THE STATE OF TEXAS  
MY COMMISSION EXPIRES: \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF HIDALGO:  
BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED DIANE L. BASSETTI AND KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO BEING BY ME FIRST DULY SWORN AND DECLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREBY EXPRESSED.  
GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC IN THE STATE OF TEXAS  
MY COMMISSION EXPIRES: \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF HIDALGO:  
I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT AND IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

MELDEN & HUNT, INC.  
TEXAS REGISTRATION F-1435

MARIO A. REYNA, PE # 117368 DATE: \_\_\_\_\_  
DATE PREPARED: 06-03-2025  
JOB NO. 25086 00

STATE OF TEXAS  
COUNTY OF HIDALGO:  
I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF EDINBURG, TEXAS.

DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

ROBERTO N. TAMEZ, PROFESSIONAL LAND SURVEYOR No.6238  
STATE OF TEXAS  
DATE SURVEYED: T-1044, PG. 29-31  
SURVEY JOB # \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF HIDALGO:  
I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF EDINBURG, TEXAS.

DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

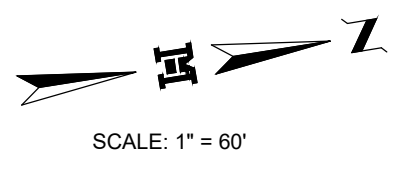
ROBERTO N. TAMEZ, PROFESSIONAL LAND SURVEYOR No.6238  
STATE OF TEXAS  
DATE SURVEYED: T-1044, PG. 29-31  
SURVEY JOB # \_\_\_\_\_

HIDALGO COUNTY  
CERTIFICATE OF PLAT APPROVAL  
UNDER LOCAL GOVERNMENT CODE § 232.028 (A)  
WE, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF SUNRISE TRAILS SUBDIVISION WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY \_\_\_\_\_ Sunrise Trails "Phase I" Subdivision  
COMMISSIONERS COURT ON \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

HIDALGO COUNTY JUDGE DATE: \_\_\_\_\_  
ATTEST: HIDALGO COUNTY CLERK DATE: \_\_\_\_\_

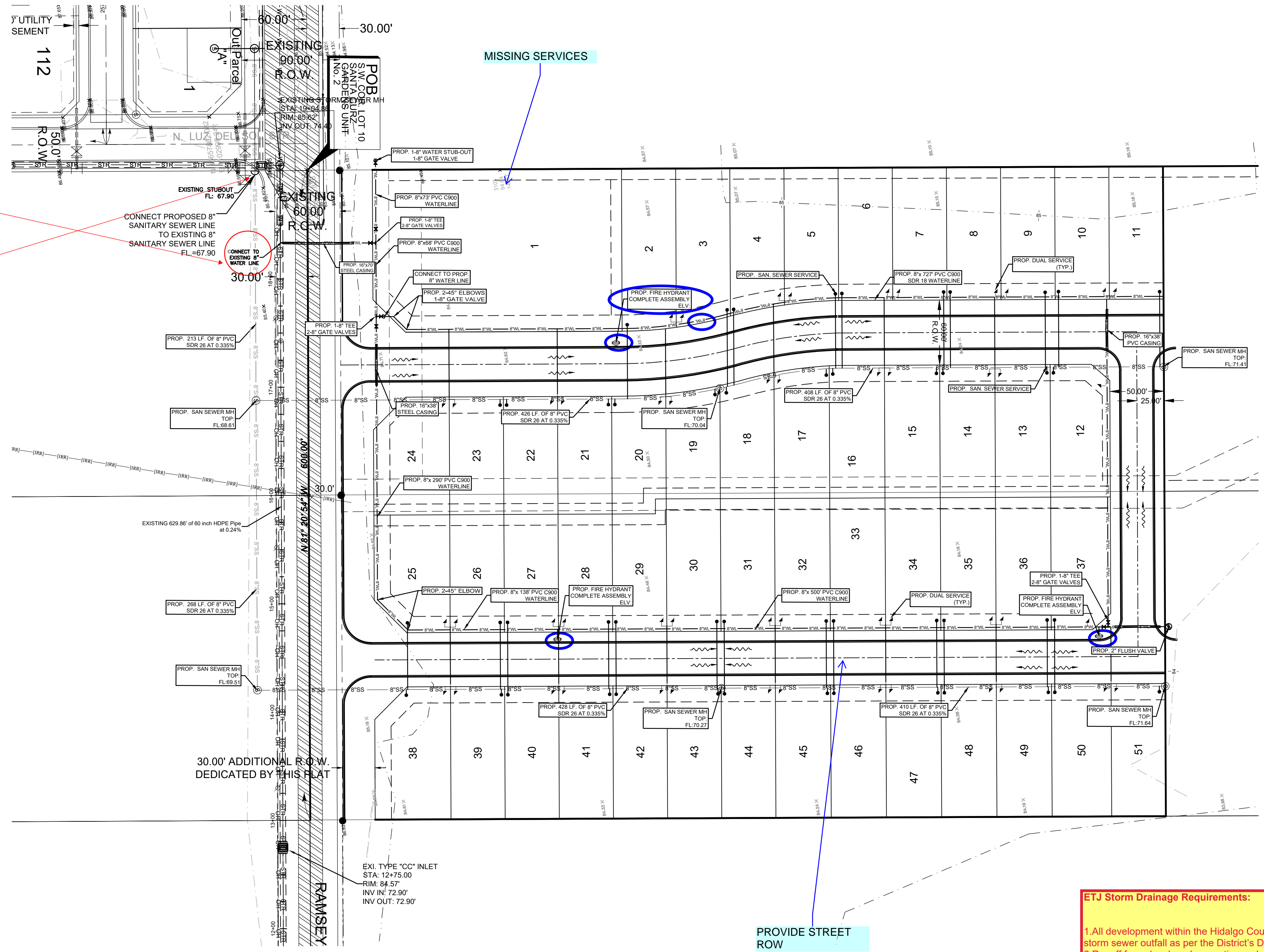
FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS  
BY: \_\_\_\_\_ DEPUTY



SCALE: 1" = 60'

- LEGEND**
- FOUND No. 4 REBAR
  - SET No. 1/2 IRON RODS WITH PLASTIC CAP STAMPED MELDEN & HUNT OF ONE ACRE
  - AC - DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS
  - D.E.C.R. - EASEMENT AND RIGHT-OF-WAY DOCUMENT
  - E.A.R.O.W. - EASEMENT AND RIGHT-OF-WAY
  - ESMT - EASEMENT
  - H.C.D.R. - HIDALGO COUNTY DEED RECORDS
  - H.C.M.R. - HIDALGO COUNTY MAP RECORDS
  - H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
  - No. - NUMBER
  - N.W. COR. - NORTHWEST CORNER
  - PG. - PAGE
  - P.O.B. - POINT OF BEGINNING
  - P.O.C. - POINT OF COMMENCING
  - R.O.W. - RIGHT-OF-WAY
  - R.O.W.D. - RIGHT-OF-WAY DEED
  - SQ. FT. - SQUARE FEET
  - U.E. - UTILITY EASEMENT
  - VOL. - VOLUME
  - W.D. - WARRANTY DEED
  - 8"SS - PROPOSED 8" SAN. SEWER LINE
  - 8"FWL - 8" PROPOSED WATER LINE
  - METER BOX
  - PROPOSED 6" SINGLE WASTEWATER SERVICE
  - ⊕ - FIRE HYDRANT
  - ⊙ - PROPOSED WASTEWATER MANHOLE



as per utilities department, design is incomplete, no showing that you are connecting with existing lines

as per Utilities, there is a 2" water line running along north side of Ramsey Rd, east and west. There is no existing 8" water line according to as-builts for Sol Alegre Ph I subdivision in this area -

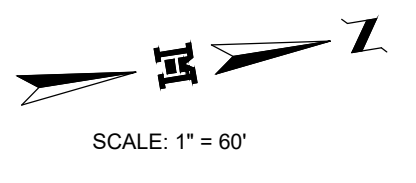
They recommend you connect to the 8" water line on south side of Ramsey Rd running east and west that will eliminate the need for the 2" Blow off valve on the north side of Ramsey Rd, east and west sides of subdivision

sewer not showing PnP (plans and profile) layouts

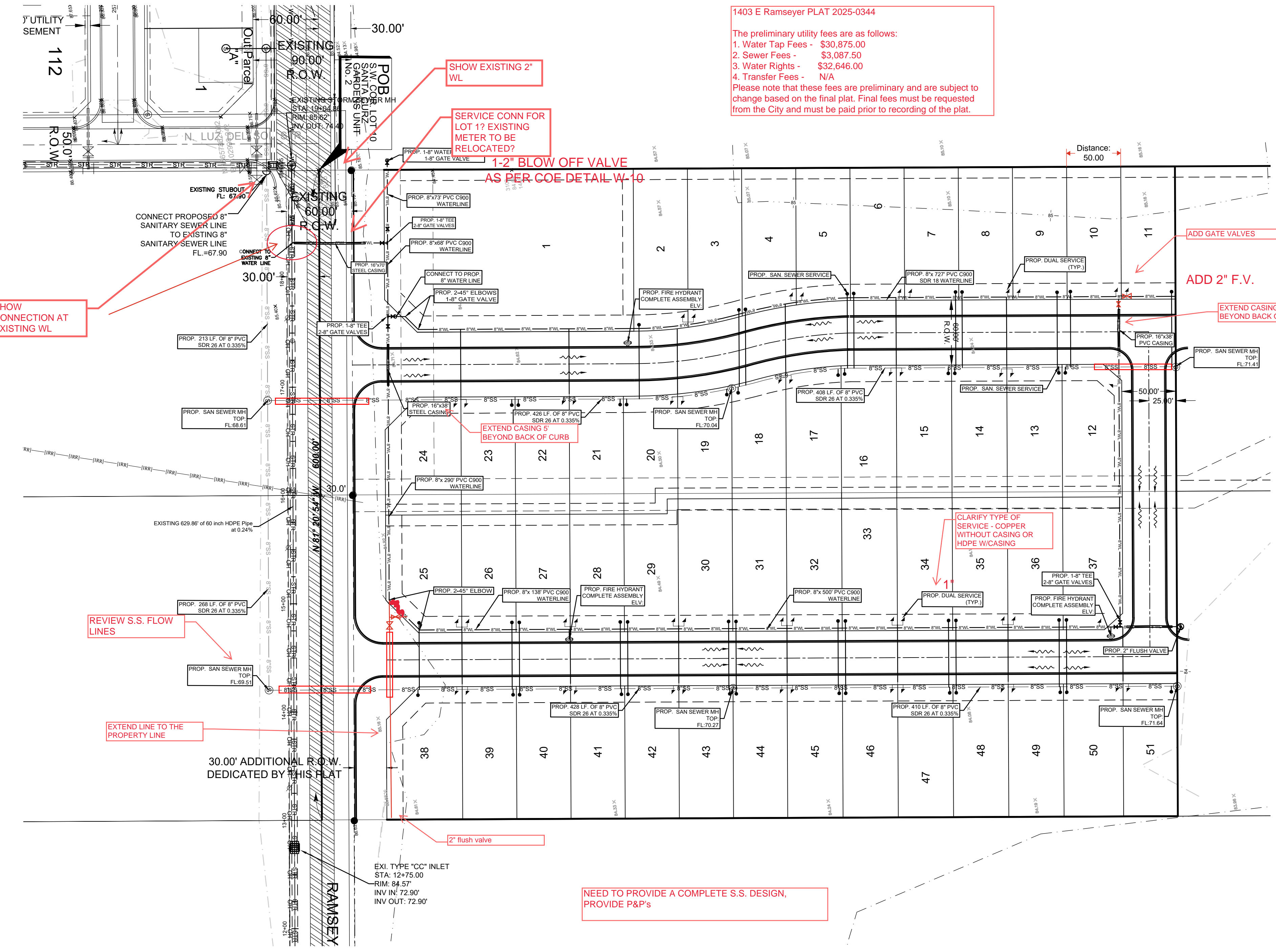
**COMMENTS:**  
 1. MUST PROVIDE GRADING PLAN AND DRAINAGE PLAN  
 2. MUST PROVIDE DRAINAGE AREA MAP  
 3. VERIFY WATER VALVE SPACING IS IN COMPLIANCE WITH CITY MANUAL  
 4. VERIFY FIRE HYDRANT SPACING IS IN COMPLIANCE WITH CITY MANUAL  
 5. VERIFY SS LINE SLOPE IS IN COMPLIANCE WITH TCEQ STANDARDS.

**ETJ Storm Drainage Requirements:**

1. All development within the Hidalgo County Drainage District No. 1 boundaries must include a storm sewer outfall as per the District's Drainage Master Plan.
2. Runoff from developed properties and upstream areas must be detained for a 50-year frequency storm event.
5. Systems must convey 10-year storm runoff without increasing flooded area depth or extent.
6. Analyze systems for a 50-year storm to ensure water elevation remains  $\leq 12"$  above the lowest curb elevation.
7. Designs must account for off-site drainage patterns impacted by proposed improvements.
8. Include existing elevations at one-foot contours and 100-foot intervals, spot elevations (1/10 foot), and drainage facilities within 500 feet of the subdivision boundaries.
9. Show proposed finished elevations (centerline, pavement edge, ditches, and right-of-way). Include proposed drainage facilities and how they integrate with the County Master Drainage Plan.
11. Provide runoff calculations consistent with the County Master Drainage Plan using approved methods.
14. Align lot drainage with the area's general storm drainage pattern, including necessary improvements.
15. Submit detailed plans for on-site/off-site drainage improvements connecting to existing facilities.
16. All improvements must adhere to engineering standards and be completed before final plat approval.



- LEGEND**
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  - AC - OF ONE ACRE
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  - ⊙ - FIRE HYDRANT
  - ⊙ - PROPOSED WASTEWATER MANHOLE



SHOW CONNECTION AT EXISTING WL

REVIEW S.S. FLOW LINES

EXTEND LINE TO THE PROPERTY LINE

30.00' ADDITIONAL R.O.W. DEDICATED BY THIS PLAT

NEED TO PROVIDE A COMPLETE S.S. DESIGN, PROVIDE P&P's

1403 E Ramseye PLAT 2025-0344  
The preliminary utility fees are as follows:  
1. Water Tap Fees - \$30,875.00  
2. Sewer Fees - \$3,087.50  
3. Water Rights - \$32,646.00  
4. Transfer Fees - N/A  
Please note that these fees are preliminary and are subject to change based on the final plat. Final fees must be requested from the City and must be paid prior to recording of the plat.

SHOW EXISTING 2" WL

SERVICE CONN FOR LOT 1? EXISTING METER TO BE RELOCATED?

1-2" BLOW OFF VALVE AS PER COE-DETAIL W-10

ADD GATE VALVES

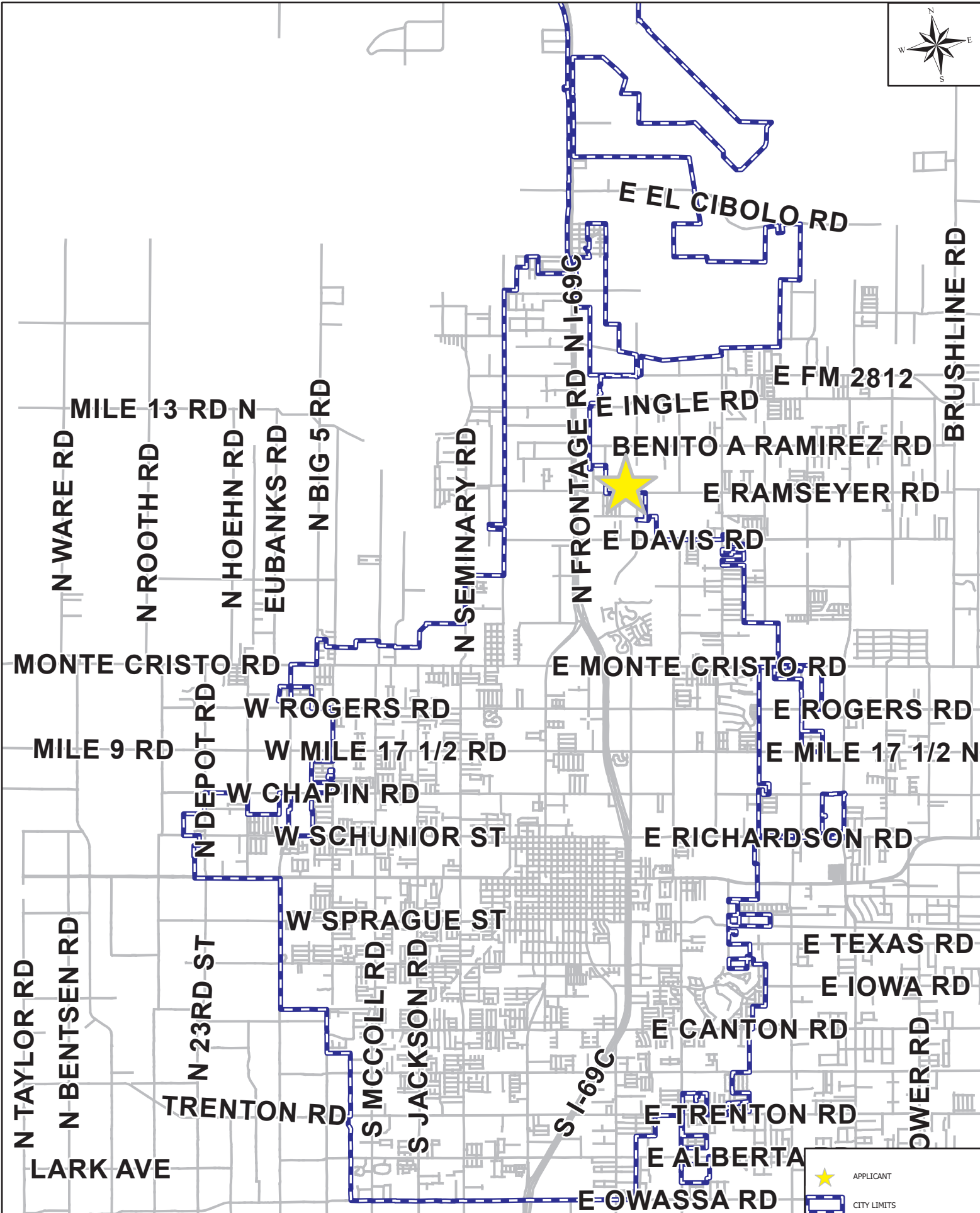
ADD 2" F.V.

EXTEND CASING 5' BEYOND BACK OF CURB

CLARIFY TYPE OF SERVICE - COPPER WITHOUT CASING OR HDPE W/CASING

2" flush valve

EXI. TYPE "CC" INLET  
STA: 12+75.00  
RIM: 84.57  
INV IN: 72.90  
INV OUT: 72.90



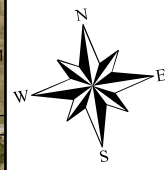
★ APPLICANT  
 - - - - - CITY LIMITS

**EDINBURG NEW DEVELOPMENT MAP**

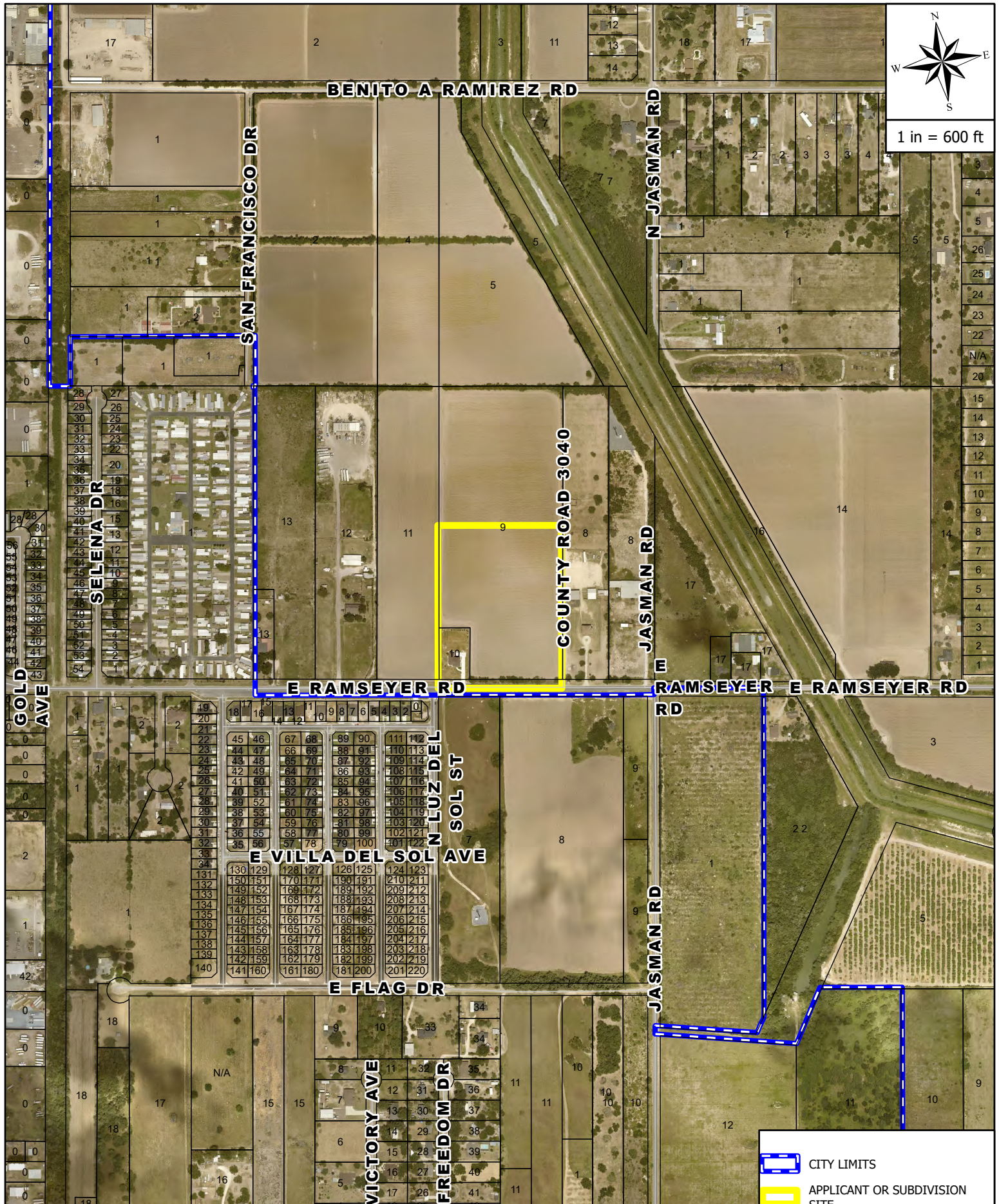
APPLICANT AND/OR SUBDIVISION:



SUNRISE TRAILS PHASE I





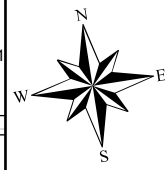
1 in = 600 ft



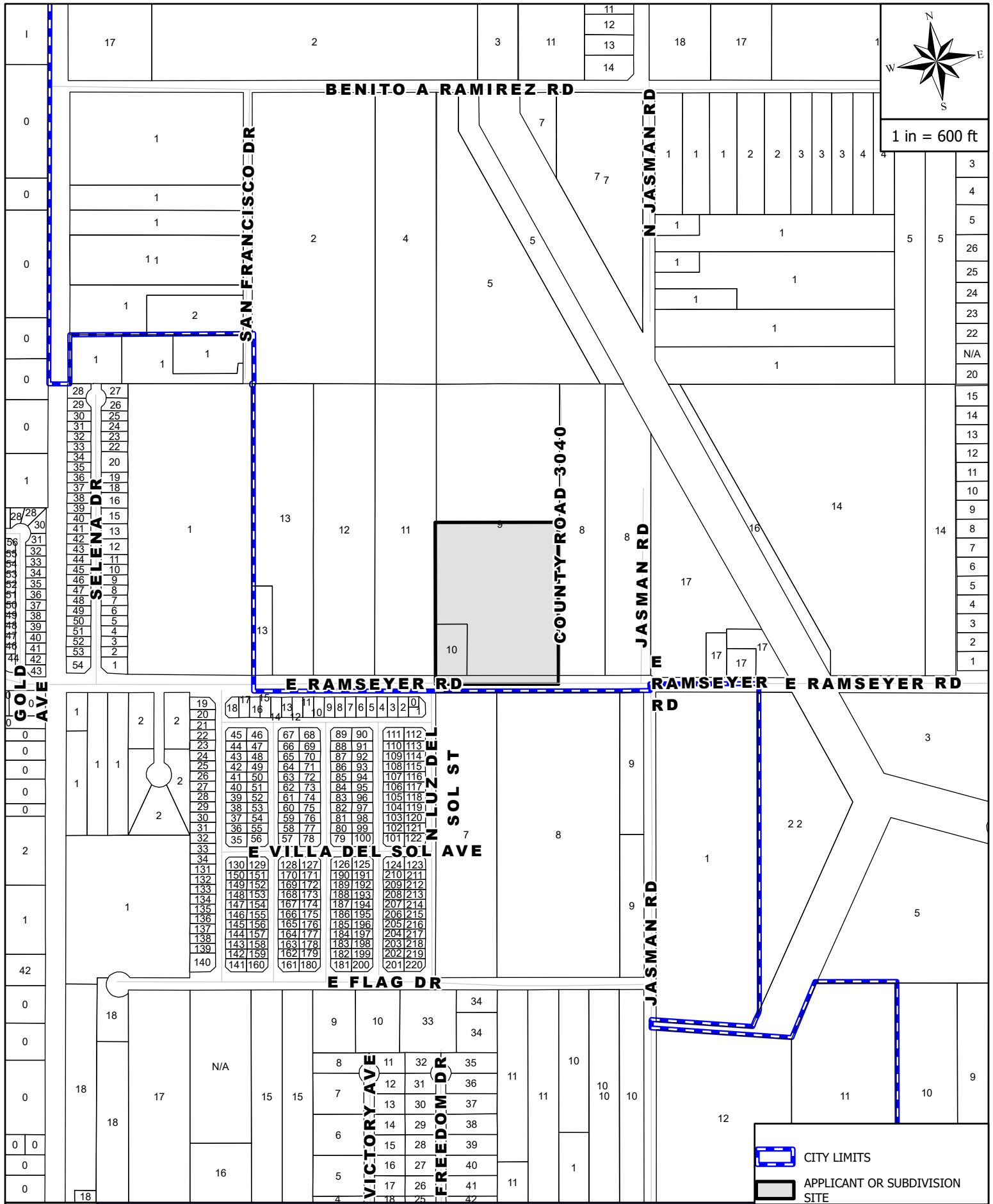
-  CITY LIMITS
-  APPLICANT OR SUBDIVISION SITE





**AERIAL MAP**  
**APPLICANT AND/OR SUBDIVISION:**  
**SUNRISE TRAILS PHASE I**



1 in = 600 ft



 CITY LIMITS

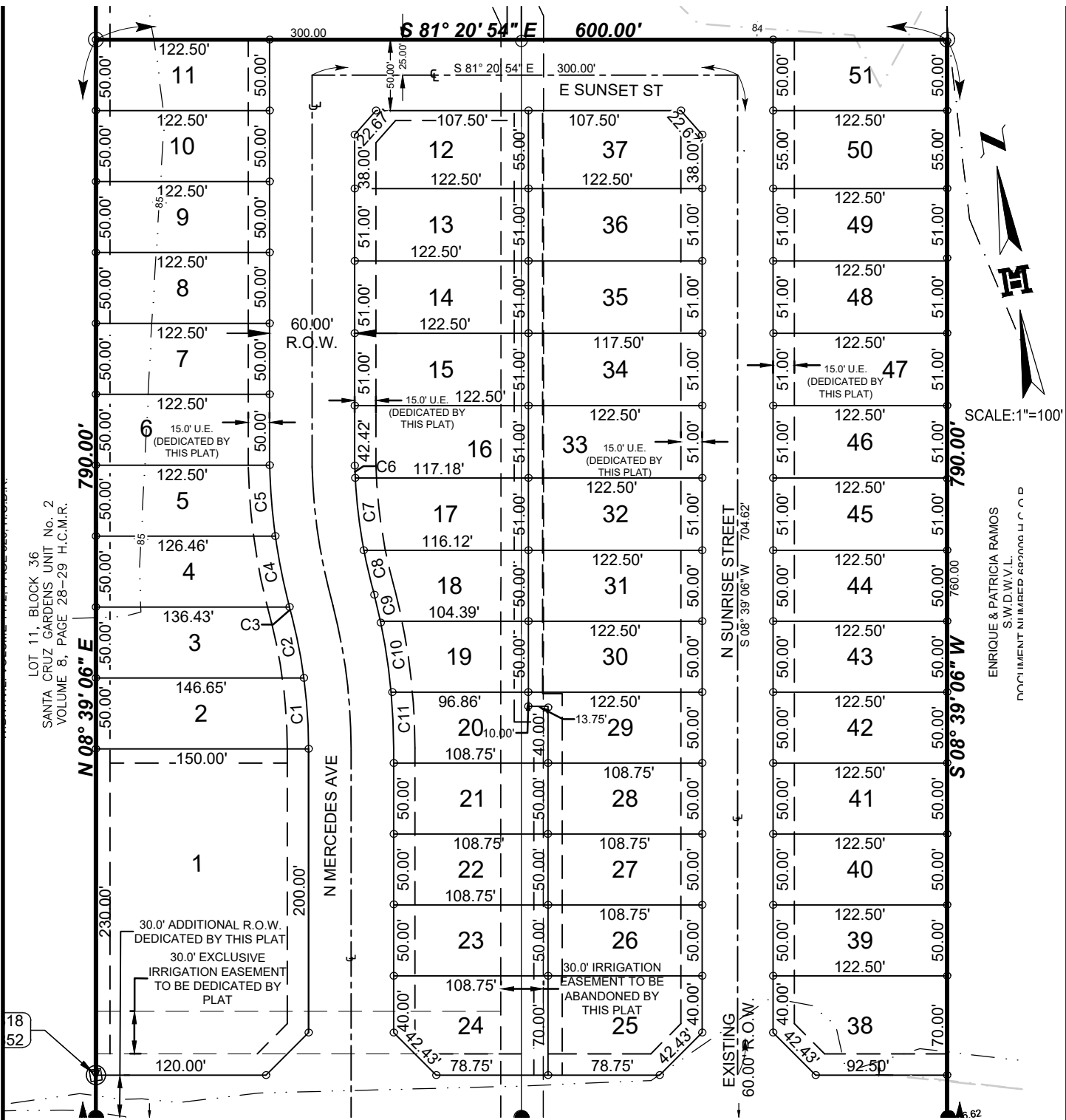
 APPLICANT OR SUBDIVISION SITE

**MAILOUT AND SITE MAP**

**APPLICANT AND/OR SUBDIVISION:**

SUNRISE TRAILS PHASE I





## SUBDIVISION MAP OF SUNRISE TRAILS PH. I

PLAT SHOWING 10.882 ACRES BEING PART OR A PORTION OF  
LOTS 9 AND 10, BLOCK 36, AMENDED MAP OF SANTA CRUZ  
GARDENS UNIT NO. 2  
VOLUME 8, PAGES 28-29 HIDALGO COUNTY MAP RECORDS.  
HIDALGO COUNTY, TEXAS



TBPELS No.10096900

**MELDEN & HUNT INC.**  
CONSULTANTS • ENGINEERS • SURVEYORS

BOOK: T-, PG.  
DATE: 05--01-23  
JOB No. 23072  
FILE NAME: 23072.00

115 W. McINTYRE  
EDINBURG, TX 78541  
PH: (956) 381-0981  
FAX: (956) 381-1839  
ESTABLISHED 1947

ENRIQUE & PATRICIA RAMOS  
S.W.D.W.V.L.  
DOCUMENT NUMBER 680000 H C D



**STAFF REPORT: VISTA LINDA SUBDIVISION**

Date Prepared: October 08, 2025  
Planning and Zoning Meeting: November 20, 2025  
Preliminary Plat Approval

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**Subject:** Consider the Preliminary Plat approval of Vista Linda Subdivision, being a 19.985 acre tract being out of Lot 9, Section 236, Texas-Mexican Railway Company's Survey, Hidalgo County, Texas, located at 5500 W. Rogers Road, as requested by Melden & Hunt, Inc.

**Location:** The property is located on the south side of W. Rogers Road, 794.15 ft. west of N. Hoehn Road and within the City of Edinburg's Extra-Territorial Jurisdiction.

**Zoning:** The property is within the City of Edinburg's Extra-Territorial Jurisdiction (ETJ)

**Setbacks:** To be determined by Hidalgo County Planning

**Analysis:** The Preliminary Plat development consists of 107 Single Family Residential lots averaging approximately 6,050.36 square feet.

**Utilities:** Water Distribution System will be provided by Sharyland Water Supply Corporation, and with the City of Edinburg's Sanitary Sewer Collection System. However, there is an inter-local agreement with the City of McAllen for all utility improvements within the proposed subdivision that are not limited to water system, sewer system, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2021 Standards Manual.

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Recommendations:

**City of Edinburg Planning & Zoning Department:**

Staff recommends approval of the Preliminary Plat, subject to compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.



# SUBMITTAL SUMMARY REPORT (PLAT-2024-0303) FOR THE CITY OF EDINBURG

**PERMIT ADDRESS:** VISTA LINDA SUBDIVISION **PARCEL:** T2100-00-236-0009-13

**APPLICATION DATE:** 12/06/2024 **SQUARE FEET:** 0 **DESCRIPTION:** Preliminary Plat Residential  
**EXPIRATION DATE:** 06/04/2025 **VALUATION:** \$0.00

CONTACTS	NAME	COMPANY	ADDRESS
Applicant	Mario Reyna	Melden & Hunt Inc	115 W McIntyre St Edinburg, TX 78541
	MARLON GARZA	MELDEN AND HUNT	115 W McIntyre Edinburg, TX 75841
	Valeria Garza	Melden & Hunt Inc.	115 McIntyre St Edinburg, TX 78541

CONDITION	DESCRIPTION	CREATED BY	CREATED ON	COMMENTS	SATISFIED?
Meet 2018 IFC	Other required: Meet 2018 International Fire Code	Anthony Riojas	12/10/2024		Yes

# SUBMITTAL SUMMARY REPORT (PLAT-2024-0303)

CONDITION	DESCRIPTION	CREATED BY	CREATED ON	COMMENTS	SATISFIED?
Other Condition	Other Condition	Anthony Riojas	12/10/2024	<p>GENERAL COMMENTS:</p> <ol style="list-style-type: none"> <li>1. STREET DETAILS: Shall meet IFC 2018, UDC 2022, and COESM 2021 (i.e. street name, width, block length, cul-de-sac r=96ft minimum)</li> <li>2. PROPERTY DIMENSIONS: Shall meet IFC 2018 and UDC 2022 (i.e. building separation, property line setbacks, lot width and length details)</li> <li>3. BUILDING SEPARATION: Shall meet IFC/IBC 2018, UDC 2022, and COESM 2021 (i.e. building separation, lot standards, access roads, fire rating)</li> <li>4. WATER DISTRIBUTION: Need to provide minimum 8-inch looped waterlines for distribution systems serving fire hydrants. Shall meet UDC 2022 and COESM 2021 standards.</li> <li>5. FIRE PROTECTION FEATURE SITE PLAN: Shall meet IFC 2018 and UDC 2022 (i.e. FDC, hydrant, fire department access road, and dedicated fire protection water line locations/details)</li> <li>6. FIRE DEPARTMENT ACCESS ROADS: Need to provide fire department access road(s); shall be established and installed prior to building construction stage. Shall meet IFC 2018, UDC 2022, and COESM 2021 (i.e. approved surface materials, dimensions, construction, location, accessibility, and quantity requirements)</li> <li>7. CUL-DE-SAC: Need to provide r = 96ft cul-de-sac radius for fire department access road(s) and shall meet IFC 2018 reequipments</li> <li>8. FIRE HYDRANTS - RESIDENTIAL: Need to provide fire hydrant(s); shall begin installation nearest the subdivisions main entrance and shall be spaced out every 600'; shall be installed in-between lot lines. Shall meet IFC 2018/UDC 2022/EOCSM 2021 (i.e. Minimum 1000gpm @30psi, looped 8-inch waterline, spacing at 600ft based on designated zoning district, 30-inch setbacks)</li> <li>9. FIRE HYDRANT MARKING: Need to provide fire hydrant markings: 15ft red fire lane (white lettering "NO PARKING FIRE LANE") and blue reflective street markers (installed on roadway centerline).</li> <li>10. BUILDING PERMIT PHASE: Property will be subject to additional fire code requirements at Building Permit phase and will be based on occupancy</li> </ol>	Yes

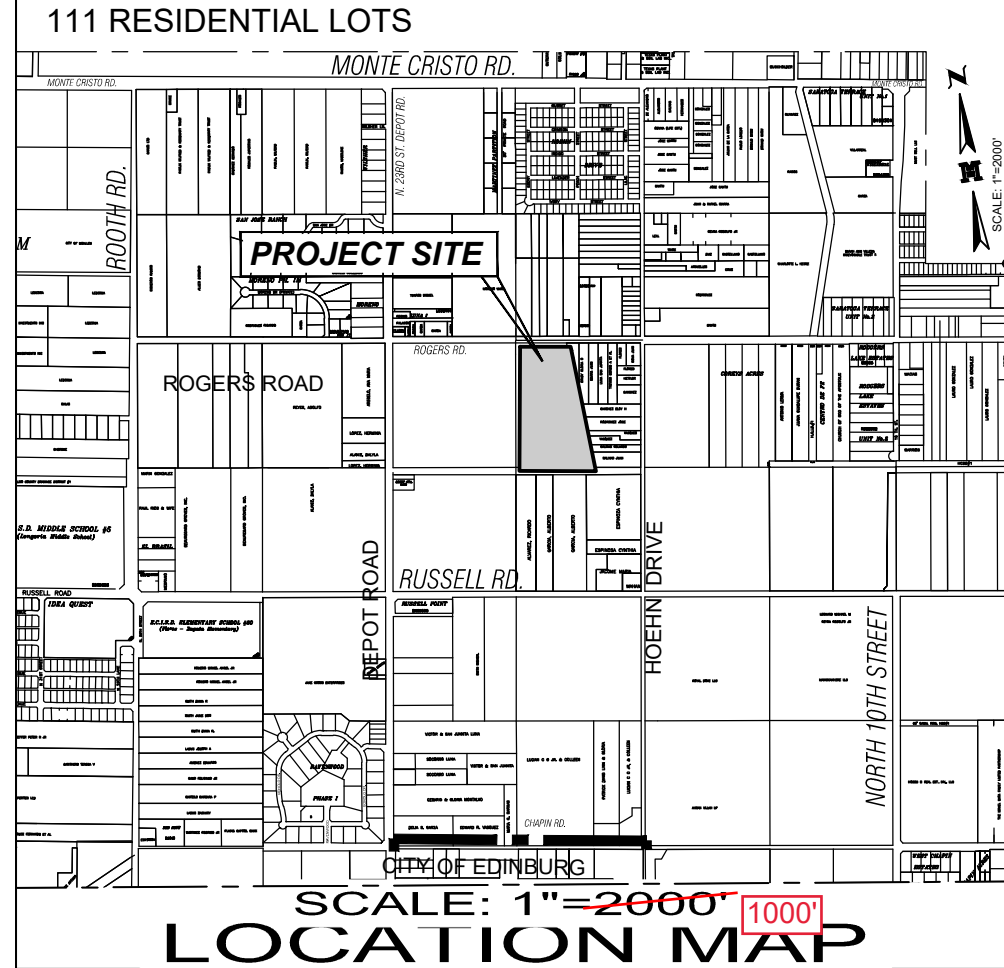
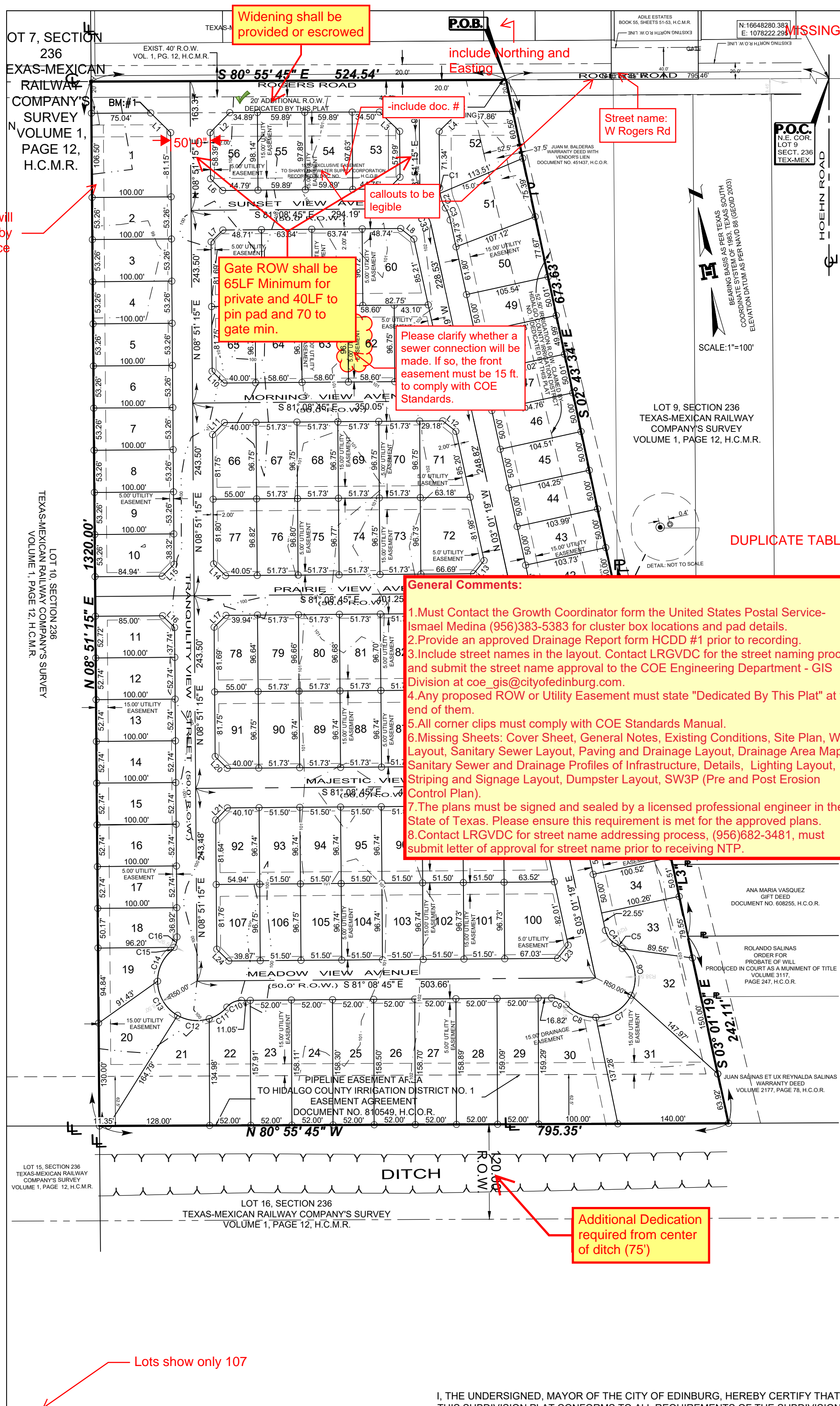
# SUBMITTAL SUMMARY REPORT (PLAT-2024-0303)

CONDITION	DESCRIPTION	CREATED BY	CREATED ON	COMMENTS	SATISFIED?
Plan Note	All construction shall comply with Stormwater Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Stormwater Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multi-family construction	David De La Fuente	12/19/2024	classification(s). 11. PLAT NOTE REQUIREMENT: Pursuant to applicable fire safety regulations, the installation of additional fire hydrants, fire department access road(s), fire rated construction, and other fire protection equipment may be mandated during the Site Plan or Building Permit process.	No
SW3P	Stormwater Pollution Prevention Plan (C) Engineering	David De La Fuente	12/19/2024		No
Post Construction BMP Plan	Silt fence behind the back of curb(subdivisions)	David De La Fuente	12/19/2024		No
TCEQ Large Construction Permit	TCEQ Large Construction Permit Required (if over 5 acres).	David De La Fuente	12/19/2024		No
Erosion Control	Erosion Control Required (Subdivisions, Commercial, Multi-Family)	David De La Fuente	12/19/2024		No
TCEQ NOI & Permit	TCEQ NOI & Permit TXR150000 submitted to Stormwater Manager Contact: David De La Fuente email: ddelafuente@cityofedinburg.com	David De La Fuente	12/19/2024		No

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
Planning & Zoning Review (PZ, Eng, Fire, Util, SW) v.1	12/09/2024	12/19/2024	12/20/2024	Requires Re-submit

## SUBMITTAL DETAILS

Planning & Zoning Review (PZ, Eng, Fire, Util, SW) v.1					
ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS	
Engineering (Public Works/Engineering)	David De La Fuente	12/19/2024	12/19/2024	Complete	
<i>Comments</i>	Items need: SW3P, NOI, Large Construction, Erosion Control Plan, Post Construction Plan, Plat Note.				
Engineering (Public Works/Engineering)	Peter Hermida	12/19/2024	12/20/2024	Requires Re-submit	
<i>Comments</i>	Project Plan may not be feasible due to pending agreement information from the City of McAllen. As of now there is no indicated information presented to staff to be able to give approval, as such approval will require an interlocal agreement between cities to be placed or being worked at minimum.				
Fire (Fire)	Anthony Riojas	12/19/2024	12/10/2024	Complete	
<i>Comments</i>	See Conditions Tab for comments.				
Planning & Zoning (Planning & Zoning)	Anaisa Licerio	12/19/2024	12/20/2024	Requires Re-submit	
Solid Waste (Solid Waste)	Laura Olivarez	12/19/2024	12/09/2024	Complete	
<i>Comments</i>	Guidelines sent				
Utilities (Utilities)	Priscilla Bernal	12/19/2024	12/09/2024	Complete	
<i>Comments</i>	Will submit comments to Engineering and Planning & Zoning.				



Lot #	SQ. FT.	Area	Lot #	SQ. FT.	Area	Lot #	SQ. FT.	Area	Lot #	SQ. FT.	Area	Lot #	SQ. FT.	Area	Lot #	SQ. FT.	Area
1	5,326.00	0.122	22	7,779.12	0.179	42	5,180.13	0.119	62	5,669.49	0.130	82	5,002.84	0.115			
2	5,326.00	0.122	23	8,216.29	0.189	43	5,192.87	0.119	63	5,669.49	0.130	83	5,003.82	0.115			
3	5,326.00	0.122	24	8,226.52	0.189	44	5,205.89	0.120	64	5,669.49	0.130	84	4,986.73	0.114			
4	5,326.00	0.122	25	8,236.74	0.189	45	5,218.80	0.120	65	5,208.70	0.120	85	6,906.22	0.159			
5	5,326.00	0.122	26	8,246.97	0.189	46	5,231.71	0.120	66	5,208.70	0.120	86	5,003.88	0.115			
6	5,326.00	0.122	27	8,257.19	0.189	47	5,245.11	0.120	67	5,004.83	0.115	87	5,004.06	0.115			
7	5,326.00	0.122	28	8,267.42	0.190	48	5,257.03	0.121	68	5,004.83	0.115	88	5,004.23	0.115			
8	5,326.00	0.122	29	8,277.61	0.190	49	5,271.09	0.121	69	5,004.83	0.115	89	5,004.41	0.115			
9	5,213.57	0.120	30	12,647.44	0.290	50	7,372.13	0.169	70	5,004.83	0.115	90	5,004.59	0.115			
10	5,160.65	0.118	31	17,223.71	0.395	51	7,896.31	0.181	71	5,037.48	0.116	91	5,208.63	0.120			
11	5,274.00	0.121	32	8,579.42	0.197	52	7,887.17	0.181	72	6,955.10	0.160	92	5,205.57	0.120			
12	5,274.00	0.121	33	8,670.22	0.199	53	5,415.26	0.124	73	5,004.21	0.115	93	4,982.11	0.114			
13	5,274.00	0.121	34	5,045.32	0.116	54	5,854.24	0.134	74	5,005.44	0.115	94	4,982.11	0.114			
14	5,274.00	0.121	35	5,032.42	0.116	55	5,869.59	0.135	75	5,006.66	0.115	95	4,982.11	0.114			
15	5,274.00	0.121	36	5,048.52	0.116	56	5,459.05	0.125	76	5,007.89	0.115	96	4,982.11	0.114			
16	5,274.00	0.121	37	5,067.65	0.116	57	6,050.36	0.139	77	5,213.32	0.120	97	4,982.11	0.114			
17	5,000.75	0.115	38	5,087.26	0.117	58	6,152.27	0.142	78	5,202.43	0.119	98	4,982.11	0.114			
18	5,445.49	0.125	39	5,110.64	0.117	59	6,164.06	0.141	79	4,999.91	0.115	99	5,069.19	0.116			
19	9,333.38	0.214	40	5,138.37	0.118	60	6,929.54	0.159	80	5,000.89	0.115	100	6,988.74	0.160			
20	11,502.33	0.264	41	5,164.39	0.119	61	5,015.22	0.115	81	5,001.87	0.115	101	4,981.61	0.114			

Lot #	SQ. FT.	Area	Lot #	SQ. FT.	Area	Lot #	SQ. FT.	Area	Lot #	SQ. FT.	Area	Lot #	SQ. FT.	Area	Lot #	SQ. FT.	Area
102	4,981.81	0.114	103	4,982.01	0.114	104	4,982.21	0.114	105	4,982.41	0.114	106	4,982.61	0.114	107	5,199.73	0.119

Curve #	Delta	Radius	Length	Chord Direction	Chord Length	Tangent
C1	7° 58' 11"	50.00'	6.95'	S4° 52' 10"W	6.95'	3.48'
C2	22° 46' 20"	50.00'	19.87'	S10° 30' 06"E	19.74'	10.07'
C3	18° 51' 57"	50.00'	16.46'	N12° 27' 18"W	16.39'	8.31'
C4	88° 11' 23"	25.00'	21.03'	S27° 07' 00"E	20.41'	11.18'
C5	12° 52' 50"	50.00'	11.24'	N44° 46' 17"W	11.22'	5.64'
C6	73° 45' 02"	50.00'	64.36'	N1° 27' 20"W	60.01'	37.51'
C7	63° 26' 38"	50.00'	55.37'	N67° 08' 30"E	52.58'	30.91'
C8	48° 10' 49"	50.00'	42.05'	S57° 02' 47"E	40.82'	22.36'
C9	48° 11' 23"	25.00'	21.03'	N57° 03' 04"W	20.41'	11.18'
C10	48° 11' 23"	25.00'	21.03'	S74° 45' 33"W	20.41'	11.18'
C11	30° 53' 31"	50.00'	26.96'	N66° 06' 37"E	26.63'	13.82'
C12	47° 26' 58"	50.00'	41.41'	S74° 43' 09"E	40.23'	21.97'
C13	59° 58' 25"	50.00'	52.34'	S21° 00' 27"E	49.98'	28.85'
C14	48° 03' 52"	50.00'	41.94'	S33° 00' 42"W	40.73'	22.30'
C15	16° 10' 26"	25.00'	7.06'	N48° 57' 29"E	7.03'	3.55'
C16	32° 00' 57"	25.00'	13.97'	N24° 51' 43"E	13.79'	7.17'
C17	18° 51' 57"	25.00'	8.23'	N12° 27' 18"W	8.19'	4.15'
C18	30° 44' 31"	75.00'	40.24'	S6° 31' 00"E	39.76'	20.62'

Line #	Length	Direction
L1*	137.75'	S02° 23' 54"E
L2*	144.41'	S02° 35' 01"E
L3*	150.57'	S02° 43' 45"E

Line #	Length	Direction
L1	35.36'	S38° 02' 15"E
L2	35.36'	N53° 55' 40"E
L3	35.36'	N37° 00' 57"W
L4	35.36'	N54° 43' 27"E
L5	21.21'	N54° 21' 38"E
L6	21.21'	N36° 23' 11"W
L7	21.21'	S54° 04' 53"W
L8	21.21'	S42° 05' 02"E
L9	21.21'	S47° 54' 58"W
L10	21.21'	N36° 08' 45"W

Line #	Length	Direction
L11	21.21'	S53° 51' 15"W
L12	21.21'	S42° 05' 02"E
L13	21.21'	S47° 54' 58"W
L14	21.21'	N35° 58' 43"W
L15	21.21'	N54° 04' 53"E
L16	21.21'	S36° 08' 45"E
L17	21.21'	S54° 04' 53"W
L18	21.21'	S42° 05' 02"E
L19	21.21'	S47° 54' 58"W
L20	21.21'	N36° 08' 45"W
L21	21.21'	S53° 28' 11"W
L22	21.21'	S42° 05' 02"E
L23	21.21'	S47° 54' 58"W
L24	61' 10" 06"	

**LEGEND**  
 ● FOUND NO. 4 REBAR  
 ○ FOUND NO. 5 REBAR  
 ○ FOUND PIPE  
 ⊕ 6"x8" RAILROAD TIE POST  
 ⊕ SET NO. 4 REBAR WITH P CAP STAMPED MELDEN  
 ⊕ SET NAIL  
 R.O.W. - RIGHT OF WAY  
 P.O.B. - POINT OF BEGINNING  
 P.O.C. - POINT OF COMMENCING  
 N.E. COR. - NORTHEAST CORNER  
 H.C.M.R. - HIDALGO COUNTY MAP RECORDS  
 H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS  
 U.E. - UTILITY EASEMENT  
 D.E. - DRAINAGE EASEMENT  
 LL - LOT LINE  
 PL - PROPERTY LINE  
 CL - CENTER LINE

**STATE OF TEXAS COUNTY OF HIDALGO**  
 APPROVED BY DRAINAGE DISTRICT:  
 HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS/HER ENGINEER TO MAKE THEIR DETERMINATION.  
 HIDALGO COUNTY DRAINAGE DISTRICT NO. 1  
 RAUL E. SESIN, P.E. C.F.M. GENERAL MANAGER  
 THIS PLAT APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_  
 HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 WILL NOT BE RESPONSIBLE FOR OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION. ALSO, THERE WILL NOT PERMANENT STRUCTURES ON THE DISTRICT RIGHT-OF-WAYS AND/OR EASEMENTS.  
 NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON THE HCD#1 RIGHT-OF-WAYS OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF HCD#1.  
 PRESIDENT \_\_\_\_\_ SECRETARY \_\_\_\_\_

**HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL UNDER LOCAL GOVERNMENT CODE § 232.028 (A)**  
 I, THE UNDERSIGNED, MAYOR OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.  
 MAYOR, CITY OF EDINBURG \_\_\_\_\_ DATE \_\_\_\_\_  
 CITY SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_  
 DRAWN BY: Gabriel F. DATE: 2-10-21  
 SURVEYED, CHECKED \_\_\_\_\_ DATE \_\_\_\_\_  
 FINAL CHECK \_\_\_\_\_ DATE \_\_\_\_\_  
 MELDEN & HUNT, INC. TEXAS REGIST. # 14336  
 CONSULTANTS • ENGINEERS • SURVEYORS  
 115 W. MCINTYRE - EDINBURG, TX 78541  
 PH: (956) 381-0981 - FAX: (956) 381-1839  
 ESTABLISHED 1947 - www.meldenandhunt.com

**PRINCIPAL CONTACTS**

NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER: AARON A. AGUIRRE	4405 N 22nd STREET	McAlLEN, TX 78504	(956) 331-8987	
ENGINEER: MARIO A. REYNA, P.E.	115 W. MCINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839
SURVEYOR: FRED L. KURTH, R.P.L.S.	115 W. MCINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839

# SUBDIVISION MAP OF VISTA LINDA SUBDIVISION

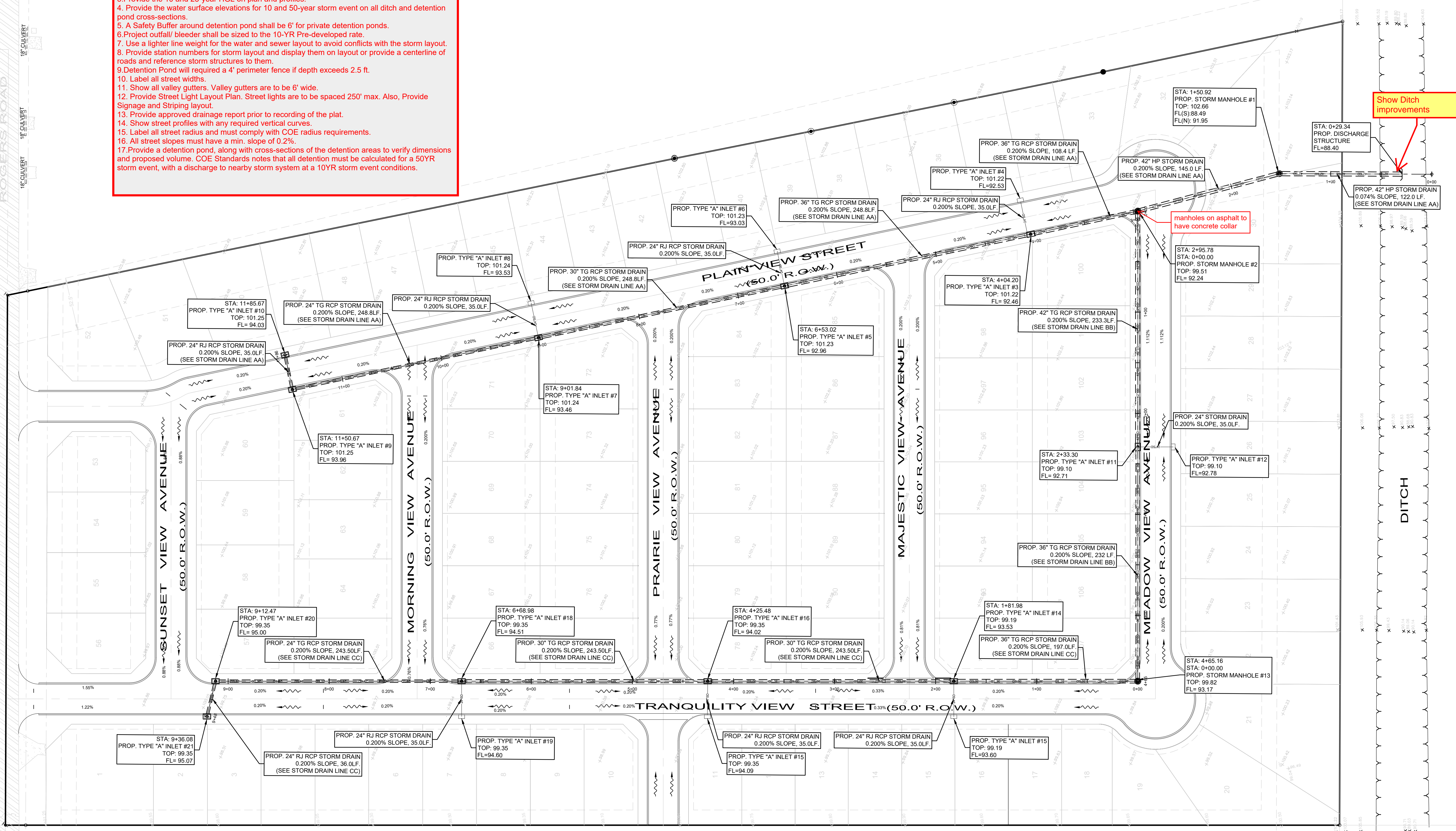
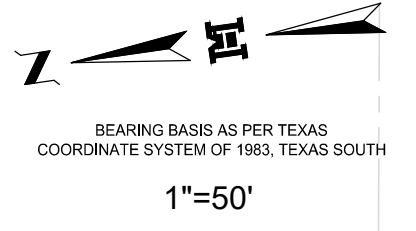
BEING A SUBDIVISION OF 19.985 ACRES SITUATED IN HIDALGO COUNTY, TEXAS, SAID 19.985 ACRES BEING OUT OF LOT 9, SECTION 236, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1, PAGE 12, HIDALGO COUNTY MAP RECORDS

**VERIFY IF DUPLICATE SUBDIVISION NAME**  
 A TRACT OF LAND CONTAINING 19.985 ACRES SITUATED IN HIDALGO COUNTY, TEXAS, SAID 19.985 ACRES BEING OUT OF LOT 9, SECTION 236, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1, PAGE 12, HIDALGO COUNTY MAP RECORDS, WHICH SAID 19.985 ACRES ARE OUT OF A CERTAIN TRACT THAT WAS CONVEYED TO 281-ALBERTA PROPERTIES, LTD., A TEXAS CORPORATION BY VIRTUE OF A WARRANTY DEED WITH VENDOR'S LIEN RECORDED IN INSTRUMENT NUMBER 1560679, HIDALGO COUNTY OFFICIAL RECORDS, SAID 19.985 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 COMMENCING AT ROAD RIGHTS-OF-WAY OF ROGERS ROAD, 16648280.838, EASTING: 1078222.295, AND BEING WITHIN THE EXISTING THENCE, N 8° 55' 15" E A DISTANCE OF 795.46 FEET TO A NAIL SET (NORTHING: 16648406.245, EASTING: 1077436.785) POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;  
 1. THENCE, S 02° 23' 54" E A DISTANCE OF 137.75 FEET TO AN IRON PIPE FOUND FOR AN ANGLE POINT OF THIS TRACT;  
 2. THENCE, S 02° 35' 01" E A DISTANCE OF 144.41 FEET TO AN IRON PIPE FOUND FOR AN ANGLE POINT OF THIS TRACT;  
 3. THENCE, S 02° 43' 45" E A DISTANCE OF 150.57 FEET TO AN NO. 4 REBAR FOUND FOR AN ANGLE POINT OF THIS TRACT;  
 4. THENCE, N 8° 55' 15" W ALONG THE SOUTH LINE OF SAID LOT 9, A DISTANCE OF 795.35 FEET TO A NO. 4 REBAR SET ON THE SOUTHWEST CORNER OF SAID LOT 9, FOR THE SOUTHWEST CORNER OF THIS TRACT;  
 5. THENCE, N 8° 51' 15" E ALONG THE WEST LINE OF SAID LOT 9, AT A DISTANCE OF 1,300.00 FEET PASS A NO. 4 REBAR SET ON THE EXISTING SOUTH RIGHT-OF-WAY LINE OF ROGERS ROAD, CONTINUING A TOTAL DISTANCE OF 1,320.00 FEET TO A NAIL SET AT THE NORTHWEST CORNER OF SAID LOT 9, FOR THE NORTHWEST CORNER OF THIS TRACT;  
 6. THENCE, S 8° 55' 45" E ALONG THE NORTH LINE OF SAID LOT 9, AND BEING WITHIN THE EXISTING RIGHT-OF-WAY OF ROGERS ROAD, A DISTANCE OF 524.54 FEET TO THE POINT OF BEGINNING AND CONTAINING 19.985 ACRES, OF WHICH 0.242 OF ONE ACRE LIES WITHIN THE EXISTING RIGHT-OF-WAY OF ROGERS ROAD, LEAVING AN EXISTING NET OF 19.743 ACRES OF LAND, MORE OR LESS.

**Plat and Metes and Bounds Description shall include POC, must also have Northing and Easting Coordinates for both POB and POC**  
 Please revise the Metes and Bounds Description accordingly.  
 A DISTANCE OF 795.46 FEET TO A NAIL SET (NORTHING: 16648406.245, EASTING: 1077436.785) POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;  
 1. THENCE, S 02° 23' 54" E A DISTANCE OF 137.75 FEET TO AN IRON PIPE FOUND FOR AN ANGLE POINT OF THIS TRACT;  
 2. THENCE, S 02° 35' 01" E A DISTANCE OF 144.41 FEET TO AN IRON PIPE FOUND FOR AN ANGLE POINT OF THIS TRACT;  
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**GENERAL PLAT NOTES & RESTRICTIONS:**  
 1. FLOOD ZONE STATEMENT: FLOOD ZONE DESIGNATION: ZONE "X" (UNSHADED); ARE AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN. COMMUNITY-PANEL NO. 489334 0325 D EFFECTIVE DATE: JUNE 6, 2000; REVISID TO REFLECT LORR DATE MAY 17, 2001.  
 2. SETBACKS: FRONT: 25.00 FEET, FRONT CUL-DE-SAC 15.00 FEET, REAR: 15.00 FEET OR EASEMENT WHICHEVER IS GREATER, SIDE: 6.00 FEET OR EASEMENT WHICHEVER IS GREATER, CORNER SIDE: 10.00 FEET, CORNER GARAGE SIDE: 18.00 FEET, CORNER GARAGE FRONT: 18.00 FEET.  
 3. GENERAL NOTE FOR SINGLE FAMILY RESIDENCES: NO MORE THAN ONE SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT. APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPANCY OF THE LOT. SINGLE FAMILY RESIDENCES SHALL INCLUDE THE FOLLOWING: MOBILE HOME, TRAVEL TRAILER, FRAME HOME, AND SLAB HOME.  
 4. MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" TOP OF CURB OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME OF APPLICATION FOR POST-CONSTRUCTION FINISHED FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE OBTAINED PRIOR TO THE TIME OF A DEVELOPMENT PERMIT APPLICATION.  
 5. IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS. DATUM BASED ON NAVD 88 (GEOID 2003).  
 6. CONCRETE ALONG THE SOUTH RIGHT-OF-WAY OF ROGERS ROAD AT THE NORTH CORNER CLIP OF LOT 68 OF LOT OF THIS PLAT. N-16647299.200, E-1077326.500, ELEV. 101.75'.  
 7. IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 105,014 CUBIC FEET 2.411 (ACRE-FEET) OF STORM WATER RUNOFF. DRAINAGE DETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS: DETENTION WILL BE PROVIDED BY THE WIDENING OF A DRAIN DITCH ALONG THE SOUTH SIDE OF THIS DEVELOPMENT.  
 8. ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISH GRADE FROM THE REAR OF THE LOT TO THE CURB AT A 0.25% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY APPENDIX 5, COUNTY CONSTRUCTION.  
 9. NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.  
 10. EACH PURCHASE CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.  
 11. ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT, DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.  
 12. AS PER LOCAL GOVERNMENT CODE REQUIREMENTS, SANITARY SEWER MUST BE CONNECTED TO A RESIDENCE PRIOR TO THE COUNTY PROCESSING A FINAL CLEARANCE FOR A WATER METER. A SEWER TAP INSPECTION SHALL BE PROVIDED FROM THE ENTITY SERVICE PROVIDER PRIOR TO RECEIVING A CLEARANCE FOR WATER METERS.  
 13. ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.  
 14. LOT OWNERS SHALL INSTALL A REQUIRED 5' SIDEWALK ALONG BOTH SIDE OF INTERIOR STREET AT BUILDING PERMIT STAGE. SIDEWALK SHALL BE LOCATED 3 FEET BEHIND LAYBACK CURB. ADA RAMP SHALL BE INSTALLED AT ALL STREET INTERSECTIONS DURING CONSTRUCTION OF THIS SUBDIVISION. AS PER CITY OF EDINBURG STANDARDS AT BUILDING PERMIT STAGE.  
 15. A 5 FOOT SIDEWALK WILL BE REQUIRED ALONG THE SOUTH RIGHT-OF-WAY OF ROGERS ROAD BY THE DEVELOPER.  
 16. THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETAINED. AT THE DEVELOPMENT, THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT. DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.  
 17. LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 24

- General Utility Storm Comments:**
1. Provide plans and profiles for paving and grading with flow arrows on perimeter of subdivision and within proposed ditch. Provide inlets every 600' max.
  2. Review of Drainage Lines will occur once Maps and Profiles are provided, ensure storm lines are sized for a 10YR storm as per Engineering Standards manual or provide a model of this development. 25-year HGL must be below the gutter line.
  3. Provide the 10 and 25-year HGL on plan and profiles.
  4. Provide the water surface elevations for 10 and 50-year storm event on all ditch and detention pond cross-sections.
  5. A Safety Buffer around detention pond shall be 6' for private detention ponds.
  6. Project outfall/bleeder shall be sized to the 10-YR Pre-developed rate.
  7. Use a lighter line weight for the water and sewer layout to avoid conflicts with the storm layout.
  8. Provide station numbers for storm layout and display them on layout or provide a centerline of roads and reference storm structures to them.
  9. Detention Pond will require a 4' perimeter fence if depth exceeds 2.5 ft.
  10. Label all street widths.
  11. Show all valley gutters. Valley gutters are to be 6' wide.
  12. Provide Street Light Layout Plan. Street lights are to be spaced 250' max. Also, Provide Signage and Striping layout.
  13. Provide approved drainage report prior to recording of the plat.
  14. Show street profiles with any required vertical curves.
  15. Label all street radius and must comply with COE radius requirements.
  16. All street slopes must have a min. slope of 0.2%.
  17. Provide a detention pond, along with cross-sections of the detention areas to verify dimensions and proposed volume. COE Standards notes that all detention must be calculated for a 50YR storm event, with a discharge to nearby storm system at a 10YR storm event conditions.



Show Ditch improvements

manholes on asphalt to have concrete collar

JOB No. 19176.01

BY DATE  
**MELDEN & HUNT INC.**  
 CONSULTANTS • ENGINEERS • SURVEYORS  
 115 W. McINTYRE - EDINBURG, TX 78541  
 PH: (956) 381-0981 - FAX: (956) 381-1839  
 ESTABLISHED 1947 - www.meldenandhunt.com

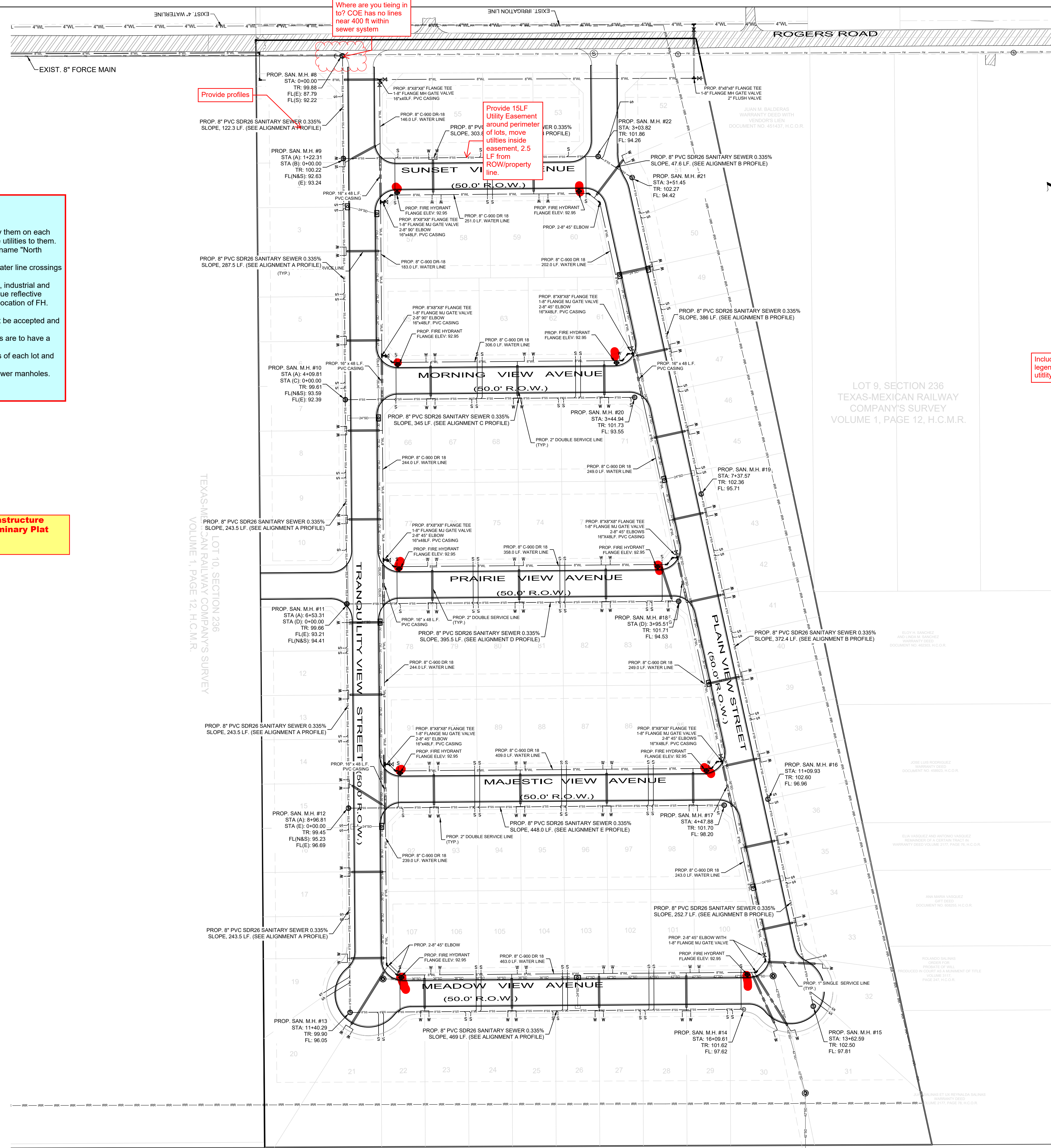
REVISION  
 PROJECT ENG. MARIO REYNA  
 T-BOOK:  
 1. RELEASE DATE:  
 2. RELEASE DATE:  
 3. RELEASE DATE:  
 SCALE: AS NOTED

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW ONLY. IT IS NOT TO BE USED FOR PERMITS, BIDDING OR PERMIT PURPOSES.

VISTA LINDA SUBDIVISION  
 EDINBURG, TEXAS  
 HIDALGO COUNTY

**PROPOSED STORM DRAINAGE PLAN**

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 File Name: VISTA LINDA



**General Utility Comments:**  
**Water, Sharyland CCN**

1. Provide station numbers for all utilities and display them on each layout or provide a centerline of roads and reference utilities to them.
2. Provide a separate sheet for legibility on context, name "North Alamo Water Supply Corporation Detail Sheet."
3. Reduced Density Testing will be required on the water line crossings under roads.
4. Fire Hydrant spacing shall be 300' for commercial, industrial and multi-family areas, every 600' in residential areas. Blue reflective marker to be placed on the centerline pavement for location of FH. Verify if any additional FH are required.
5. Sewer and water lines under roads/parking will not be accepted and must be private.
6. All water lines (Sharyland CCN) underneath streets are to have a min. 3' of cover.
7. Water and SS services are to be on opposite sides of each lot and are not to be in conflict.
8. Water services shall not be adjacent to sanitary sewer manholes.

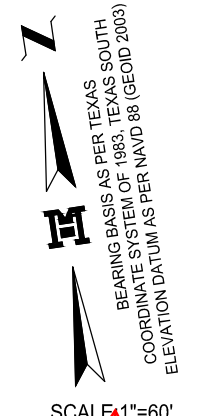
**-If the development wishes to use City of McAllen Infrastructure there must be an agreement set in place prior to Preliminary Plat Submittal**  
**-Project Development cannot tie-in City Sewer**

Where are you tying in to? COE has no lines near 400 ft within sewer system

Provide profiles

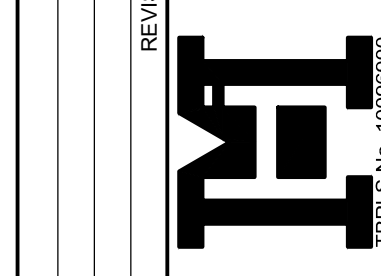
Provide 15LF Utility Easement around perimeter of lots, move utilities inside easement, 2.5 LF from ROW/property line.

Include abbreviated legend and legend for utility symbology



JOB No. 19563.00

BY DATE  
 REVISION  
**MELDEN & HUNT INC.**  
 CONSULTANTS • ENGINEERS • SURVEYORS  
 1115 W. MCINTYRE  
 EDINBURG, TX 78541  
 (936) 468-8999  
 FAX: (936) 361-1891  
 www.meldenhunt.com  
 ESTABLISHED 1947



ENG. TECH. CESAR  
 PROJECT ENG. MARIO REYNA  
 T-BOOK T-1010 PG. 39  
 1. RELEASE DATE:  
 2. RELEASE DATE:  
 3. RELEASE DATE:  
 SCALE: AS NOTED

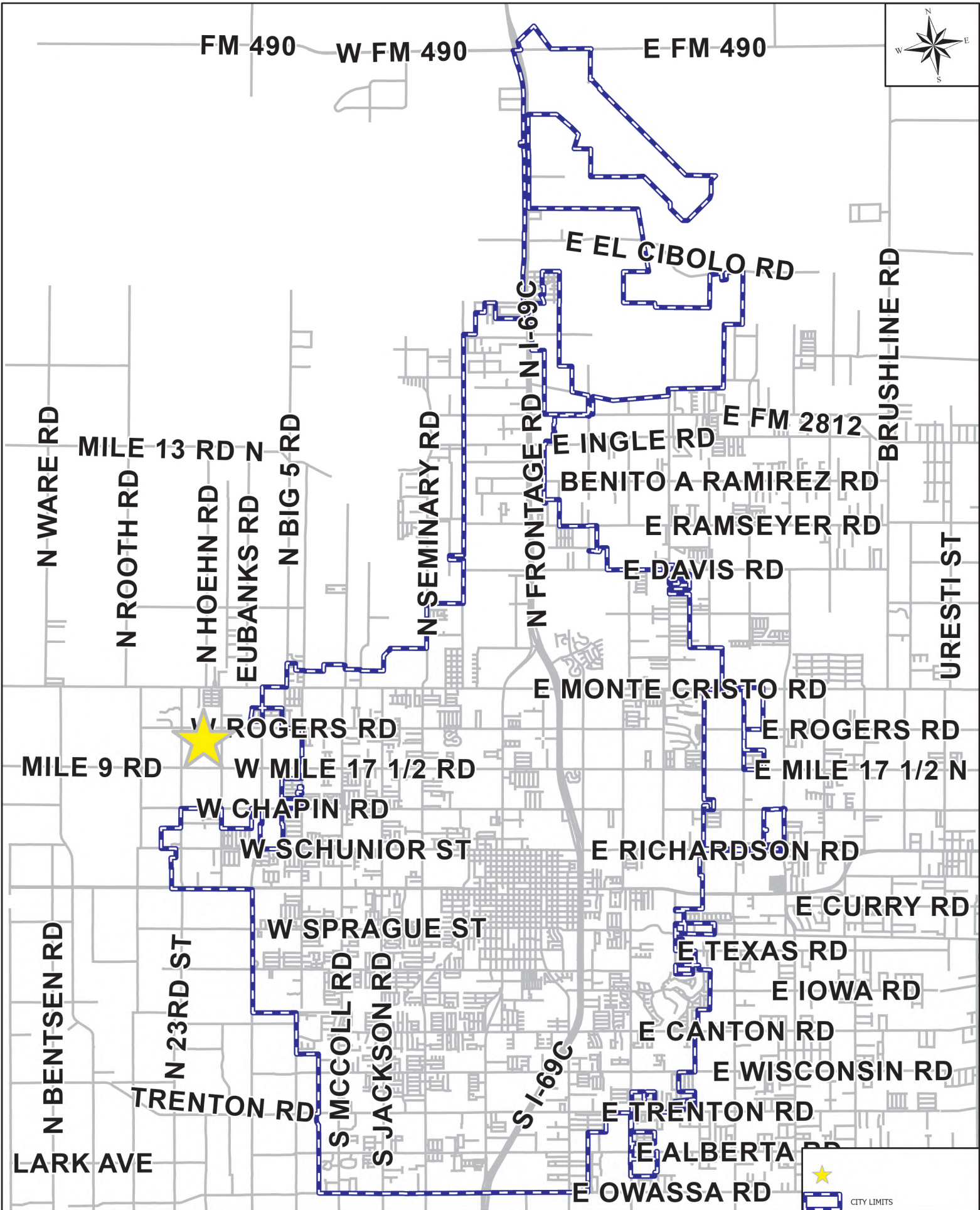
THIS DOCUMENT IS RELEASED FOR REVIEW UNDER THE AUTHORITY OF MARIO A. REYNA, P.E. 117368 IN CONNECTION WITH THE SUBMITTAL TO BE USED FOR CONSTRUCTION BIDDING OR PERMIT PURPOSES.

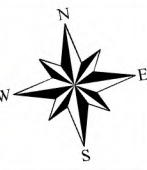
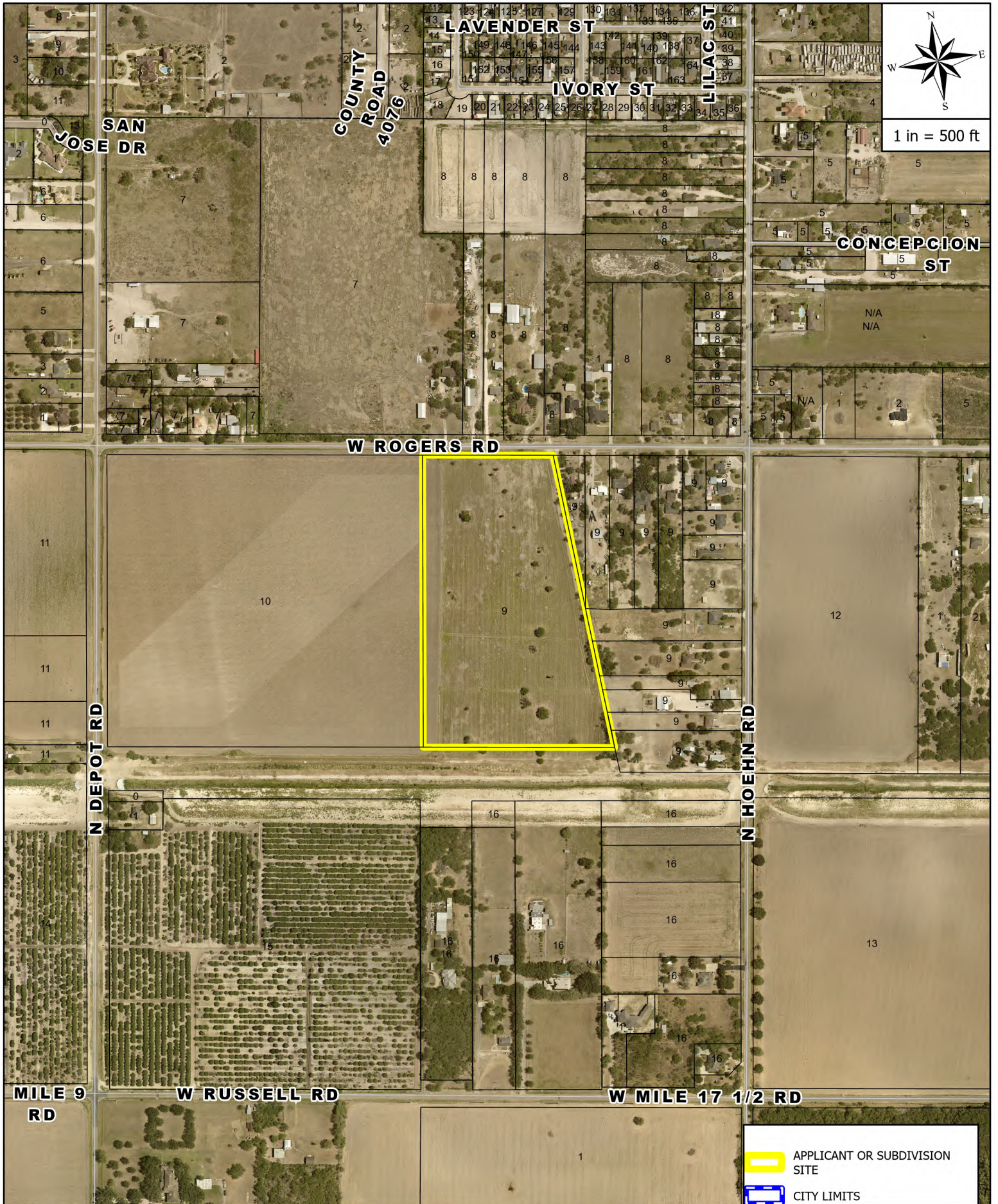
VISTA LINDA SUBDIVISION  
 EDINBURG, TEXAS  
 HIDALGO COUNTY

UTILITY LAYOUT



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 File Name: 17089.00  
 SHEET 1 OF 2

Y:\Land Development\Residential\Edinburg\19563 - Vista Linda - Resubmit\AutoCAD\Map\DWG\Utility Layout.dwg - 12/22/2017.dwg





1 in = 500 ft

-  APPLICANT OR SUBDIVISION SITE
-  CITY LIMITS





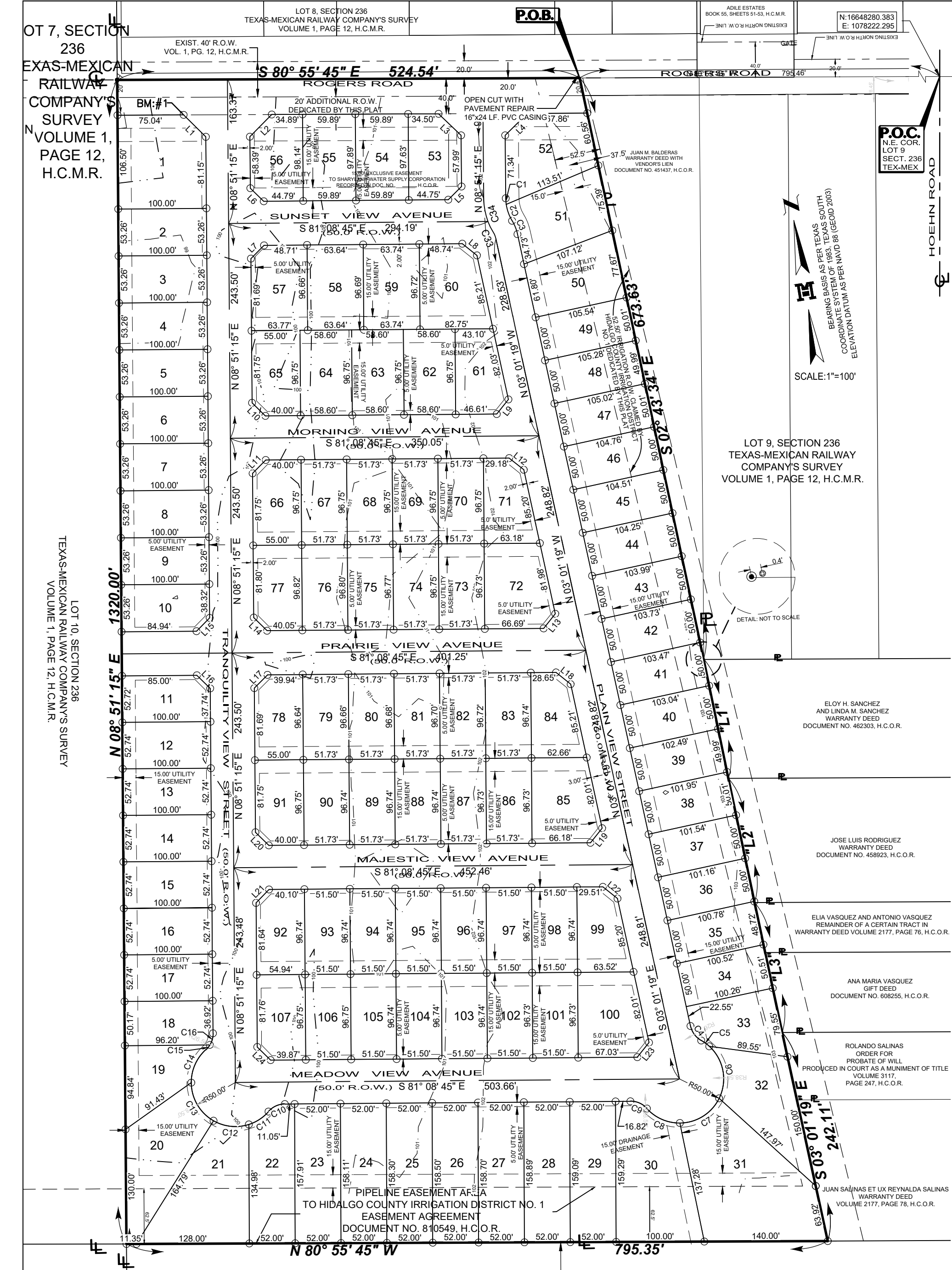
**AERIAL MAP**

**APPLICANT AND/OR SUBDIVISION:**

PLAT 2024-0303 5500 W ROGERS RD - MELDEN & HUNT INC



 APPLICANT OR SUBDIVISION SITE  
 CITY LIMITS



Lot #	SQ. FT.	Area	Lot #	SQ. FT.	Area	Lot #	SQ. FT.	Area	Lot #	SQ. FT.	Area	Lot #	SQ. FT.	Area
1	5,326.00	0.122	22	7,779.12	0.179	42	5,180.13	0.119	62	5,669.49	0.130	82	5,002.84	0.115
2	5,326.00	0.122	23	8,216.29	0.189	43	5,192.87	0.119	63	5,669.49	0.130	83	5,003.82	0.115
3	5,326.00	0.122	24	8,226.52	0.189	44	5,205.89	0.120	64	5,669.49	0.130	84	4,986.73	0.114
4	5,326.00	0.122	25	8,236.74	0.189	45	5,218.80	0.120	65	5,208.70	0.120	85	6,906.22	0.159
5	5,326.00	0.122	26	8,246.97	0.189	46	5,231.71	0.120	66	5,208.70	0.120	86	5,003.88	0.115
6	5,326.00	0.122	27	8,257.19	0.189	47	5,245.11	0.120	67	5,004.83	0.115	87	5,004.06	0.115
7	5,326.00	0.122	28	8,267.42	0.190	48	5,257.03	0.121	68	5,004.83	0.115	88	5,004.23	0.115
8	5,326.00	0.122	29	8,277.61	0.190	49	5,271.09	0.121	69	5,004.83	0.115	89	5,004.41	0.115
9	5,213.57	0.120	30	12,647.44	0.290	50	7,372.13	0.169	70	5,004.83	0.115	90	5,004.59	0.115
10	5,160.65	0.118	31	17,223.71	0.395	51	7,896.31	0.181	71	5,037.48	0.116	91	5,208.63	0.120
11	5,274.00	0.121	32	8,579.42	0.197	52	7,887.17	0.181	72	6,955.10	0.160	92	5,205.57	0.120
12	5,274.00	0.121	33	8,070.22	0.139	53	5,415.26	0.124	73	5,004.21	0.115	93	4,982.11	0.114
13	5,274.00	0.121	34	5,045.32	0.116	54	5,854.24	0.134	74	5,005.44	0.115	94	4,982.11	0.114
14	5,274.00	0.121	35	5,032.42	0.116	55	5,869.59	0.135	75	5,006.66	0.115	95	4,982.11	0.114
15	5,274.00	0.121	36	5,048.52	0.116	56	5,459.05	0.125	76	5,007.89	0.115	96	4,982.11	0.114
16	5,274.00	0.121	37	5,067.65	0.116	57	6,050.36	0.139	77	5,213.32	0.120	97	4,982.11	0.114
17	5,000.75	0.115	38	5,087.26	0.117	58	6,152.27	0.142	78	5,202.43	0.119	98	4,982.11	0.114
18	5,445.49	0.125	39	5,110.64	0.117	59	6,164.06	0.141	79	4,999.91	0.115	99	5,069.19	0.116
19	9,333.38	0.214	40	5,138.37	0.118	60	6,929.54	0.159	80	5,000.89	0.115	100	6,988.74	0.160
20	11,502.33	0.264	41	5,164.39	0.119	61	5,015.22	0.115	81	5,001.87	0.115	101	4,981.61	0.114

Lot #	SQ. FT.	Area
102	4,981.81	0.114
103	4,982.01	0.114
104	4,982.21	0.114
105	4,982.41	0.114
106	4,982.61	0.114
107	5,199.73	0.119

Line #	Length	Direction
"L1"	137.75	S02° 23' 54"E
"L2"	144.41	S02° 35' 01"E
"L3"	150.57	S02° 43' 45"E

Line #	Length	Direction
L1	35.36	S38° 02' 15"E
L2	35.36	N53° 55' 40"E
L3	35.36	N37° 00' 57"W
L4	35.36	N54° 43' 27"E
L5	21.21	N54° 21' 38"E
L6	21.21	N36° 23' 11"W
L7	21.21	S54° 04' 53"W
L8	21.21	S42° 05' 02"E
L9	21.21	S47° 54' 58"W
L10	21.21	N36° 08' 45"W

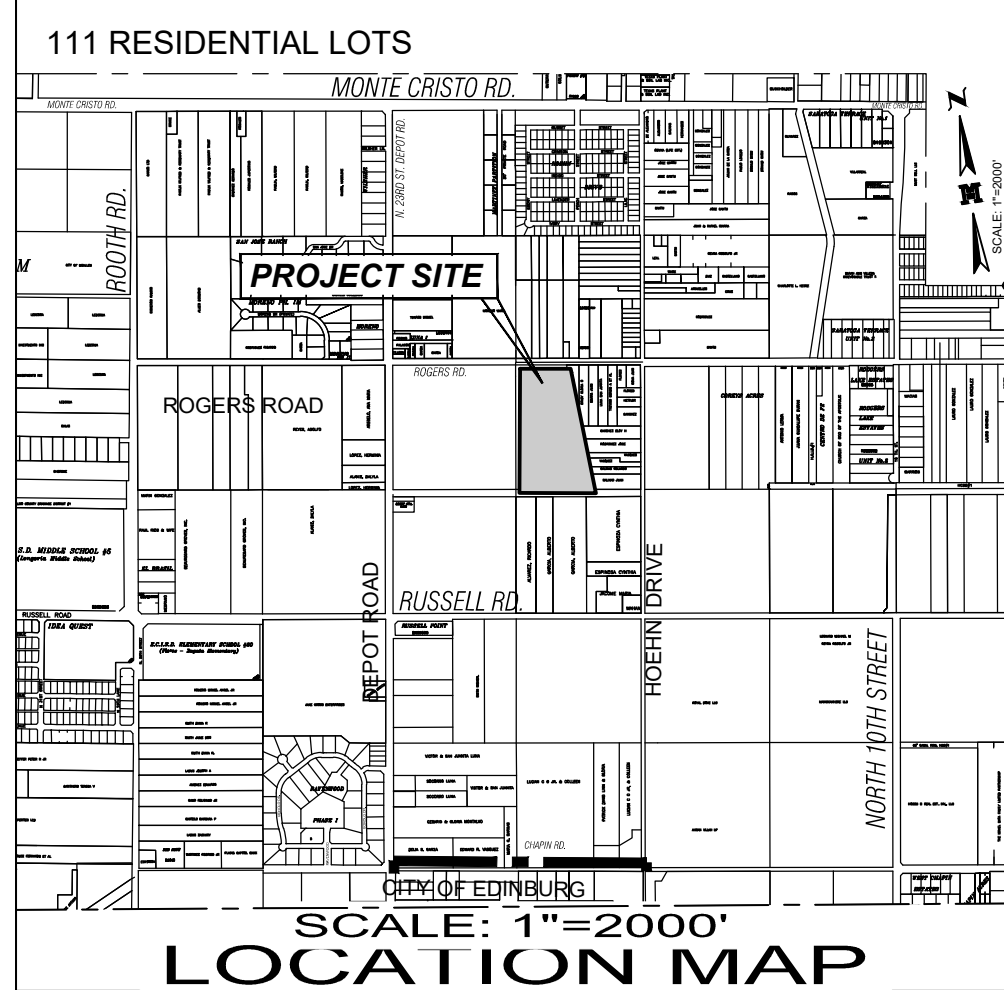
Line #	Length	Direction
L11	21.21	S53° 28' 11"W
L22	21.21	S42° 05' 02"E
L23	21.21	S47° 54' 50"W
L24	21.22	N36° 10' 06"W

**STATE OF TEXAS COUNTY OF HIDALGO**  
 APPROVED BY DRAINAGE DISTRICT:  
 HIDALGO COUNTY DRAINAGE DISTRICT NO. 1  
 RAUL E. SESIN, P.E., C.F.M.  
 GENERAL MANAGER  
 DATE: \_\_\_\_\_

HIDALGO COUNTY IRRIGATION DISTRICT NO. 1  
 THIS PLAT APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 ON THIS  
 THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_.

HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION. ALSO, THERE WILL NOT BE ANY PERMANENT STRUCTURES ON THE DISTRICT RIGHT-OF-WAYS AND/OR EASEMENTS.  
 NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON THE HCD#1 RIGHT-OF-WAYS OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF HCD#1.  
 PRESIDENT \_\_\_\_\_ SECRETARY \_\_\_\_\_

I, THE UNDERSIGNED, MAYOR OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.  
 MAYOR, CITY OF EDINBURG \_\_\_\_\_ DATE: \_\_\_\_\_  
 CITY SECRETARY \_\_\_\_\_ DATE: \_\_\_\_\_  
 DRAWN BY: Gabriel F. DATE: 2-10-21  
 SURVEYED, CHECKED \_\_\_\_\_ DATE: \_\_\_\_\_  
 FINAL CHECK \_\_\_\_\_ DATE: \_\_\_\_\_



MELDEN & HUNT, INC.  
 TEXAS REGIST. # 14336  
 CONSULTANTS • ENGINEERS • SURVEYORS  
 115 W. MCINTYRE - EDINBURG, TX 78541  
 PH: (956) 381-0981 - FAX: (956) 381-1839  
 ESTABLISHED 1947 - www.meldenandhunt.com

# SUBDIVISION MAP OF VISTA LINDA SUBDIVISION

BEING A SUBDIVISION OF 19.985 ACRES SITUATED IN HIDALGO COUNTY, TEXAS, SAID 19.985 ACRES BEING OUT OF LOT 9, SECTION 236, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1, PAGE 12, HIDALGO COUNTY MAP RECORDS

METES AND BOUNDS DESCRIPTION  
 A TRACT OF LAND CONTAINING 19.985 ACRES SITUATED IN HIDALGO COUNTY, TEXAS, SAID 19.985 ACRES BEING OUT OF LOT 9, SECTION 236, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1, PAGE 12, HIDALGO COUNTY MAP RECORDS, WHICH SAID 19.985 ACRES ARE OUT OF A CERTAIN TRACT THAT WAS CONVEYED TO 281-ALBERTA PROPERTIES, LTD., A TEXAS CORPORATION BY VIRTUE OF A WARRANTY DEED WITH VENDOR'S LIEN RECORDED IN INSTRUMENT NUMBER 1560679, HIDALGO COUNTY OFFICIAL RECORDS, SAID 19.985 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 9 (NORTHING: 1664820.838, EASTING: 1078222.295), AND BEING WITHIN THE EXISTING ROAD RIGHTS-OF-WAY OF HOEHN ROAD AND ROGERS ROAD;  
 THENCE, N 80° 55' 45" W ALONG THE NORTH LINE OF SAID LOT 9, A DISTANCE OF 795.46 FEET TO A NAIL SET (NORTHING: 16648406.245, EASTING: 1077438.785) FOR THE NORTHEAST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

- THENCE, S 02° 43' 34" E AT A DISTANCE OF 20.43 FEET PASS A NO. 4 REBAR SET ON THE EXISTING SOUTH RIGHT-OF-WAY LINE OF ROGERS ROAD, CONTINUING A TOTAL DISTANCE OF 673.63 FEET TO AN IRON PIPE FOUND, FOR AN ANGLE POINT OF THIS TRACT;
- THENCE, S 02° 23' 54" E A DISTANCE OF 137.75 FEET TO AN IRON PIPE FOUND FOR AN ANGLE POINT OF THIS TRACT;
- THENCE, S 02° 35' 01" E A DISTANCE OF 144.41 FEET TO AN IRON PIPE FOUND FOR AN ANGLE POINT OF THIS TRACT;
- THENCE, S 02° 43' 45" E A DISTANCE OF 150.60 FEET TO AN NO. 4 REBAR FOUND FOR AN ANGLE POINT OF THIS TRACT;
- THENCE, S 03° 01' 19" E A DISTANCE OF 242.11 FEET TO AN NO. 4 REBAR SET ON THE SOUTH LINE OF SAID LOT 9, FOR THE SOUTHWEST CORNER OF THIS TRACT;
- THENCE, N 80° 55' 45" W ALONG THE SOUTH LINE OF SAID LOT 9, A DISTANCE OF 795.35 FEET TO A NO. 4 REBAR SET AT THE SOUTHWEST CORNER OF SAID LOT 9, FOR THE SOUTHWEST CORNER OF THIS TRACT;
- THENCE, N 08° 51' 15" E ALONG THE WEST LINE OF SAID LOT 9, AT A DISTANCE OF 1,300.00 FEET PASS A NO. 4 REBAR SET ON THE EXISTING SOUTH RIGHT-OF-WAY LINE OF ROGERS ROAD, CONTINUING A TOTAL DISTANCE OF 1,320.00 FEET TO A NAIL SET AT THE NORTHWEST CORNER OF SAID LOT 9, FOR THE NORTHWEST CORNER OF THIS TRACT;
- THENCE, S 80° 55' 45" E ALONG THE NORTH LINE OF SAID LOT 9, AND BEING WITHIN THE EXISTING RIGHT-OF-WAY OF ROGERS ROAD, A DISTANCE OF 524.54 FEET TO THE POINT OF BEGINNING AND CONTAINING 19.985 ACRES, OF WHICH 0.242 OF ONE ACRE LIES WITHIN THE EXISTING RIGHT-OF-WAY OF ROGERS ROAD, LEAVING AN EXISTING NET OF 19.743 ACRES OF LAND, MORE OR LESS.

GENERAL PLAT NOTES & RESTRICTIONS:  
 1. FLOOD ZONE STATEMENT:  
 FLOOD ZONE DESIGNATION: ZONE "X" (UNSHADED); ARE AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.  
 COMMUNITY-PANEL NO. 489334 0325 D EFFECTIVE DATE: JUNE 6, 2000. REVISED TO REFLECT LOMR DATE MAY 17, 2001.

- SETBACKS:  
 FRONT: 25.00 FEET, FRONT CUL-DE-SAC 15.00 FEET  
 REAR: 15.00 FEET OR EASEMENT WHICHEVER IS GREATER  
 SIDE: 6.00 FEET OR EASEMENT WHICHEVER IS GREATER  
 CORNER SIDE: 10.00 FEET CORNER GARAGE SIDE: 18.00 FEET  
 CORNER GARAGE FRONT: 18.00 FEET
- GENERAL NOTE FOR SINGLE FAMILY RESIDENCES:  
 NO MORE THAN ONE SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT. APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPANCY OF THE LOT. SINGLE FAMILY RESIDENCES SHALL INCLUDE THE FOLLOWING: MOBILE HOME, TRAVEL TRAILER, FRAME HOME, AND SLAB HOME.
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" TOP OF CURB OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME OF APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISHED FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION.
- THE FOLLOWING BENCHMARKS ARE IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS. DATUM BASED ON TEXAS SOUTH 4205 ELEVATION PER NAVD 88 (GEOID 2003)  
 -38-M NO. 1 MHI ALUMINUM DISK SET IN CONCRETE ALONG THE SOUTH RIGHT-OF-WAY OF ROGERS ROAD AT THE NORTH CORNER CLIP OF LOT 1, N-16648436.990, E-1078990.490, ELEV. 101.70.  
 -38-M NO. 2 MHI ALUMINUM DISK SET IN CONCRETE ALONG THE NORTH RIGHT-OF-WAY OF MEADOW VIEW AVENUE AT THE SOUTH CLIP OF LOT 68 OF LOT OF THIS PLAT, N-16647299.200, E-1077326.500, ELEV. 101.75.
- IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 105,014 CUBIC FEET 2.411 (ACRE-FEET) OF STORM WATER RUNOFF. DRAINAGE DETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS: DETENTION WILL BE PROVIDED BY THE WIDENING OF A DRAIN DITCH ALONG THE SOUTH SIDE OF THIS DEVELOPMENT.
- ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISH GRADE FROM THE REAR OF THE LOT TO THE CURB AT A 0.25% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY APPENDIX 5, COUNTY CONSTRUCTION.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- EACH PURCHASE CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.
- ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT, DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPANCY AN EASEMENT.
- AS PER LOCAL GOVERNMENT CODE REQUIREMENTS, SANITARY SEWER MUST BE CONNECTED TO A RESIDENCE PRIOR TO THE COUNTY PROCESSING A FINAL CLEARANCE FOR A WATER METER. A SEWER TAP INSPECTION SHALL BE PROVIDED FROM THE ENTITY SERVICE PROVIDER PRIOR TO RECEIVING A CLEARANCE FOR WATER METERS.
- ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
- LOT OWNERS SHALL INSTALL A REQUIRED 5' SIDEWALK ALONG BOTH SIDE OF INTERIOR STREET AT BUILDING PERMIT STAGE. SIDEWALK SHALL BE LOCATED 3 FEET BEHIND LAYBACK CURB. ADA RAMP SHALL BE INSTALLED AT ALL STREET INTERSECTIONS DURING CONSTRUCTION OF THIS SUBDIVISION. AS PER CITY OF EDINBURG STANDARDS AT BUILDING PERMIT STAGE.
- A 5 FOOT SIDEWALK WILL BE REQUIRED ALONG THE SOUTH RIGHT-OF-WAY OF ROGERS ROAD BY THE DEVELOPER.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETAINED. AT THE DEVELOPMENT, DATE THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT. DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
- LOTS 1, 55-60 SHALL NOT HAVE ACCESS/DRIVEWAYS ONTO ROGERS ROAD. DEVELOPER WILL BE REQUIRED TO INSTALL A BUFFER FENCE ABUTTING ROGERS ROAD.

ALL SHARYLAND WATER SUPPLY CORPORATION EASEMENTS ARE EXCLUSIVE. NO OTHER USE OF THE EASEMENTS ARE PERMITTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF SHARYLAND WATER SUPPLY CORPORATION.

I, SHERILYN DAHLBERG, HEREBY CONDITIONALLY CERTIFY THAT POTABLE WATER SERVICE IS AVAILABLE FOR THE VISTA LINDA SUBDIVISION LOCATED AT THE CITY OF EDINBURG IN HIDALGO COUNTY, TEXAS, SUBJECT TO THE SUBDIVISIONS POTABLE WATER SYSTEM MEETING THE APPROVAL OF THE DEVELOPER'S DESIGN ENGINEER. ALL APPLICABLE RULES AND REGULATIONS OF SHARYLAND WATER SUPPLY CORPORATION, AND LOCAL, STATE, AND FEDERAL AGENCIES.

DEVELOPER AND DESIGN ENGINEER SHALL BEAR FULL RESPONSIBILITY TO ENSURE THAT THE ABOVE REFERENCED POTABLE WATER SYSTEM IS CONSTRUCTED WITHIN THE DESIGNATED SHARYLAND WATER SUPPLY CORPORATION EXCLUSIVE EASEMENT.

SHERILYN DAHLBERG  
 GENERAL MANAGER  
 SHARYLAND WATER SUPPLY CORPORATION

NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER:	AARON A. AGUIRRE	4405 N 22nd STREET	McAlLEN, TX 78504	(956) 331-8987
ENGINEER:	MARIO A. REYNA, P.E.	115 W. MCINTYRE	EDINBURG, TX 78541	(956) 381-0981 (956) 381-1839
SURVEYOR:	FRED L. KURTH, R.P.L.S.	115 W. MCINTYRE	EDINBURG, TX 78541	(956) 381-0981 (956) 381-1839

STATE OF TEXAS COUNTY OF HIDALGO  
 I, AARON A. AGUIRRE, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS VISTA LINDA SUBDIVISION, DO HEREBY GRANT AN EASEMENT TO THE CITY OF EDINBURG AND THOSE WHO MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY. THE STREETS, STREET LIGHTS, TRAFFIC CONTROL DEVICES, SIDEWALKS AND OTHER IMPROVEMENTS AND EASEMENTS THEREON SHOWN, SURFACE USE OF THE STREET AND ALLEYS IS RESTRICTED TO THE EMPLOYEES OR AGENTS OF THE CITY OF EDINBURG. EMPLOYEES OF UTILITIES OPERATING UNDER FRANCHISE TO THE CITY ON EDINBURG AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS, THE STREETS, AS REFLECTED UPON THE SUBDIVISION PLAT, HAVE NOT BEEN DEDICATED TO THE PUBLIC FOR PUBLIC ACCESS NOR HAVE BEEN ACCEPTED BY THE CITY AS PUBLIC IMPROVEMENTS, AND THE STREETS, STREET LIGHTS, TRAFFIC CONTROL DEVICES, SIDEWALKS AND OTHER IMPROVEMENTS SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION WITHIN THE SUBDIVISION. THE STREETS SHALL ALWAYS BE OPEN TO EMERGENCY VEHICLES, PUBLIC AND PRIVATE UTILITY SERVICE PERSONNEL, THE U.S. POSTAL SERVICE AND GOVERNMENTAL EMPLOYEES IN PURSUIT OF THEIR OFFICIAL DUTIES. THE OWNERS OF LOTS SERVED BY THE PRIVATE STREETS, ALLEYS, AND ACCESS EASEMENTS WITHIN THIS PLAT AGREE TO RELEASE, INDEMNIFY, DEFEND AND HOLD HARMLESS ANY GOVERNMENTAL ENTITY FOR DAMAGES TO THE PRIVATE STREETS, ALLEYS, AND ACCESS EASEMENTS OCCASIONED BY THE REASONABLE USE THEREOF BY THE GOVERNMENTS ENTITY FOR GOVERNMENTAL PURPOSES. AND TO RELEASE, INDEMNIFY, DEFEND AND HOLD HARMLESS ANY GOVERNMENTAL ENTITY FOR DAMAGES ARISING FROM THE CONDITION OF PRIVATE STREETS, ALLEYS, OR PRIVATE ACCESS EASEMENTS. THE MAINTENANCE OF PRIVATE STREET SIGNS SHALL NOT BE RESPONSIBILITY OF THE CITY OF EDINBURG.

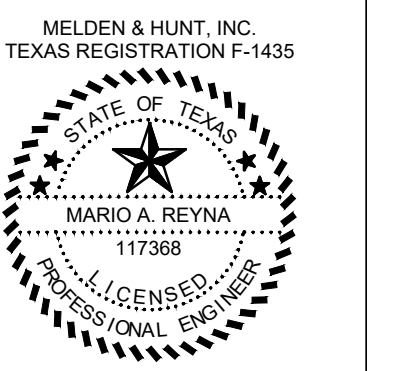
RIVERSIDE DEVELOPMENT SERVICES, L.L.C. DATE: \_\_\_\_\_  
 AARON A. AGUIRRE, MANAGER  
 4405 N 22nd STREET  
 McAlLEN, TEXAS 78504

STATE OF TEXAS COUNTY OF HIDALGO:  
 BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED AARON A. AGUIRRE, AND KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO, BEING BY ME, FIRST DULY SWORN AND DECLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREBY EXPRESSED.  
 GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC IN THE STATE OF TEXAS  
 MY COMMISSION EXPIRES: \_\_\_\_\_

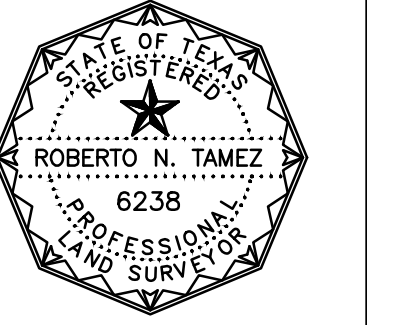
STATE OF TEXAS COUNTY OF HIDALGO  
 I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT AND IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

MARIO A. REYNA, PE # 117368 DATE SURVEYED: 09-03-2018 JOB NO. 19176.00  
 DATE: \_\_\_\_\_



STATE OF TEXAS COUNTY OF HIDALGO  
 I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OR OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF EDINBURG, TEXAS.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.



ROBERTO N. TAMEZ, PROFESSIONAL LAND SURVEYOR NO. 6238  
 STATE OF TEXAS  
 DATE SURVEYED: 09/03/2018  
 T-1044, PG. 29-31  
 SURVEY JOB # 19563.08

I, THE UNDERSIGNED, CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, TEXAS DO HEREBY CERTIFY THE MINOR SUBDIVISION PLAT KNOWN AS VISTA LINDA SUBDIVISION CONFORMS TO ALL SUBDIVISION REQUIREMENTS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED AND HAS BEEN APPROVED FOR RECORDING ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.

CHAIRPERSON PLANNING AND ZONING COMMISSION

HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL UNDER LOCAL GOVERNMENT CODE § 232.028 (A)  
 WE, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF VISTA LINDA SUBDIVISION WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS COURT ON \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.  
 HIDALGO COUNTY JUDGE \_\_\_\_\_ DATE: \_\_\_\_\_  
 ATTEST: HIDALGO COUNTY CLERK \_\_\_\_\_ DATE: \_\_\_\_\_



FILED FOR RECORD IN HIDALGO COUNTY ARTURO GUJARDO, JR. HIDALGO COUNTY CLERK  
 ON \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
 INSTRUMENT NUMBER \_\_\_\_\_ OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS  
 BY: \_\_\_\_\_ DEPUTY



**STAFF REPORT: GARDEN WALK AT CANTON SUBDIVISION**

Date Prepared: October 31, 2025  
Planning and Zoning Meeting: November 20, 2025  
Final Plat Approval

---

**Subject:** Consider the Final Plat approval of Garden Walk at Canton Subdivision, being 8.48-acres tract of land out a 24.99 acre tract of land out of Lot 4, Block 1, John Closser Subdivision, Hidalgo County, Texas, according to the map recorded in Volume 0, Page 4 and 5, Hidalgo County Map Records, located at 2020 East Canton Road, as requested by Rio Delta Engineering.

**Location:** The property is located on the south side of East Canton Road and approximately 1,560 feet east of S. Interstate-69C, and within the City of Edinburg City Limits.

**Zoning:** Property zoning is currently Residential, Urban and Townhome (RU) District.

**Setbacks:** UDC Setbacks for Residential, Urban and Townhome (RU) District, Front 10 ft., Side 6 ft. or 0 ft. if fire rated, Side Street yard 10 ft., Rear 10 ft., and Garage 18 ft.

**Analysis:** The Final Plat development consists of 80 Single Family Residential lots averaging approximately 2,963.45 square feet.

**Utilities:** Water Distribution System will be provided by North Alamo Water Supply Corporation, and with City of Edinburg Sanitary Sewer Collection System requirements. All utility improvements within the proposed subdivision that are not limited to water system, sewer system, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2021 Standards Manual.

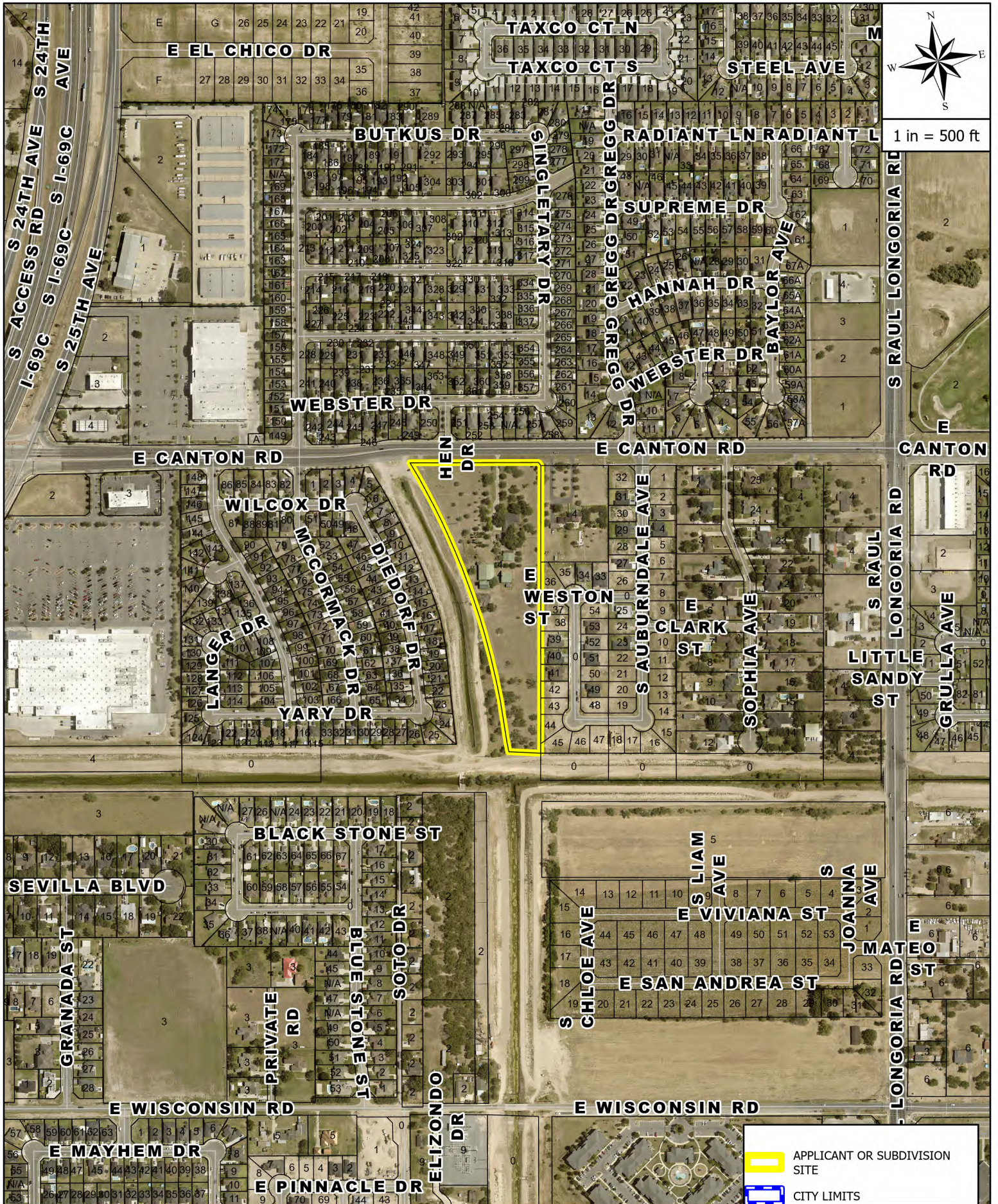
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Recommendations:

**City of Edinburg Planning & Zoning Department:**



Staff recommends approval of the Final Plat, subject to compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.





1 in = 500 ft



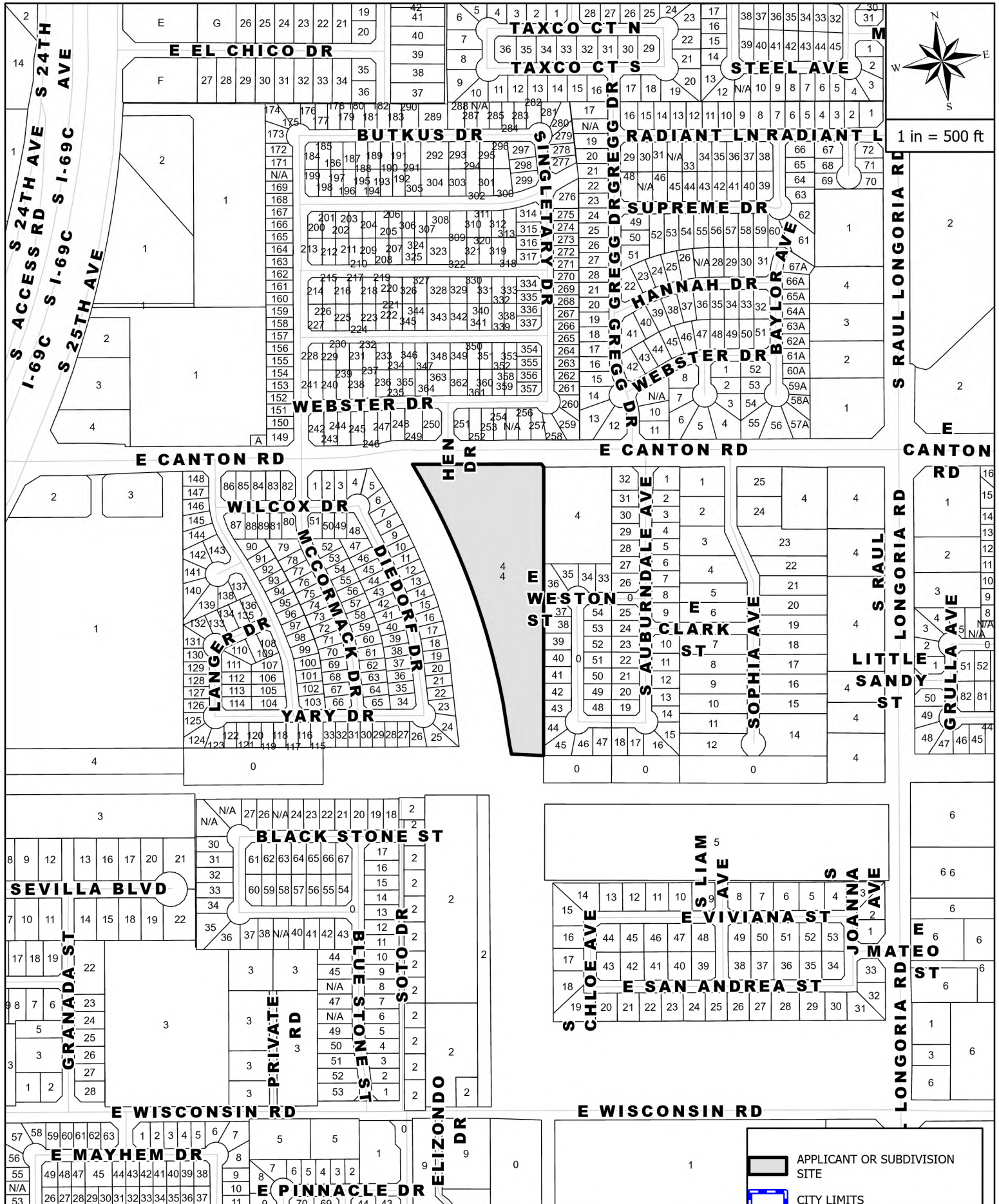
-  APPLICANT OR SUBDIVISION SITE
-  CITY LIMITS

**AERIAL MAP**

**APPLICANT AND/OR SUBDIVISION:**

PLAT-2024-0298 GARDEN WALK AT CANTON SUBDIVISION





**MAILOUT AND SITE MAP**  
**APPLICANT AND/OR SUBDIVISION:**  
 PLAT-2024-0298 GARDEN WALK AT CANTON SUBDIVISION







**STAFF REPORT: SAPPHIRE AT LA SIENNA PHASE I SUBDIVISION**

Date Prepared: November 3, 2025  
Planning and Zoning Meeting: November 20, 2025  
Final Plat Approval

---

**Subject:** Consider the Final Plat approval of Sapphire At La Sienna Phase I Subdivision, being a 18.682 acres tract of land out of Lots 50, 51, and 52, Santa Cruz Ranch Subdivision, according to the plat or map thereof recorded in Volume Z, Page 161, Hidalgo County Map Records, located at 4401 La Sienna Parkway, as requested by Melden & Hunt, Inc.

**Location:** The property is located along La Sienna Parkway, and is within the City of Edinburg City Limits.

**Zoning:** Property zoning is currently Residential, Primary (RP) District.

**Required Setbacks:** UDC Setbacks for Residential, Primary (RP) District, Front 20 ft., Side 6 ft., Side Corner 10 ft., Garage 18 ft., and Rear 20 ft.

**Proposed Setbacks:** Residential, Primary (RP) District, Front 20 ft., Side 6 ft., Side Corner 10 ft., Garage 18 ft., and Rear 10 ft.

**Analysis:** The Final Plat development consists of 69 Single Family Residential lots averaging approximately 8,207.34 square feet.

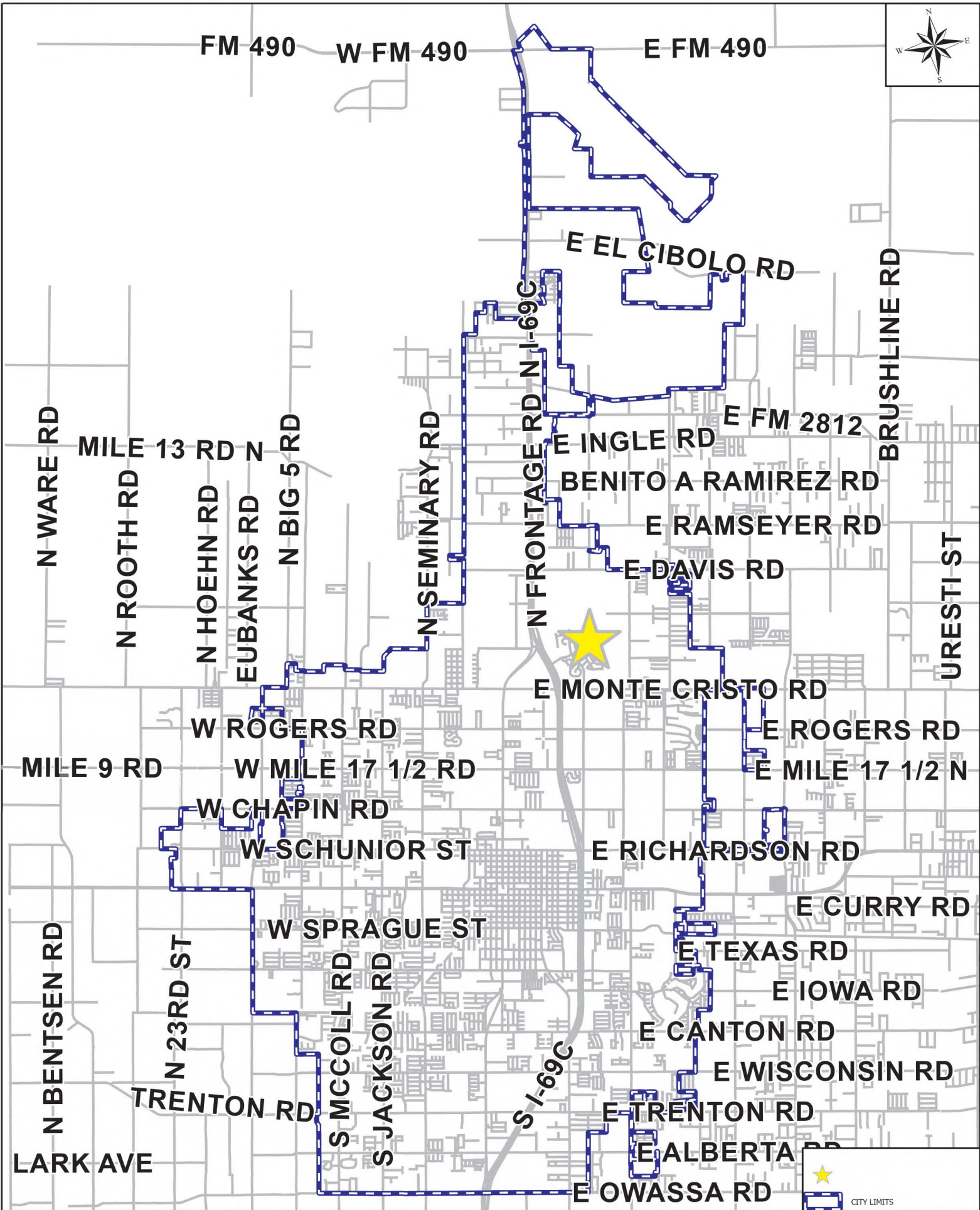
**Utilities:** Water Distribution System and Sanitary Sewer Collection System will be provided by the City of Edinburg. All utility improvements within the proposed subdivision that are not limited to water system, sewer system, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2021 Standards Manual.

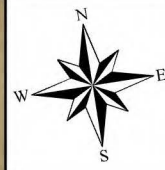
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**Recommendations:**

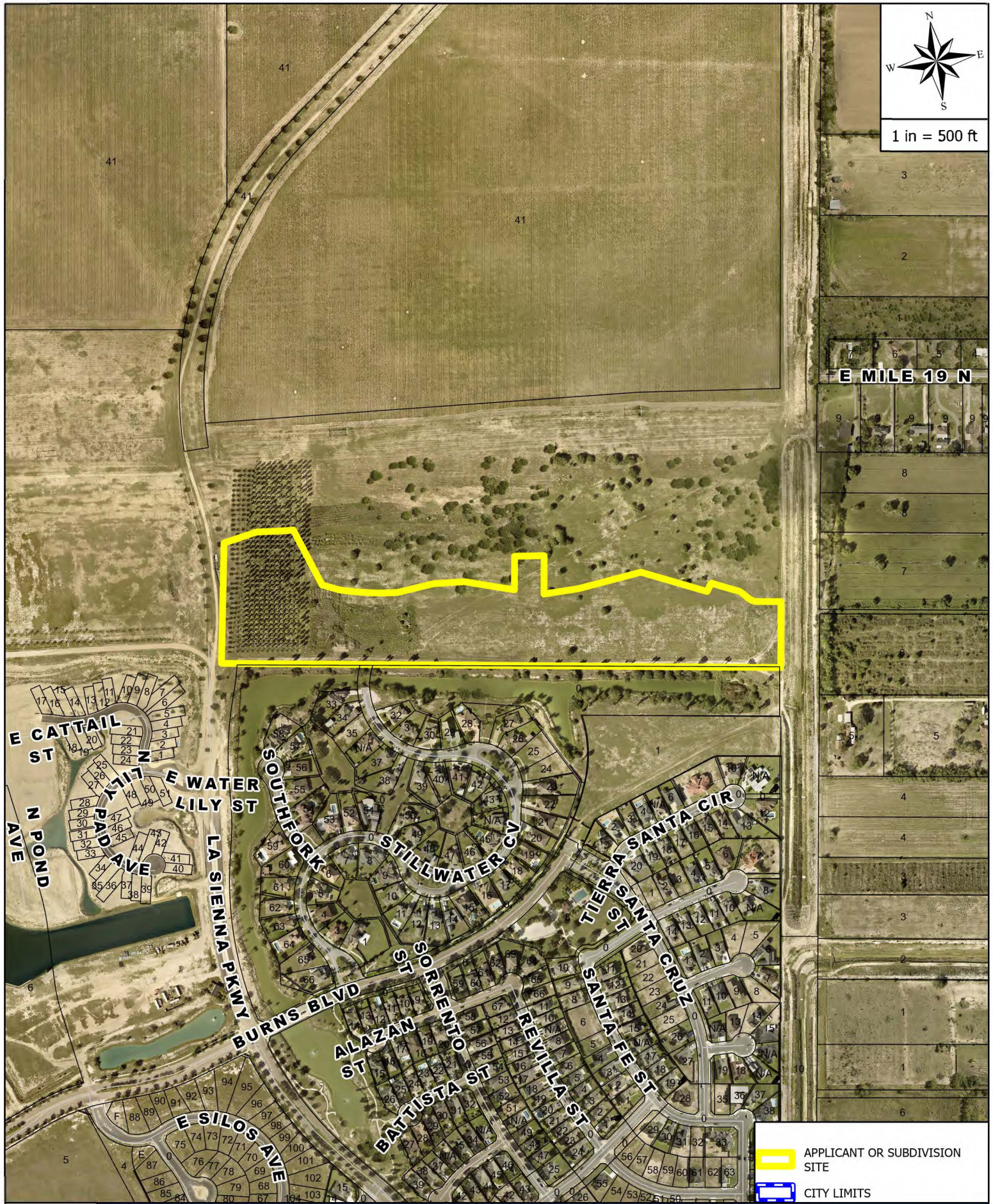
**City of Edinburg Planning & Zoning Department:**



Staff recommends approval of the Final Plat, subject to compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.





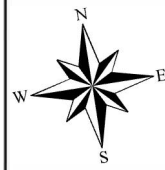
1 in = 500 ft



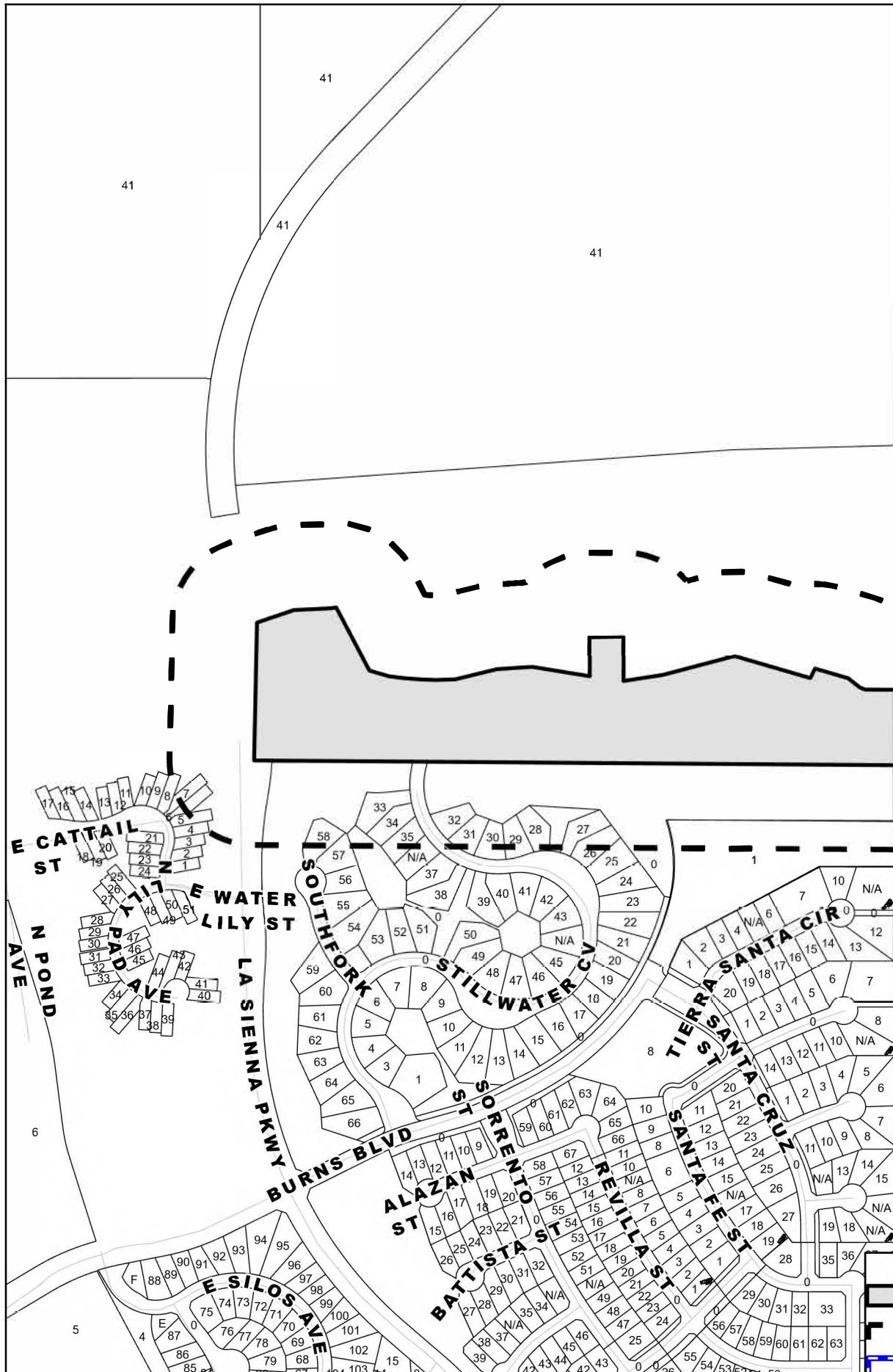
-  APPLICANT OR SUBDIVISION SITE
-  CITY LIMITS



**AERIAL MAP**  
**APPLICANT AND/OR SUBDIVISION:**  
 PLAT-2024 SAPPHIRE AT LA SIENNA PHASE I



1 in = 500 ft

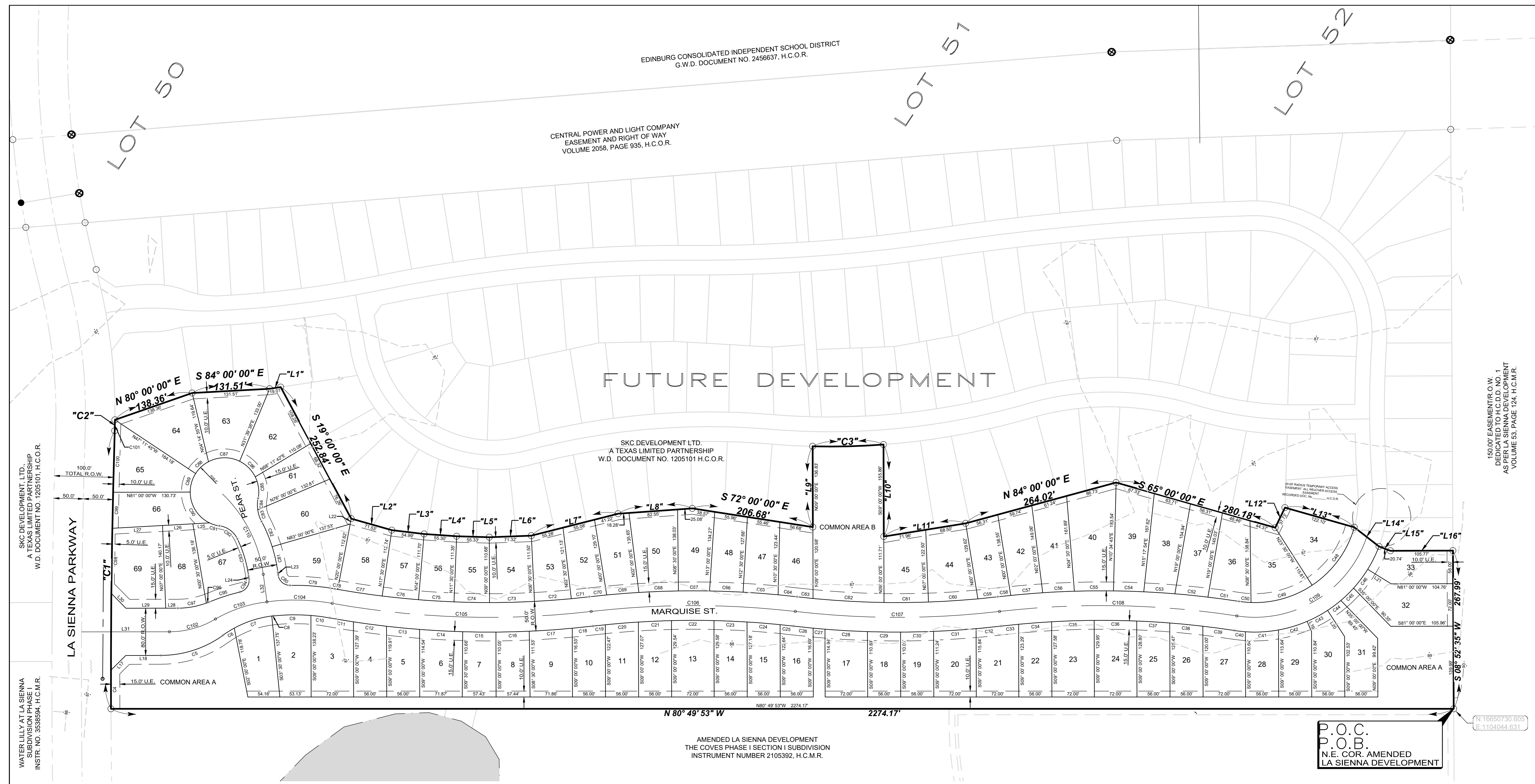


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- APPLICANT OR SUBDIVISION SITE
- 300FT NOTIFICATION
- CITY LIMITS



**MAILOUT AND SITE MAP**  
**APPLICANT AND/OR SUBDIVISION:**  
 PLAT-2024 SAPPHIRE AT LA SIENNA PHASE I



STATE OF TEXAS  
COUNTY OF HIDALGO:

IWE THE UNDERSIGNED OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HERIN AS SAPPHIRE AT LA SIENNA PHASE I SUBDIVISION SO HEREBY GRANT AN EASEMENT TO THE CITY OF EDINBURG AND THOSE WHO MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY, THE STREETS, STREET LIGHTS, TRAFFIC CONTROL DEVICES, SIDEWALKS, AND OTHER IMPROVEMENTS AND EASEMENTS THEREON SHOWN SURFACE USE OF THE STREET AND ALLEYS IS RESTRICTED TO THE EMPLOYEES OR AGENTS OF THE CITY OF EDINBURG AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS. THE STREETS AS REFLECTED UPON THE SUBDIVISION PLAT HAVE NOT BEEN DEDICATED TO THE PUBLIC FOR PUBLIC ACCESS NOR HAVE BEEN ACCEPTED BY THE CITY AS PUBLIC IMPROVEMENTS AND THE STREETS, STREET LIGHTS, TRAFFIC CONTROL DEVICES, SIDEWALKS AND OTHER IMPROVEMENTS SHALL BE MAINTAINED BY THE HOMEOWNER ASSOCIATION WITHIN THE SUBDIVISION. THE STREETS SHALL ALWAYS BE OPEN TO EMERGENCY VEHICLES, PUBLIC AND PRIVATE UTILITY SERVICE PERSONNEL, THE U.S. POSTAL SERVICE AND GOVERNMENTAL EMPLOYEES IN PURSUIT OF THEIR OFFICIAL DUTIES. THE OWNERS OF LOTS SERVED BY THE PRIVATE STREETS, ALLEYS, AND ACCESS EASEMENTS WITHIN THIS PLAT AGREE TO RELEASE, INDEMNIFY, DEFEND AND HOLD HARMLESS ANY GOVERNMENTAL ENTITY FOR THE DAMAGES TO THE PRIVATE STREETS, ALLEYS, AND ACCESS EASEMENTS OCCASIONED BY THE REASONABLE USE THEREOF BY THE GOVERNMENTAL ENTITY FOR GOVERNMENTAL PURPOSES AND TO RELEASE, INDEMNIFY, DEFEND AND HOLD HARMLESS ANY GOVERNMENTAL ENTITY FOR DAMAGES ARISING FROM THE CONDITION OF PRIVATE STREETS, ALLEYS, OR PRIVATE ACCESS EASEMENTS. THE MAINTENANCE OF PRIVATE STREET SIGNS SHALL NOT BE THE RESPONSIBILITY OF THE CITY OF EDINBURG.

SAPPHIRE AT LA SIENNA SPE, LLC  
A TEXAS LIMITED LIABILITY COMPANY

BY: \_\_\_\_\_  
NICK RHODES, MANAGER

SCALE: 1"=100'

STATE OF TEXAS  
COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED NICK RHODES, MANAGER OF SAPPHIRE AT LA SIENNA SPE, LLC, PROVED TO ME THROUGH HIS TEXAS DEPARTMENT OF PUBLIC SAFETY DRIVER LICENSE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO, BEING BY ME FIRST DULY SWORN, DECLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT AND ACKNOWLEDGED THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATION THEREBY EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025

NOTARY PUBLIC, STATE OF TEXAS

STATE OF TEXAS  
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

MARIO A. REYNA, PROFESSIONAL ENGINEER No. 117368  
STATE OF TEXAS

DATE PREPARED: 09/20/2024  
ENGINEERING JOB # 24133.00

MELDEN & HUNT, INC.  
TEXAS REGISTRATION F-1435

STATE OF TEXAS  
COUNTY OF HIDALGO §

I, THE UNDERSIGNED, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND BY ME OR UNDER MY SUPERVISION.

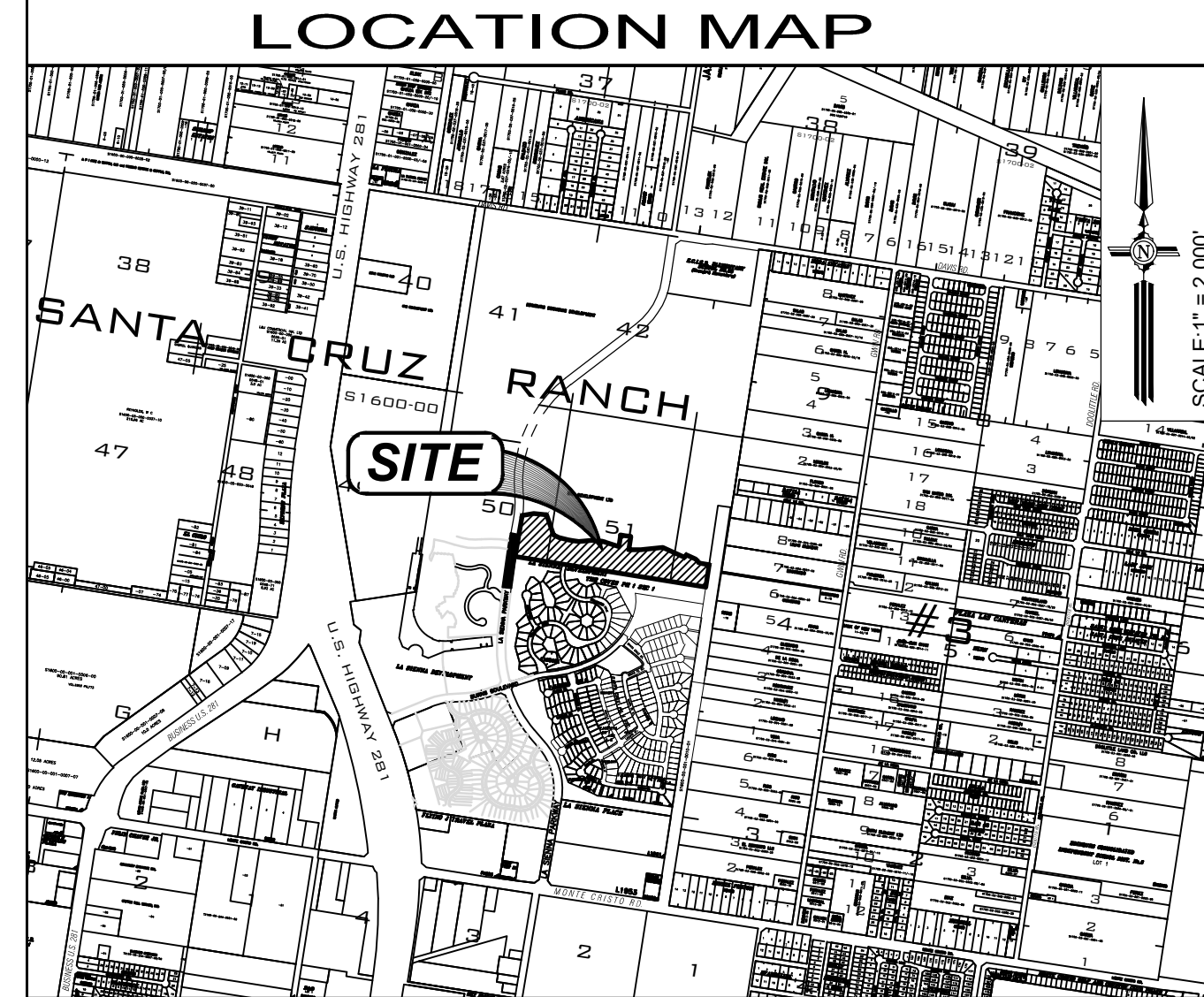
DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

ROBERTO N. TAMEZ REGISTERED PROFESSIONAL LAND SURVEYOR No. 6238  
STATE OF TEXAS

DATE SURVEYED: 08/26/2024  
SURVEYING JOB NO. 24678.08

SUBDIVISION MAP OF  
**SAPPHIRE AT LA SIENNA  
PHASE I SUBDIVISION**

BEING A SUBDIVISION OF 18.682 ACRES SITUATED IN THE CITY OF EDINBURG, HIDALGO COUNTY, TEXAS, BEING OUT OF LOTS 50, 51 AND 52, SANTA CRUZ RANCH SUBDIVISION ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN VOLUME Z, PAGE 161, HIDALGO COUNTY MAP RECORDS



DRAWN BY: J.L.G. DATE 01-21-2025  
SURVEYED, CHECKED \_\_\_\_\_ DATE \_\_\_\_\_  
FINAL CHECK \_\_\_\_\_ DATE \_\_\_\_\_

**M** MELDEN & HUNT, INC.  
CONSULTANTS • ENGINEERS • SURVEYORS

115 W. McINTYRE - EDINBURG, TX 78541  
PH: (956) 381-0981 - FAX: (956) 381-1839  
ESTABLISHED 1947 - www.meldenandhunt.com

PRINCIPAL CONTACTS	NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER:	KENT BURNS	4216 N. U.S. 281	EDINBURG TX 78542	C/0956-381-0981	C/0956-381-1839
ENGINEER:	MARIO A. REYNA	115 W. McINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839
SURVEYOR:	ROBERTO N. TAMEZ	115 W. McINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839

STATE OF TEXAS  
COUNTY OF HIDALGO

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS/HER ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.  
GENERAL MANAGER

DATE \_\_\_\_\_

I, THE UNDERSIGNED, MAYOR OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR CITY OF EDINBURG \_\_\_\_\_ DATE \_\_\_\_\_

CITY SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

I, THE UNDERSIGNED, CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT KNOWN AS SAPPHIRE AT LA SIENNA PHASE I SUBDIVISION CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

AND HAS BEEN APPROVED FOR RECORDING ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

CHAIRPERSON PLANNING AND ZONING COMMISSION \_\_\_\_\_

FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUAJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: \_\_\_\_\_ DEPUTY



**STAFF REPORT: VILLAS AT LA SIENNA SUBDIVISION**

Date Prepared: November 3, 2025  
Planning and Zoning Meeting: November 20, 2025

**Final Plat Approval**

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**Subject:** Consider the Final Plat approval of Villas At La Sienna Subdivision, being a 4.906 acres tract of land out of Lot 1, La Sienna Development, according to the plat or map thereof recorded in Volume 53, Page 124, Hidalgo County Map Records, located at 1891 Burns Boulevard, as requested by Melden & Hunt, Inc.

**Location:** The property is located along Burns Boulevard, and is within the City of Edinburg City Limits.

**Zoning:** Property zoning is currently Residential, Primary (RP) District.

**Required Setbacks:** UDC Setbacks for Residential, Primary (RP) District, Front 20 ft., Side 6 ft., Side Corner 10 ft., Garage 18 ft., and Rear 20 ft.

**Proposed Setbacks:** Residential, Primary (RP) District, Front 20 ft., Side 6 ft., Side Corner 10 ft., Garage 18 ft., and Rear 10 ft.

**Analysis:** The Final Plat development consists of 39 Single Family Residential lots averaging approximately 4,057.00 square feet.

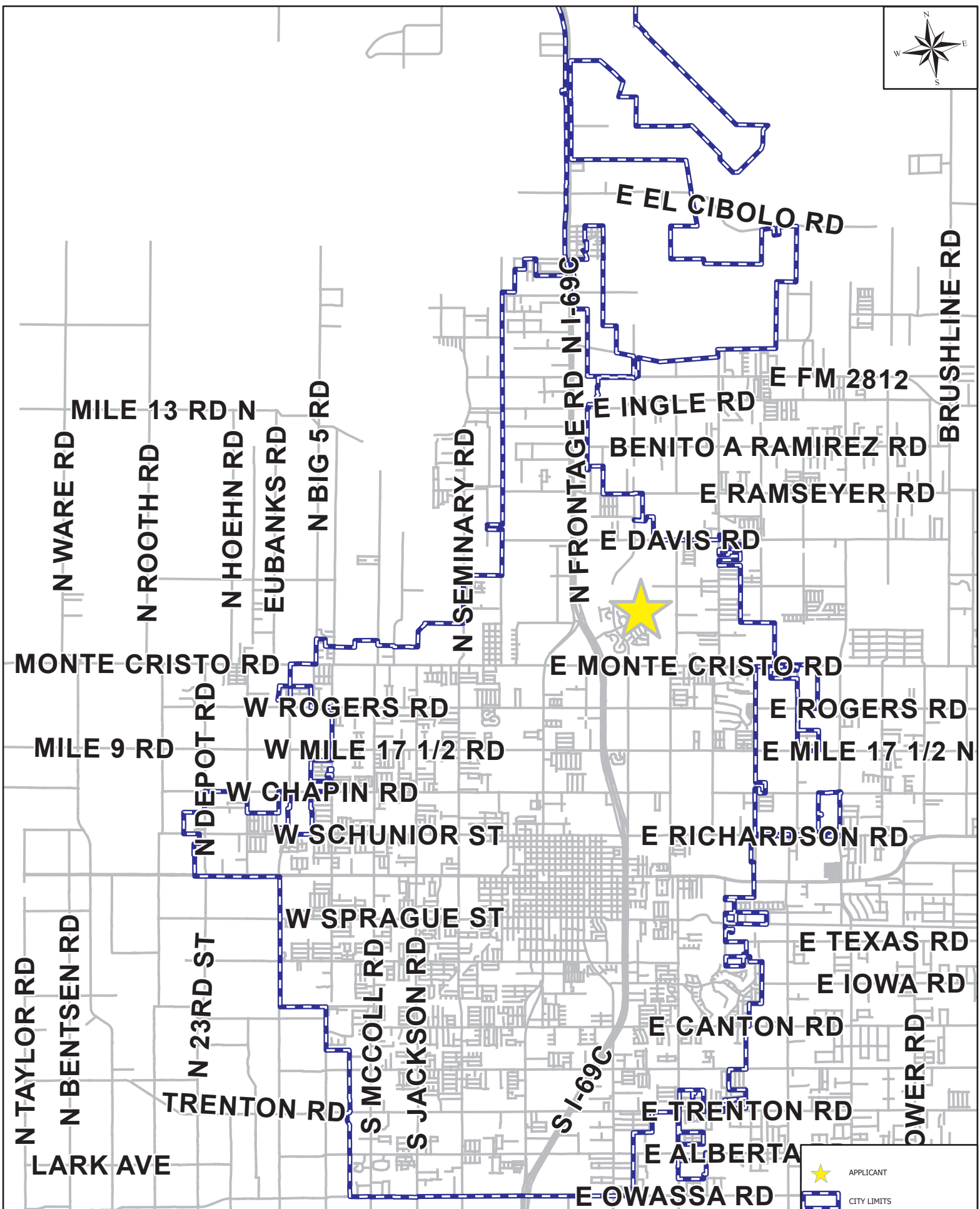
**Utilities:** Water Distribution System and Sanitary Sewer Collection System will be provided by the City of Edinburg. All utility improvements within the proposed subdivision that are not limited to water system, sewer system, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2021 Standards Manual.

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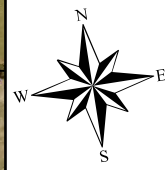
**Recommendations:**

**City of Edinburg Planning & Zoning Department:**

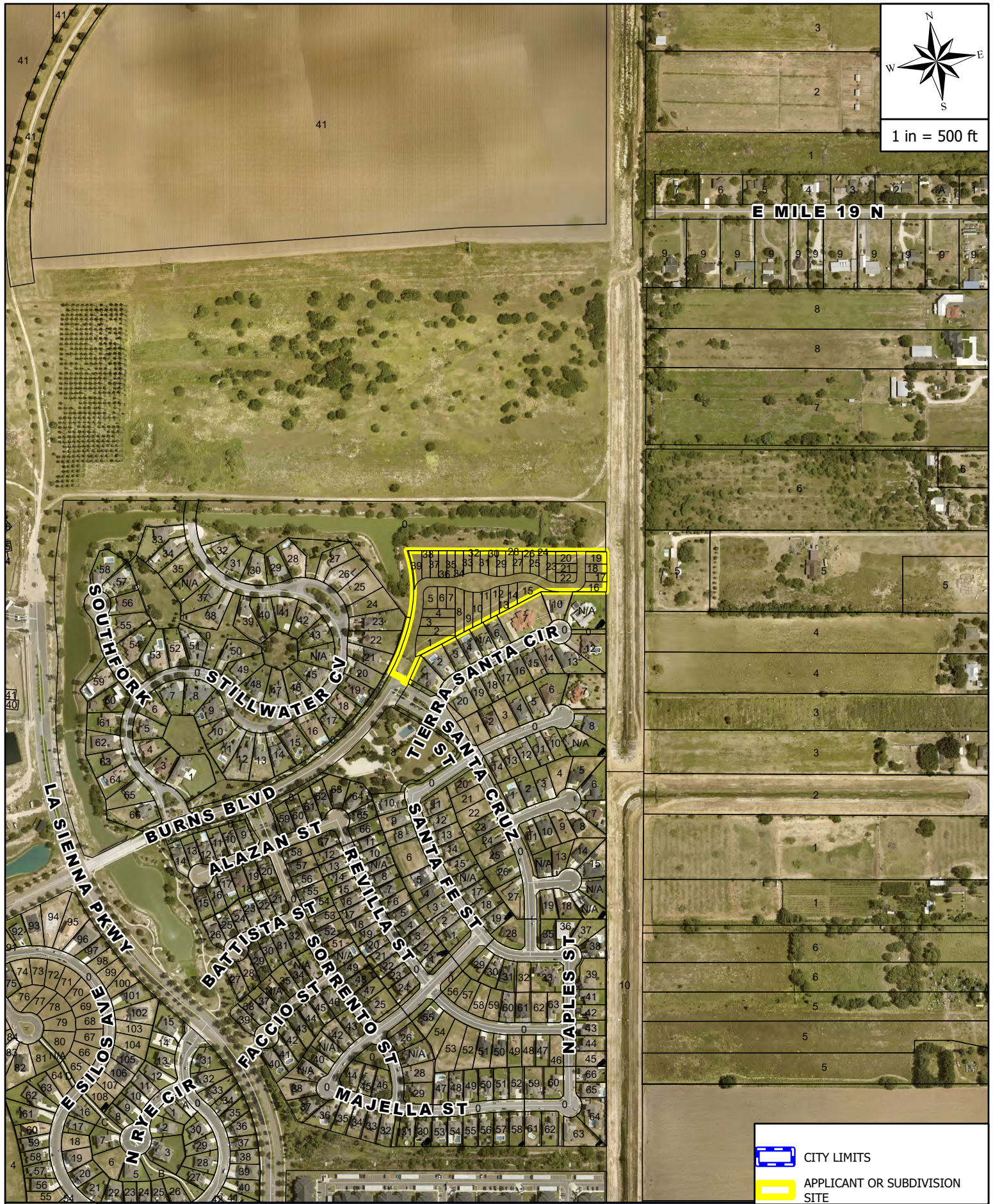
Staff recommends approval of the Final Plat, subject to compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development prior to issuance of building permits.





★ APPLICANT  
 - - - - - CITY LIMITS



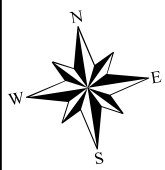
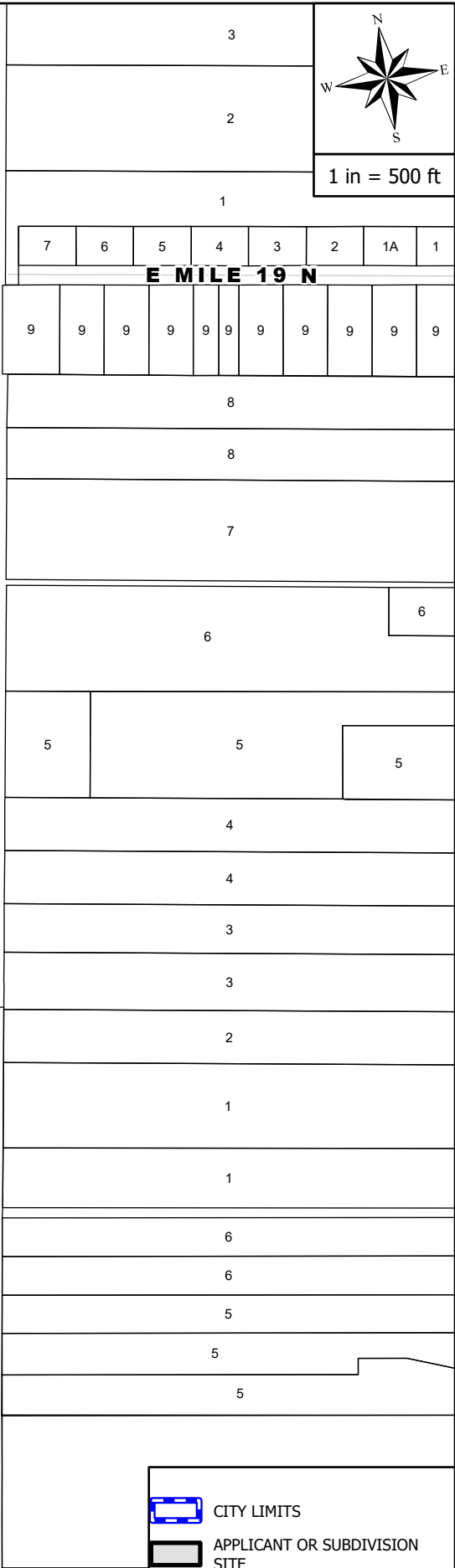
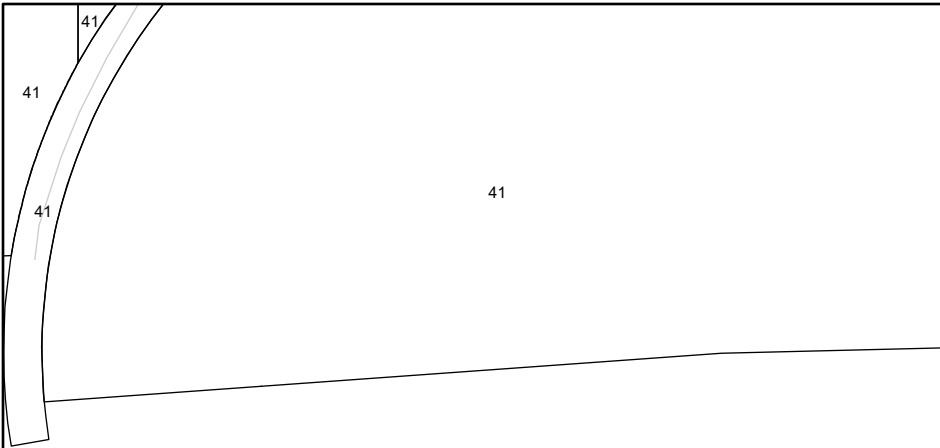
1 in = 500 ft



-  CITY LIMITS
-  APPLICANT OR SUBDIVISION SITE



**AERIAL MAP**  
**APPLICANT AND/OR SUBDIVISION:**  
 VILLAS AT LA SIENNA



1 in = 500 ft

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-  CITY LIMITS
-  APPLICANT OR SUBDIVISION SITE



**MAILOUT AND SITE MAP**  
**APPLICANT AND/OR SUBDIVISION:**  
 VILLAS AT LA SIENNA

# SUBDIVISION MAP OF (PRIVATE) VILLAS AT LA SIENNA SUBDIVISION

BEING A SUBDIVISION OF 4.906 ACRES OUT OF LOT 1,  
LA SIENNA DEVELOPMENT CITY OF EDINBURG  
HIDALGO COUNTY TEXAS

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAN AND DESIGNATED HEREIN AS VILLAS AT LA SIENNA SUBDIVISION, DO HEREBY GRANT AN EASEMENT TO THE CITY OF EDINBURG AND THOSE WHO MAY KNOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY, THE STREETS, STREET LIGHTS, TRAFFIC CONTROL DEVICES, SIDEWALKS AND OTHER IMPROVEMENTS AND EASEMENTS THEREON SHOWN, SURFACE USE OF THE STREET AND HIGHWAYS IS RESTRICTED TO THE EMPLOYEES OR AGENTS OF THE CITY OF EDINBURG EMPLOYEES OF UTILITIES OPERATING UNDER FRANCHISE TO THE CITY OF EDINBURG AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS. THE STREETS AS REFLECTED UPON THE SUBDIVISION PLAN HAVE NOT BEEN DEDICATED TO THE PUBLIC FOR PUBLIC ACCESS NOR HAVE BEEN ACCEPTED BY THE CITY AS PUBLIC IMPROVEMENTS AND THE STREETS, STREET LIGHTS, TRAFFIC CONTROL DEVICES, SIDEWALKS AND OTHER IMPROVEMENTS SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION WITHIN THE SUBDIVISION. THE STREETS SHALL ALWAYS BE OPEN TO EMERGENCY VEHICLES, PUBLIC AND PRIVATE UTILITY SERVICE PERSONNEL, THE U.S. POSTAL SERVICE AND GOVERNMENTAL EMPLOYEES IN PURSUIT OF THEIR OFFICIAL DUTIES. THE OWNERS OF LOTS SERVED BY THE PRIVATE STREETS, ALLEYS AND ACCESS EASEMENTS WITHIN THIS PLAN AGREE TO RELEASE, INDEMNIFY, DEFEND AND HOLD HARMLESS ANY GOVERNMENTAL ENTITY FOR DAMAGES TO THE PRIVATE STREETS, ALLEYS AND ACCESS EASEMENTS OCCASIONED BY THE REASONABLE USE THEREOF BY THE GOVERNMENT ENTITY FOR GOVERNMENTAL PURPOSES, AND TO RELEASE, INDEMNIFY, DEFEND AND HOLD HARMLESS ANY GOVERNMENTAL ENTITY FOR DAMAGES ARISING FROM THE CONDITION OF PRIVATE STREETS, ALLEYS OR PRIVATE ACCESS EASEMENTS. THE MAINTENANCE OF PRIVATE STREET SIGNS SHALL NOT BE RESPONSIBILITY OF THE CITY OF EDINBURG.

BURNS BROTHERS, LTD. A TEXAS LIMITED PARTNERSHIP  
BY: SBC MANAGEMENT, L.L.C. A TEXAS LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER

BY:  
KENT BURNS, MANAGING PARTNER  
4216 N. U.S. 281  
EDINBURG, TX 78542

STATE OF TEXAS  
COUNTY OF HIDALGO

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024 BY KENT BURNS, MANAGING PARTNER OF SBC MANAGEMENT COMPANY, L.L.C. A TEXAS LIMITED LIABILITY COMPANY, GENERAL PARTNER OF BURNS BROTHERS, LTD., A TEXAS LIMITED PARTNERSHIP, ON ITS BEHALF IN SAID CAPACITY.

NOTARY PUBLIC STATE OF TEXAS

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARCO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAN.

DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

MELDEN & HUNT, INC.  
TEXAS REGISTRATION #1438

MARCO A. REYNA, PROFESSIONAL ENGINEER NO. 117350  
STATE OF TEXAS

DATE PREPARED: 12/16/2024  
ENGINEERING JOB # 24137.00



STATE OF TEXAS  
COUNTY OF HIDALGO

I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAN IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OR IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAN, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF MISSION, TEXAS.

DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_



ROBERTO N. TAMEZ, PROFESSIONAL LAND SURVEYOR NO. 6238  
STATE OF TEXAS

DATE SURVEYED: 08/14/2024  
T - PG  
SURVEY JOB # 24775.08



FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO CHAVEZ, JR.  
HIDALGO COUNTY CLERK

ON \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

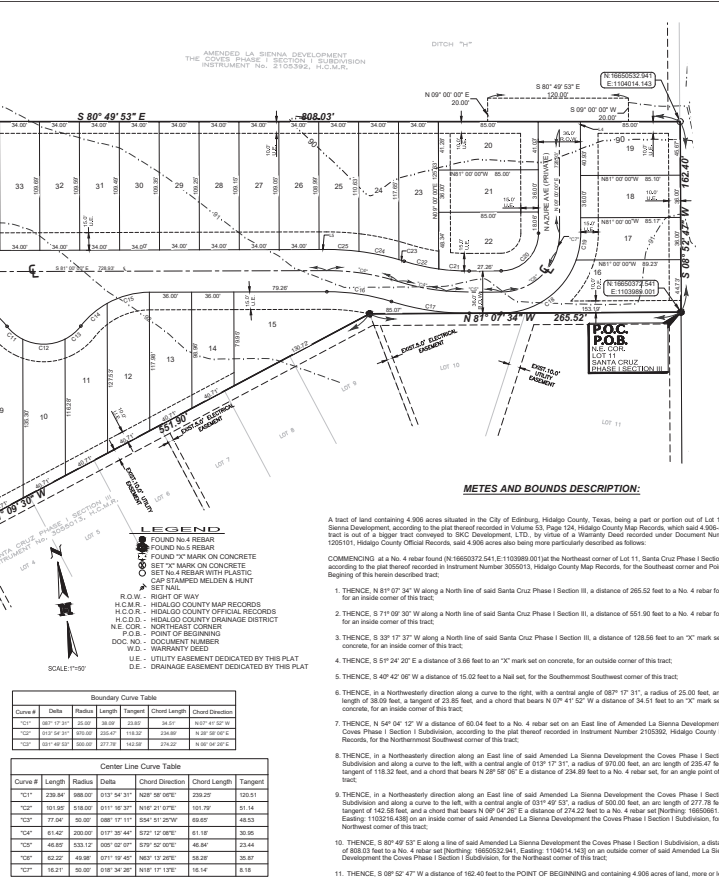
BY \_\_\_\_\_ DEPUTY

**GENERAL PLAT NOTES & RESTRICTIONS**

- BUILDING SETBACKS:  
A. FRONT YARD SETBACK LINE SHALL BE TEN (10) FEET OR EASEMENT WHOEVER IS GREATER.  
B. REAR YARD SETBACK LINE SHALL BE FIFTEEN (15) FEET OR EASEMENT WHOEVER IS GREATER.  
C. SIDE YARD SETBACK LINE SHALL BE FIVE (5) FEET OR EASEMENT WHOEVER IS GREATER.  
D. DUL-OS-SAC FRONT AND REAR YARD SETBACK LINE SHALL BE FIFTEEN (15) FEET OR EASEMENT WHOEVER IS GREATER.
- THIS ENTIRE DEVELOPMENT IS ZONED RESIDENTIAL, PRIMARY (RP).
- FLOOD ZONE STATEMENT:  
FLOOD ZONE DESIGNATION: ZONE "X" (SHADED), ZONE "Y" (SHADED) IS AREAS OF 500-YEAR FLOOD AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR EASEMENT WHOEVER IS GREATER. SQUARE MILE AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD.
- AS PER FLOOD COMMUNITY PLAN NO. 48336000 E; REVISED DATE: JUNE 6, 2000  
REVISED TO REFLECT LOMR MAY 4, 2001
- THE OWNERS OF THE LOTS SERVED BY THE PRIVATE STREETS, ALLEYS AND ACCESS EASEMENTS WITHIN THIS PLAN AGREE TO RELEASE, INDEMNIFY, DEFEND AND HOLD HARMLESS ANY GOVERNMENTAL ENTITY FOR DAMAGES TO THE PRIVATE STREETS, ALLEYS AND ACCESS EASEMENTS OCCASIONED BY THE REASONABLE USE THEREOF BY THE GOVERNMENT ENTITY FOR GOVERNMENTAL PURPOSES, AND TO RELEASE, INDEMNIFY, DEFEND AND HOLD HARMLESS ANY GOVERNMENTAL ENTITY FOR DAMAGES ARISING FROM THE CONDITION OF PRIVATE STREETS, ALLEYS OR PRIVATE ACCESS EASEMENTS. THE MAINTENANCE OF PRIVATE STREET SIGNS SHALL NOT BE RESPONSIBILITY OF THE CITY OF EDINBURG.
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18 INCHES ABOVE THE TOP OF CURB OR BASE FLOOR ELEVATION WHICHEVER IS GREATER.
- A 5 FOOT SIDEWALK WITH ADA RAMP IS REQUIRED ALONG THE EAST SIDE OF LA SIENNA PARKWAY BY DEVELOPER DURING SUBDIVISION CONSTRUCTION. LOT OWNER WILL BE RESPONSIBLE FOR 5 FOOT SIDEWALK AND ADA RAMP AS PER CITY OF EDINBURG STANDARDS AT BUILDING PERMIT STAGE.
- A SEPARATE PERMIT IS REQUIRED FOR SIDEWALK DURING BUILDING PERMIT STAGE FOR RESIDENTIAL AREAS.
- NO PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN UTILITY EASEMENTS, GAS EASEMENTS, IRRIGATION EASEMENTS OR DITCHES.
- ALL INTERIOR LOT CORNERS WILL HAVE A NO. 4 REBAR SET WITH PLASTIC CAP STAMPED MELDEN & HUNT, INC.
- BENCHMARK NOTES:  
11. NO MORE THAN ONE SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED PER LOT.  
12. ALL MONUMENTS, PARKING, LANDSCAPING AREAS, OUT PARCEL, A COMMON AREA, OUT PARCEL, B COMMON AREA, COMMON ACCESS, IRRIGATION, LIGHTING, LINEAR PARKWAY, DRAINAGE EASEMENTS AND OTHER NON-PUBLIC IMPROVEMENTS SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION OR FUTURE LOT OWNERS WITHIN THE SUBDIVISION.
- ALL CONSTRUCTION SHALL COMPLY WITH STORMWATER POLLUTION PREVENTION PLAN (SWPP) REQUIREMENTS, EROSION AND SEDIMENTATION CONTROLS (IN ACCORDANCE WITH THE STORMWATER ORDINANCE 81.30 OF THE CITY OF EDINBURG ARE REQUIRED FOR ALL CONSTRUCTION ON EACH LOT INCLUDING SINGLE FAMILY AND DUPLEX/MULTI-FAMILY CONSTRUCTION.

**METES AND BOUNDS DESCRIPTION:**  
A tract of land containing 4.906 acres situated in the City of Edinburg, Hidalgo County, Texas, being a part or portion out of Lot 1, La Sienna Development, according to the plat thereof recorded in Volume 23, Page 24, Hidalgo County Map Records, which said subdivision is out of a larger tract conveyed to SBC Development, LTD, by virtue of a Warranty Deed recorded under Document Number 126510, Hidalgo County Official Records, which said 4.906 acres also being more particularly described as follows:

- THENCE, N 87° 07' 34" W in a distance of 141.00 feet to a No. 4 rebar set on an inside corner of this tract.
- THENCE, S 71° 09' 30" W along a North line of said Santa Cruz Phase I Section III, a distance of 551.90 feet to a No. 4 rebar set, for an inside corner of this tract.
- THENCE, S 33° 17' 37" W along a North line of said Santa Cruz Phase I Section III, a distance of 128.56 feet to an "X" mark set on concrete, for an inside corner of this tract.
- THENCE, S 5° 24' 20" E a distance of 3.66 feet to a "X" mark set on concrete, for an inside corner of this tract.
- THENCE, S 40° 42' 06" W in a distance of 15.02 feet to a Nail set, for the Southwestern Southeast corner of this tract.
- THENCE, in a Northerly direction along a curve to the right, with a central angle of 60° 17' 31", a radius of 25.00 feet, an arc length of 30.00 feet, a tangent of 23.95 feet, and a chord that bears N 0° 41' 52" W a distance of 34.51 feet to an "X" mark set on concrete, for an inside corner of this tract.
- THENCE, N 87° 04' 12" W in a distance of 60.04 feet to a No. 4 rebar set on an East line of Amended La Sienna Development the Covers Phase I Subdivision, according to the plat thereof recorded in instrument Number 210262, Hidalgo County Map Records, for the Northwestern Southeast corner of this tract.
- THENCE, in a Northerly direction along an East line of said Amended La Sienna Development the Covers Phase I Section I Subdivision and along a curve to the left, with a central angle of 01° 17' 31", a radius of 370.00 feet, an arc length of 230.47 feet, a tangent of 118.32 feet, and a chord that bears N 29° 58' 00" E a distance of 234.89 feet to a No. 4 rebar set, for an angle point of this tract.
- THENCE, in a Northerly direction along an East line of said Amended La Sienna Development the Covers Phase I Section I Subdivision and along a curve to the left, with a central angle of 03° 49' 57", a radius of 500.00 feet, an arc length of 277.78 feet, a tangent of 142.58 feet, and a chord that bears N 0° 04' 28" E a distance of 274.22 feet to a No. 4 rebar set bearing 1660561.00EA, Easting: 1023814.81 on an inside corner of said Amended La Sienna Development the Covers Phase I Section I Subdivision, for the Northwestern corner of this tract.
- THENCE, S 80° 49' 53" E along a line of said Amended La Sienna Development the Covers Phase I Subdivision, a distance of 680.83 feet to a No. 4 rebar set bearing 1660562.94EA, Easting: 1104014.143 on an outside corner of said Amended La Sienna Development the Covers Phase I Section I Subdivision, for the Northeast corner of this tract.
- THENCE, S 08° 52' 47" W in a distance of 182.42 feet to the POINT OF BEGINNING containing 4.906 acres of land, more or less.



**Boundary Curve Table**

Curve #	Delta	Radius	Length	Tangent	Chord	Chord Direction
"01"	80° 17' 31"	25.00	30.00	23.95	34.51	N 0° 41' 52" W
"02"	01° 17' 31"	370.00	230.47	118.32	274.22	N 0° 04' 28" E
"03"	03° 49' 57"	500.00	277.78	142.58	274.22	N 0° 04' 28" E

**Center Line Curve Table**

Curve #	Length	Delta	Chord Direction	Chord Length	Tangent
"01"	239.84	988.00	01° 34' 31"	N 87° 06' 00"	239.20
"02"	101.65	516.00	01° 17' 31"	N 87° 07' 31"	101.79
"03"	77.64	50.00	08° 17' 31"	S 41° 21' 20"	85.65
"04"	61.42	269.00	01° 24' 40"	S 87° 12' 00"	61.19
"05"	68.02	339.12	02° 02' 00"	S 87° 02' 00"	68.04
"06"	102.22	45.00	01° 19' 45"	N 12° 20' 00"	102.20
"07"	162.11	26.00	04° 36' 11"	N 17° 13' 10"	162.14

**Curve Table**

Curve #	Delta	Radius	Length	Tangent	Chord Length	Chord Direction
C1	02° 52' 11"	68.00	37.39	18.78	37.39	N 10° 10' 20" W
C2	02° 30' 41"	100.00	48.00	24.48	47.96	N 12° 52' 30" E
C3	00° 08' 28"	1000.00	37.59	18.79	37.59	N 20° 33' 00" E
C4	00° 07' 57"	1000.00	37.18	18.58	37.18	N 22° 27' 20" E
C5	00° 22' 58"	1000.00	6.74	3.37	6.74	N 20° 12' 20" E
C6	00° 12' 21"	500.00	30.81	15.40	30.81	N 20° 21' 00" E
C7	00° 04' 02"	538.00	16.47	8.24	16.47	N 14° 44' 20" E
C8	00° 11' 17"	32.00	46.31	23.16	44.57	N 04° 51' 20" E
C9	00° 44' 00"	75.00	37.62	18.81	37.62	S 68° 18' 30" E
C10	02° 02' 44"	210.00	29.82	14.91	29.82	S 68° 18' 30" E
C11	02° 02' 00"	32.00	17.54	8.77	17.40	S 64° 41' 20" E
C12	00° 29' 15"	43.00	37.34	20.10	36.00	S 61° 50' 00" E
C13	00° 07' 57"	49.00	11.54	5.82	11.40	N 58° 41' 20" E
C14	00° 44' 00"	75.00	36.69	18.34	36.69	N 58° 18' 30" E
C15	00° 12' 21"	500.00	30.81	15.40	30.81	N 20° 21' 00" E
C16	01° 17' 31"	100.00	58.89	29.44	58.89	S 72° 12' 00" E
C17	01° 43' 18"	61.00	47.43	23.71	47.16	S 72° 12' 00" E
C18	01° 07' 42"	68.00	40.27	20.13	40.16	N 63° 47' 30" E
C19	01° 44' 44"	68.00	23.39	11.69	23.39	N 63° 47' 30" E
C20	00° 12' 21"	500.00	30.81	15.40	30.81	S 61° 50' 00" E
C21	00° 08' 58"	100.00	25.90	12.95	25.87	N 77° 40' 00" W
C22	00° 34' 17"	183.00	34.42	17.21	34.38	N 68° 11' 21" W
C23	00° 12' 21"	500.00	4.99	2.50	4.99	N 68° 40' 30" W
C24	00° 09' 11"	210.00	34.71	17.36	34.71	N 68° 40' 30" W
C25	00° 14' 58"	210.00	25.59	12.81	25.56	N 77° 22' 20" W
C26	01° 59' 00"	500.00	113.32	56.86	113.08	N 03° 20' 50" W

**Lot Area Table**

Lot #	Area	Area
1	268.88	0.98
2	519.98	1.74
3	4761.08	1.56
4	4498.37	1.62
5	4315.31	1.56
6	3491.93	1.26
7	3818.53	1.36
8	7215.54	2.58
9	5776.46	1.92
10	4698.96	1.68
11	4461.48	1.61
12	4477.51	1.63
13	3004.91	1.09
14	3252.44	1.16
15	6173.72	2.14
16	4790.08	1.74
17	3037.68	1.07
18	3064.80	1.10
19	3065.08	1.09
20	3469.19	1.24

**Lot Line Table**

Lot #	Length	Direction
1	16.17	N 87° 06' 00"
2	12.19	S 71° 09' 30"
3	12.17	S 67° 58' 00"
4	14.40	N 87° 04' 12"

**Lot Area Table**

Lot #	Area	Area
1	268.88	0.98
2	519.98	1.74
3	4761.08	1.56
4	4498.37	1.62
5	4315.31	1.56
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8	7215.54	2.58
9	5776.46	1.92
10	4698.96	1.68
11	4461.48	1.61
12	4477.51	1.63
13	3004.91	1.09
14	3252.44	1.16
15	6173.72	2.14
16	4790.08	1.74
17	3037.68	1.07
18	3064.80	1.10
19	3065.08	1.09
20	3469.19	1.24

**Lot Line Table**

Lot #	Length	Direction
1	16.17	N 87° 06' 00"
2	12.19	S 71° 09' 30"
3	12.17	S 67° 58' 00"
4	14.40	N 87° 04' 12"

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1  
RAUL E. TESS, P.E., C.F.M.  
GENERAL MANAGER

I, THE UNDERSIGNED, MAJOR OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAN CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR CITY OF EDINBURG

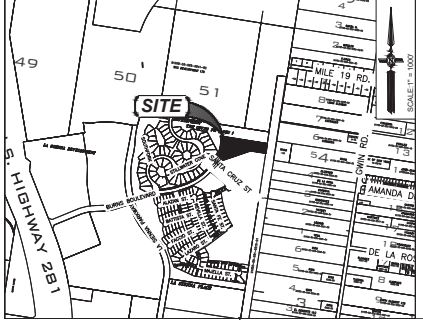
CITY SECRETARY

"I, THE UNDERSIGNED, CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAN KNOWS ALL VILLAS AT LA SIENNA SUBDIVISION CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED."

AND HAS BEEN APPROVED FOR RECORDING ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

CHAIRPERSON PLANNING AND ZONING COMMISSION

**LOCATION MAP**



**MELDEN & HUNT INC.**  
CONSULTANTS & ENGINEERS & SURVEYORS  
115 W. MCINTYRE - EDINBURG, TX 78541  
PH: (956) 381-0981 - FAX: (956) 381-1839  
ESTABLISHED 1947 - WWW.MELDENHUNT.COM

PRINCIPAL CONTACTS	NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER:	KENT BURNS	4216 N. U.S. 281	EDINBURG TX 78542	C/0956-381-0981	C/0956-381-1839
ENGINEER:	MARCO A. REYNA	115 W. MCINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839
SURVEYOR:	ROBERTO N. TAMEZ	115 W. MCINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839

DRAWN BY	LM	DATE	08/14/2024
SURVEYED/ CHECKED		DATE	
FINAL CHECK		DATE	

## Planning and Zoning Commission

Attendance 2025

2025

First Name	Last Name	Position	Jan	23-Jan	Feb	27-Feb	Mar	27-Mar	Apr	24-Apr	May	22-May	June	26-Jun	10-Jul	24-Jul	14-Aug	28-Aug	11-Sep	25-Sep	Oct	23-Oct	Nov	Dec
Jorge	Sotelo	Chairperson	E	P	P			P	P	P	P	P	P	A	P	P	P	A	P	A	P	P		
Elias	Longoria, Jr.	Vice-Chair	P	E	P			P	P	P	P	P	E	P	P	P	P	P	P	P	P	P		
Ruby	Casas	Commissioner	P	P	A			E	P	P	E	P	P	P	P	A	P	P	P	P	P	A		
Jorge	Gonzalez	Commissioner	P	P	P			E	P	P	P	P	P	P	P	P	P	P	P	P	P	A		
Victor	Daniec	Commissioner	P	P	A			P	P	P	P	E	E	P	A	P	P	A	P	A	P	P		
Rene	Olivarez	Commissioner	P	E	P			E	E	P	P	P	P	P	P	P	P	P	P	P	P	P		
Rodolfo "Rudy"	Ramirez	Commissioner	P	P	P			P	E	P	P	E	P	A	P	P	P	A	P	P	P	A		